

CITY OF ALBUQUERQUE



December 7, 2006

Lawrence D. Read, P.E.
Larry Read & Associates, Inc
2430 Midtown Suite C
Albuquerque, NM 87107

Re: Proposed Uptown Site Grading and Drainage Plan
Engineer's Stamp dated 12-6-06 (J18/D33)

Dear Mr. Read,

Based upon the information provided in your submittal dated 12-7-06, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

P.O. Box 1293

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

This project requires a National Pollutant Discharge Elimination System (NPDES) permit.

New Mexico 87103

If you have any questions, you can contact me at 924-3695.

www.cabq.gov

Sincerely,

Curtis A. Cherne, E.I.
Engineering Associate, Planning Dept.
Development and Building Services

C: file
Sertil Kanbar, DMD

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Hilton Garden Inn

DRB #: _____

EPC#: _____

ZONE MAP/DRG. FILE #: J-18

WORK ORDER#: _____

LEGAL DESCRIPTION: Lot A-2-A, Park Square Addition

CITY ADDRESS: 6500 Americas Parkway NE

ENGINEERING FIRM: LARRY READ & ASSOCIATES, INC

ADDRESS: 2430 Midtown Suite C

CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: LARRY READ

PHONE: 237-8421

ZIP CODE: 87107

OWNER: LEGACY HOSPITALITY, INC

ADDRESS: 2501 YALE BLVD. SE SUITE 102

CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: FAIZEL KASSAM

PHONE: 243-6000

ZIP CODE: 87106

ARCHITECT: TAFFAZULE HUSSAIN

ADDRESS: 2501 YALE BLVD. SE SUITE 102

CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: TAFFAZULE HUSSAIN

PHONE: 315-1482

ZIP CODE: 87106

SURVEYOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

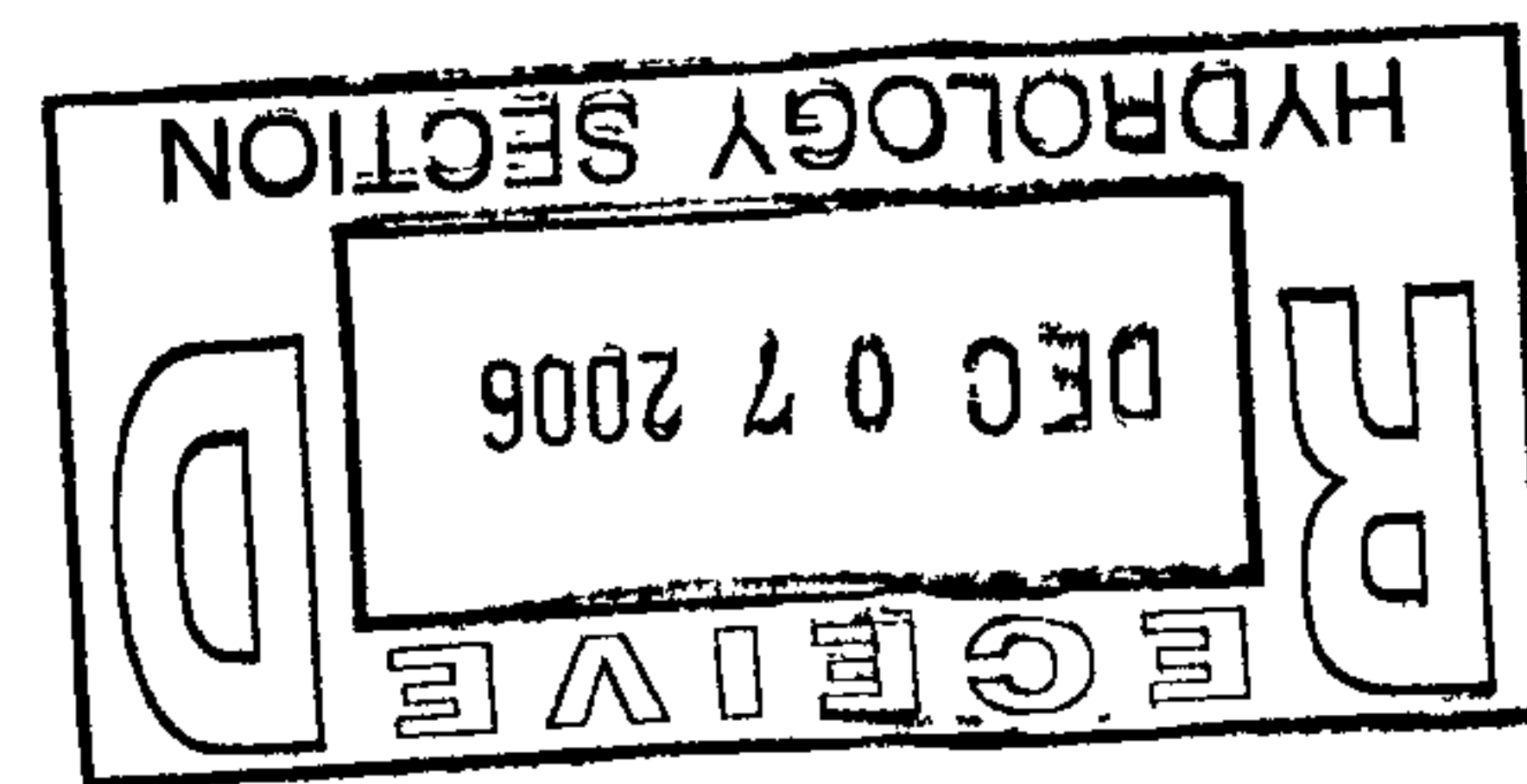
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: December 7, 2006

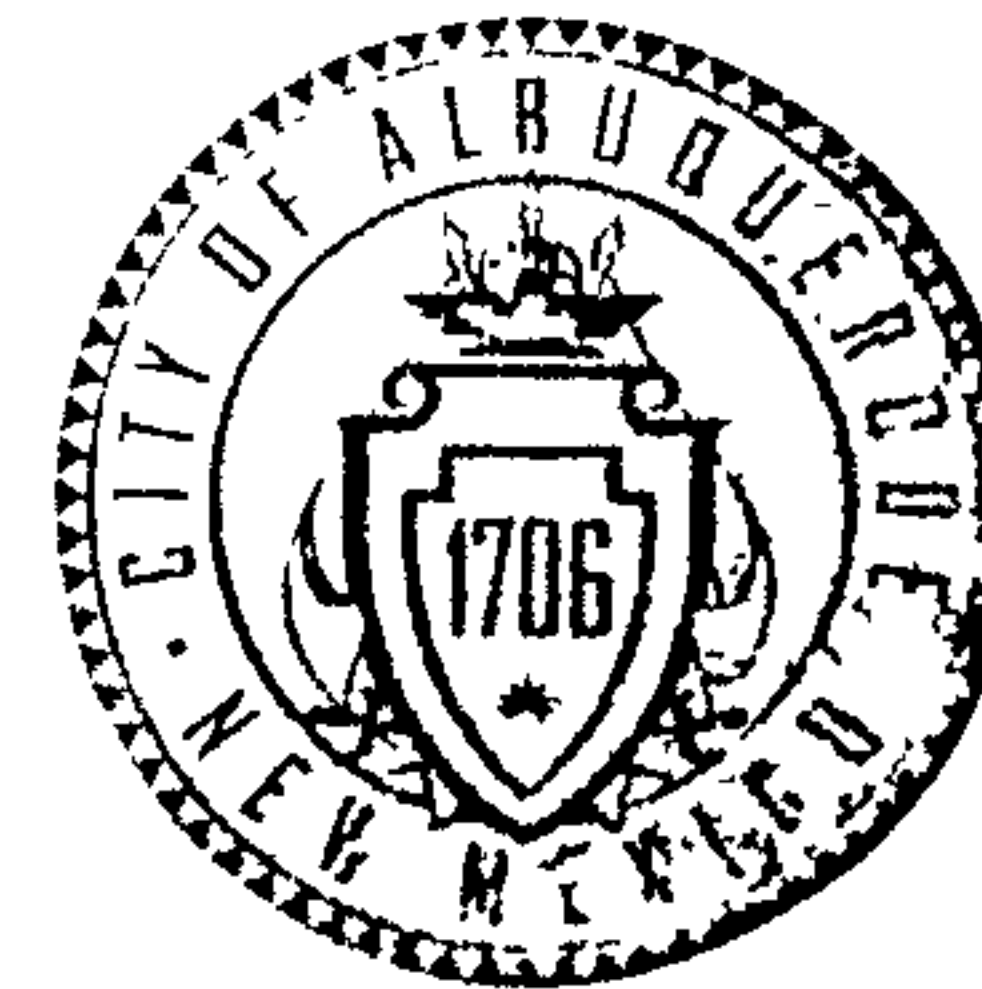
BY: Larry D. Read, PE



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

April 3, 2008

Tafazzul Hussain, Registered Architect,
Afra Construction & Design
2501 Yale Blvd SE, Ste. 102
Albuquerque, NM 87106

Re: Approval of Temporary Certificate of Occupancy (C.O.) for
Uptown Hilton Garden Inn, [J-18 / D033]
6510 Americas Parkway
Architect's Stamp Dated 04/03/08

Dear Mr. Hussain:

Based on the information provided on your submittal dated April 3, 2008, the above referenced project is approved for a 90-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

Milo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

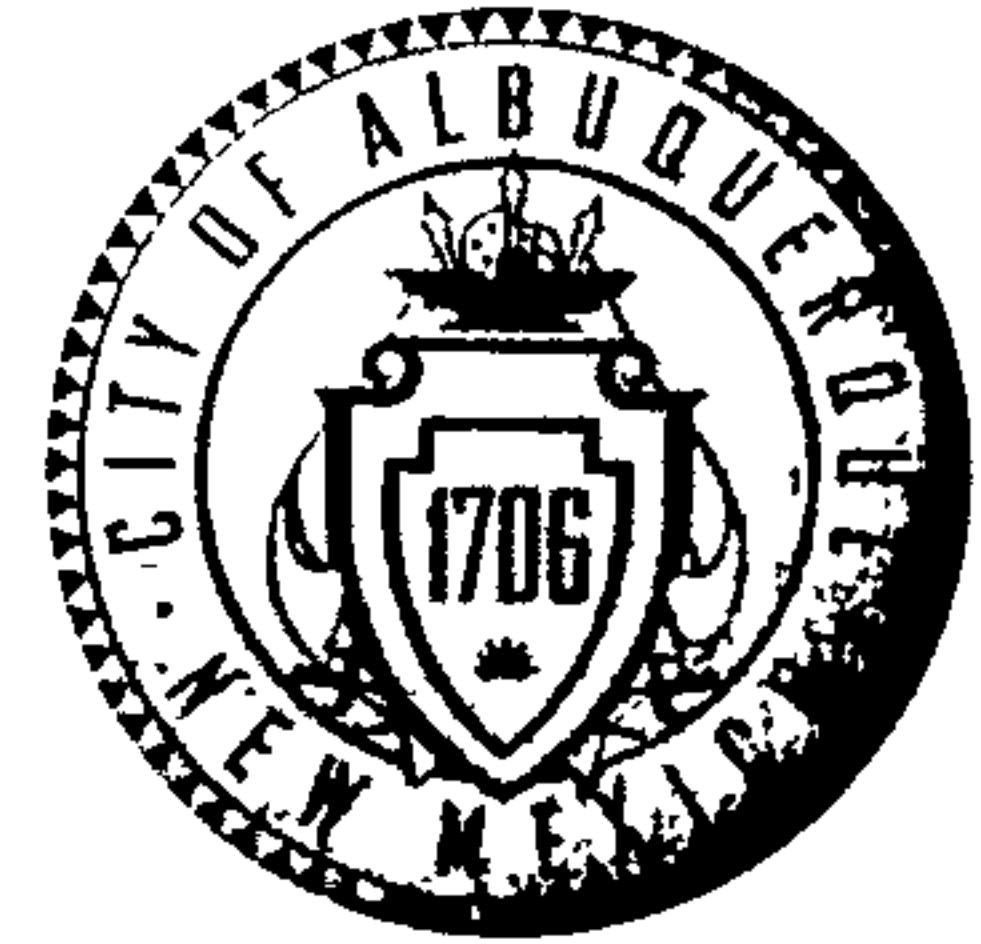
PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

September 17, 2010

Tafazzul Hussain, Registered Architect,
Afra Construction & Design
2501 Yale Blvd SE, Ste. 102
Albuquerque, NM 87106

Re: Approval of Temporary Certificate of Occupancy (C.O.) for
Uptown Hilton Garden Inn Phase I, [J-18 / D033]
6510 Americas Parkway
Architect's Stamp Dated 09/15/10

Dear Mr. Hussain:

Based upon the information provided in your submittal received 09-15-10,
Transportation Development has no objection to the issuance of a Permanent Certificate
of Occupancy. This letter serves as a "green tag" from Transportation Development for a
Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please call me at 924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

cc: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Afra Construction & Design

2501 Yale Blvd. SE Suite 102

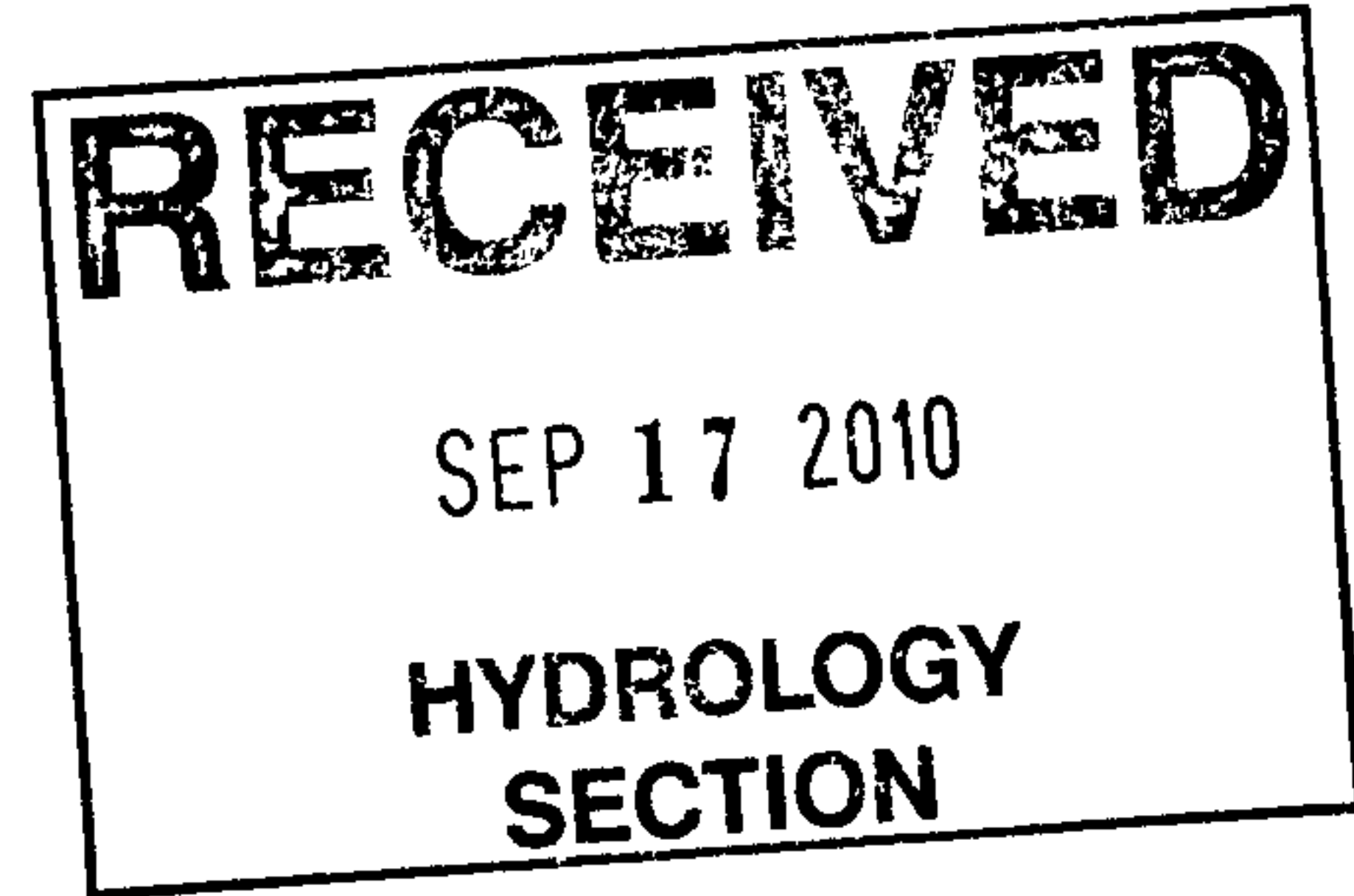
Albuquerque, NM 87106

Tel. 505-243-9093

Fax. 505-998-3129

SEP15, 2010

Kristal Metro, PE.
Senior Traffic Engineer
Development & Building Services
Planning Department
600 2nd Street NW
Albuquerque, Nm 87102



Re: Approval of final Certificate of Occupancy for **phase-I** of Uptown Hilton Garden Inn [J-18/DO33]
6510 Americas parkway Albuquerque, NM.

TRAFFIC CERTIFICATION

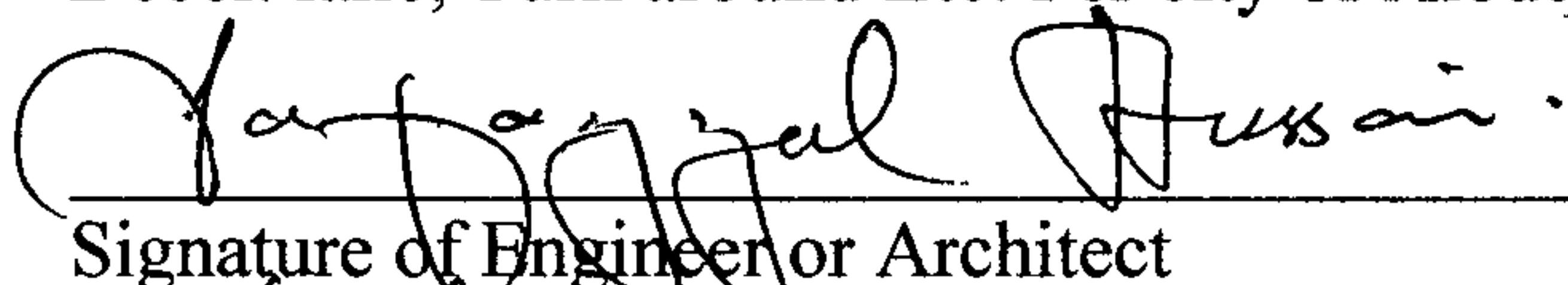
I, Tafazzul Hussain, NMRA of the firm Afra Construction hereby certify that this project is in substantial compliance with and in accordance with the design intent of the DRB, AA or TLC Approved plan dated 10/25/2006. The record information edited on to the original design document has been obtained by Tafazzul Hussain of the firm Afra Construction. I further certify that I have personally visited the project site on SEP 8, 2010 And have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Final certificate of occupancy for Phase-I of up Town Hilton Garden INN (J-18/Do33) Located at 6501 Americas parkway, Albuquerque, NM.

Enclosed are:

A. Proposed site plan – which shows Phase-I & Phase-II of the entire development as it was approved on 10/25/2006 (Administrative Amendment).

B. Existing site plan – This shows the complete phase-I with 148 parking spaces. The phase-II shows the existing parking configuration with 90 parking spaces for restaurant & 191 parking spaces per parking agreement (All these parking spaces require a 15% transit credit).

Phase II of the existing site plan will include a hotel with 76 rooms & include all site upgrades such as Decel. lane, Turn around Etc. Per city of Albuquerque requirements.

A handwritten signature in black ink, appearing to read "Tafazzul Hussain".

Signature of Engineer or Architect

9/15/2010
Date

ENGINEER'S OR ARCHITECT'S STAMP

Please do not hesitate to call me at (505)315-1482 if you have any questions.

Tafazzul Hussain, AIA

President

Afra Construction & Design



DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: HILTON GARDEN INN C.O. ZONE MAP: J-18/D033
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____

CITY ADDRESS: 6510 AMERICAS PARKWAY
ALBUQ, NM

ENGINEERING FIRM: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: XERA CONSTRUCTION & DESIGN CONTACT: TAFAZZUL
ADDRESS: 2501 YALE BLVD SE, STE. 102 PHONE: 21511482
CITY, STATE: ALBUQ, NM ZIP CODE: 87106

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☒ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
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- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
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- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

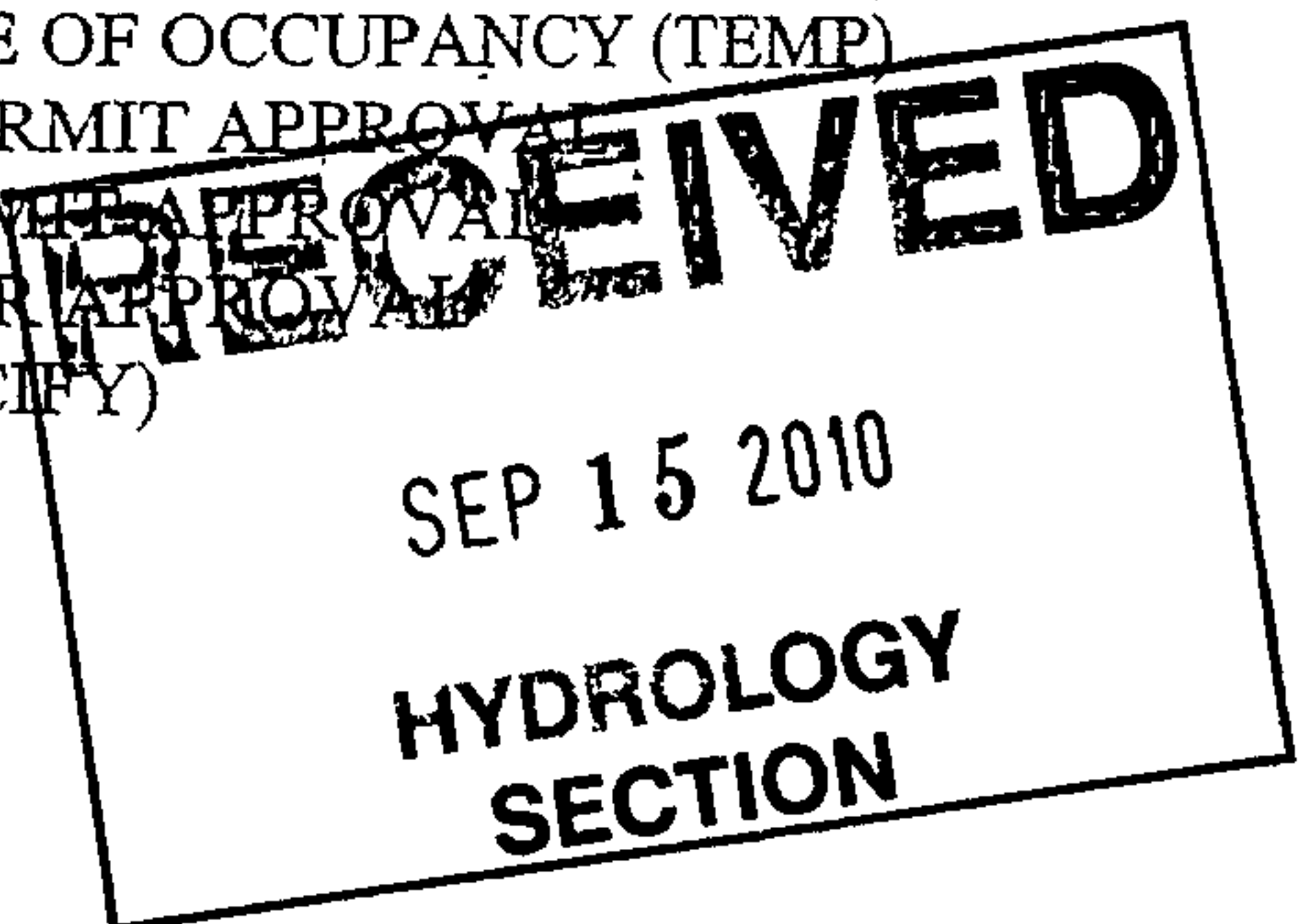
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: _____ BY: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



Afra Construction & Design

2501 Yale Blvd. SE Suite 102

Albuquerque, NM 87106

Tel. 505-243-9093

Fax. 505-998-3129

SEP15, 2010

Kristal Metro, PE.
Senior Traffic Engineer
Development & Building Services
Planning Department
600 2nd Street NW
Albuquerque, Nm 87102

Re: Approval of final Certificate of Occupancy for Uptown Hilton Garden Inn [J-18/DO33]
6510 Americas parkway Albuquerque, NM.

I, Tafazzul Hussain, architect for the above referenced project certify that the site is in substantial compliance for traffic and parking requirements.

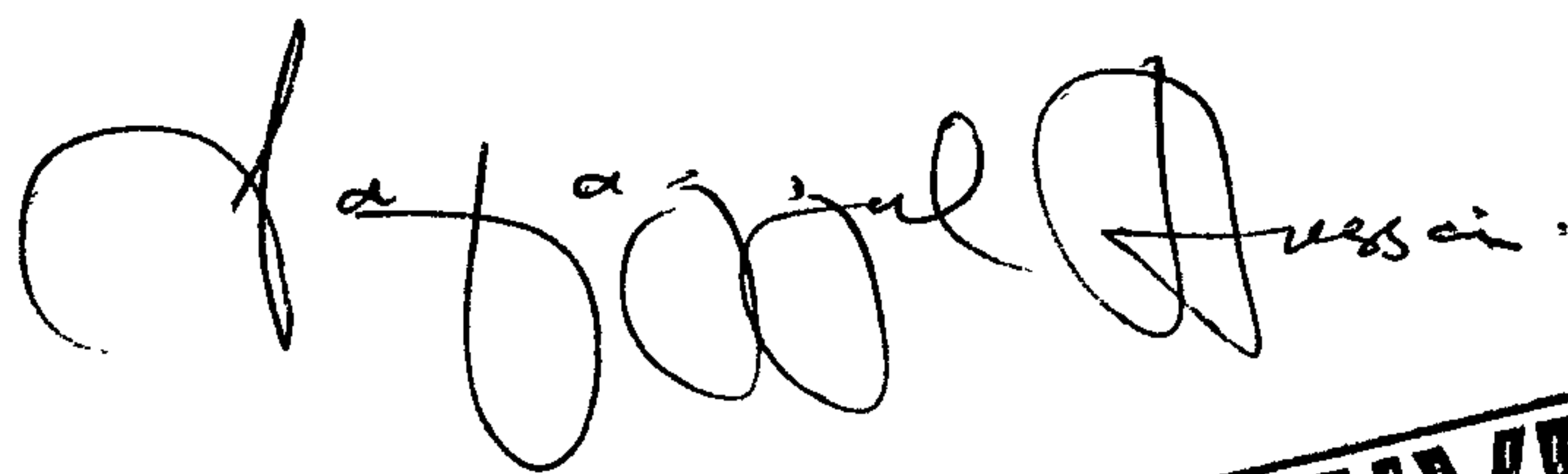
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A. Proposed site plan – which shows Phase-I & Phase-II of the entire development as it was approved on 10/25/2006(Administrative Amendment).

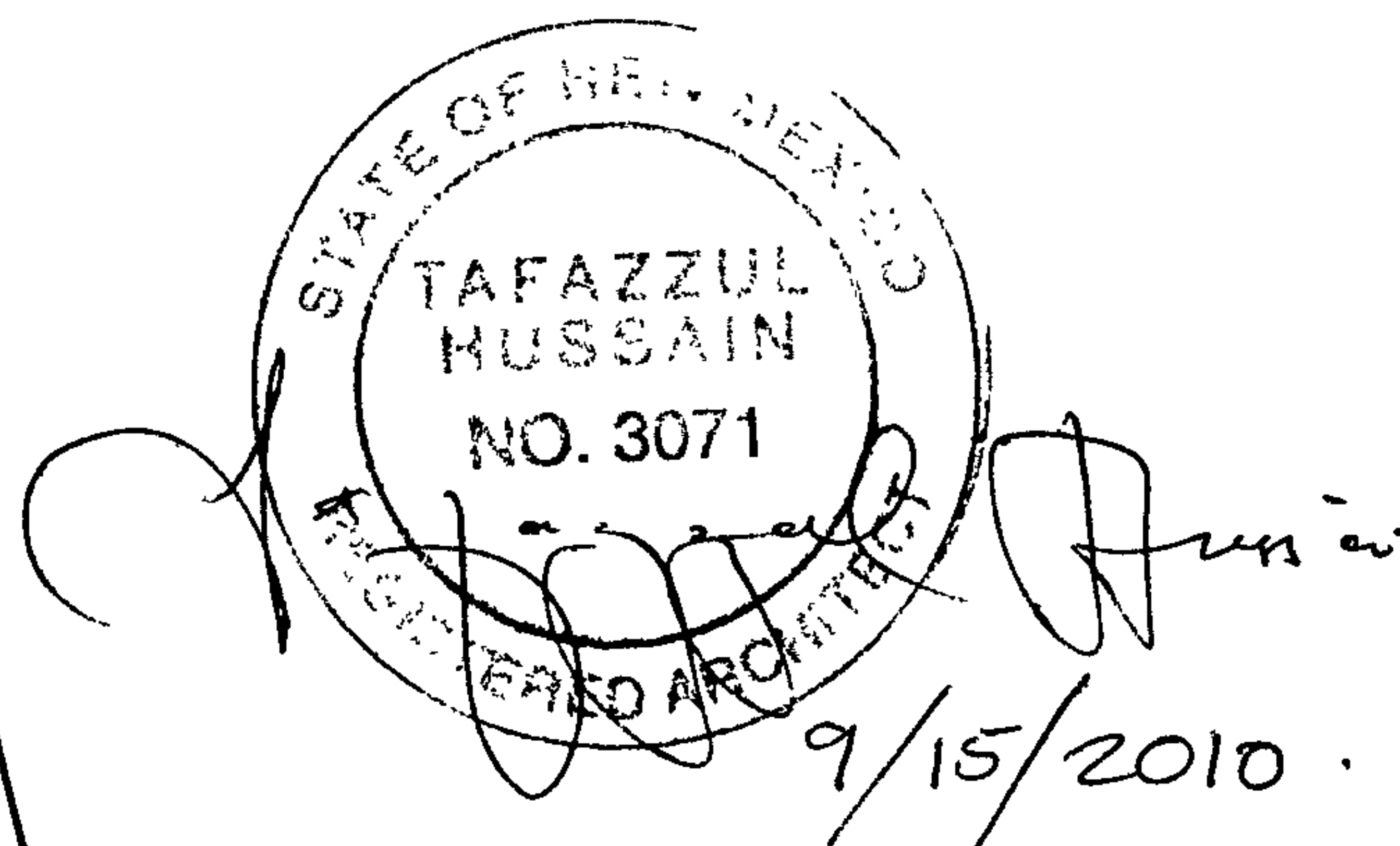
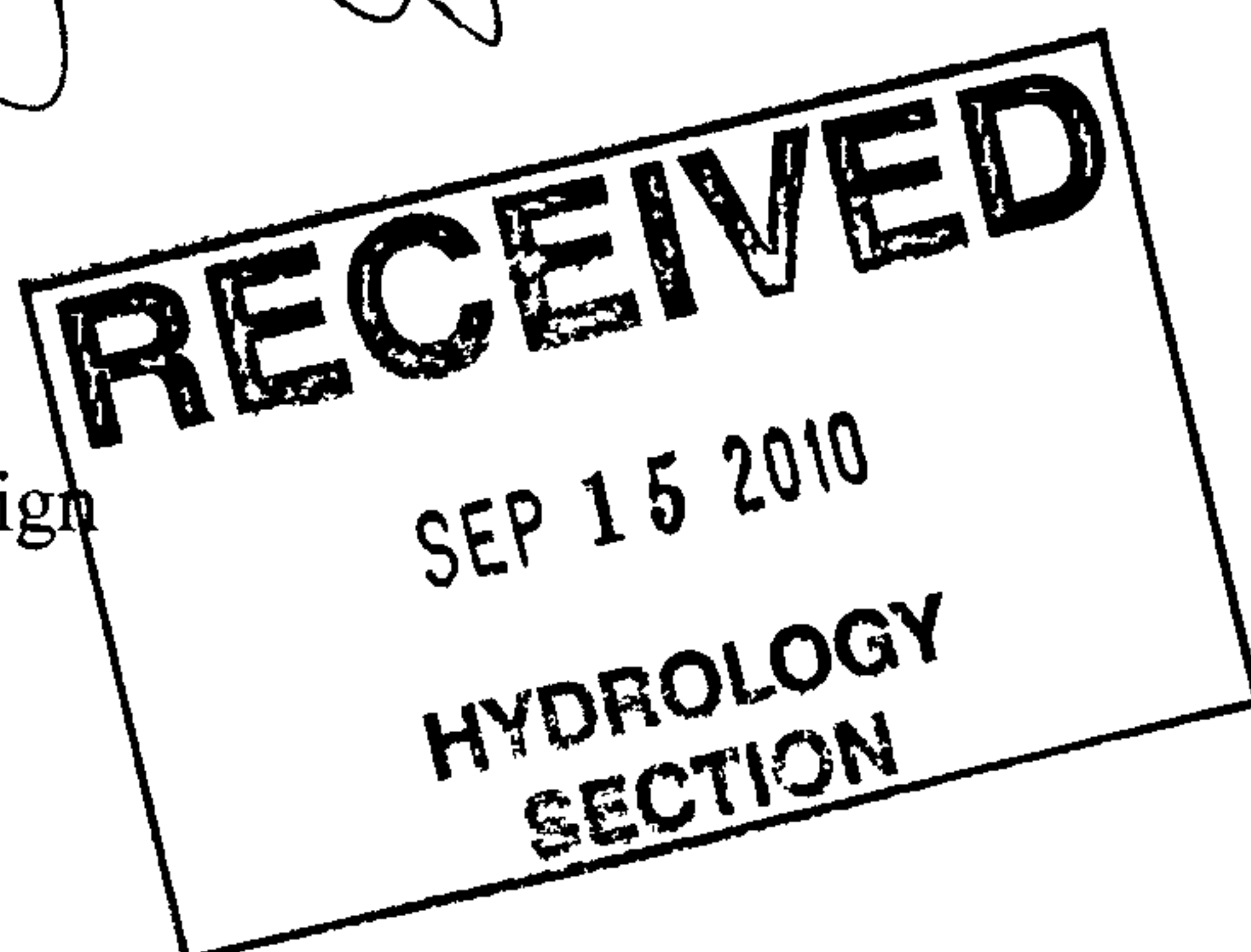
B. Existing site plan – This shows the complete phase-I with 148 parking spaces. The phase-II shows the existing parking configuration with 90 parking spaces for restaurant & 191 parking spaces per parking agreement (All these parking spaces require a 15% transit credit).

Phase II of the existing site plan will include a hotel with 76 rooms & include all site upgrades such as Decel lane, Turn around ETC. Per city of Albuquerque requirements.

Please do not hesitate to call me at (505)315-1482 if you have any questions.



Tafazzul Hussain, AIA
President
Afra Construction & Design



CITY OF ALBUQUERQUE



April 7, 2008

Lawerance D. Read, P.E.
Larry Read & Associates, Inc.
2430 Midtown Place, NE Ste. C
Albuquerque, NM 87107

**Re: Hilton Garden Inn, 6500 Americas Parkway NE,
Approval for a Request for Temporary Certificate of Occupancy (C.O.)
Engineer's Stamp dated 12/6/06 (J-18/D033)
Certification dated 4/01/08**

Mr. Read:

PO Box 1293

Based upon the information provided in your submittal received 4/7/08, the above referenced certification is approved for a release of a 90 Day Temporary Certificate of Occupancy by hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

NM 87103

Sincerely,

Timothy E. Sims
Plan Checker, Hydrology
Development and Building Services

www.cabq.gov

C: File

CITY OF ALBUQUERQUE



July 11, 2008

Lawerance D. Read, P.E.
Larry Read & Associates, Inc.
2430 Midtown Place, NE Ste. C
Albuquerque, NM 87107

Re: Hilton Garden Inn, 6500 Americas Parkway NE,
Approval for a Request for ^{Perm}~~Temporary~~ Certificate of Occupancy (C.O.)
Engineer's Stamp dated 12/6/06 (J-18/D033)
Certification dated 7/02/08

Mr. Read:

P.O. Box 1293

Based upon the information provided in your submittal received 7/8/08, the above referenced certification is approved for a release of ~~Permanent~~ ^{Perm} Certificate of Occupancy by hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

Sincerely,

New Mexico 87103

Timothy E. Sims
Plan Checker, Hydrology
Development and Building Services

www.cabq.gov

C: CO Clerk—Katrina Sigala
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Hilton Garden Inn

DRB #: _____

EPC#: _____

ZONE MAP/DRG. FILE #: J-18/D-33

WORK ORDER#: _____

LEGAL DESCRIPTION: Lot A-2-A, Park Square Addition

CITY ADDRESS: 6500 Americas Parkway NE

ENGINEERING FIRM: LARRY READ & ASSOCIATES, INC

ADDRESS: 2430 Midtown Suite C

CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: LARRY READ

PHONE: 237-8421

ZIP CODE: 87107

OWNER: LEGACY HOSPITALITY, INC

ADDRESS: 2501 YALE BLVD. SE SUITE 102

CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: FAIZEL KASSAM

PHONE: 243-6000

ZIP CODE: 87106

ARCHITECT: TAFFAZULE HUSSAIN

ADDRESS: 2501 YALE BLVD. SE SUITE 102

CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: TAFFAZULE HUSSAIN

PHONE: 315-1482

ZIP CODE: 87106

SURVEYOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

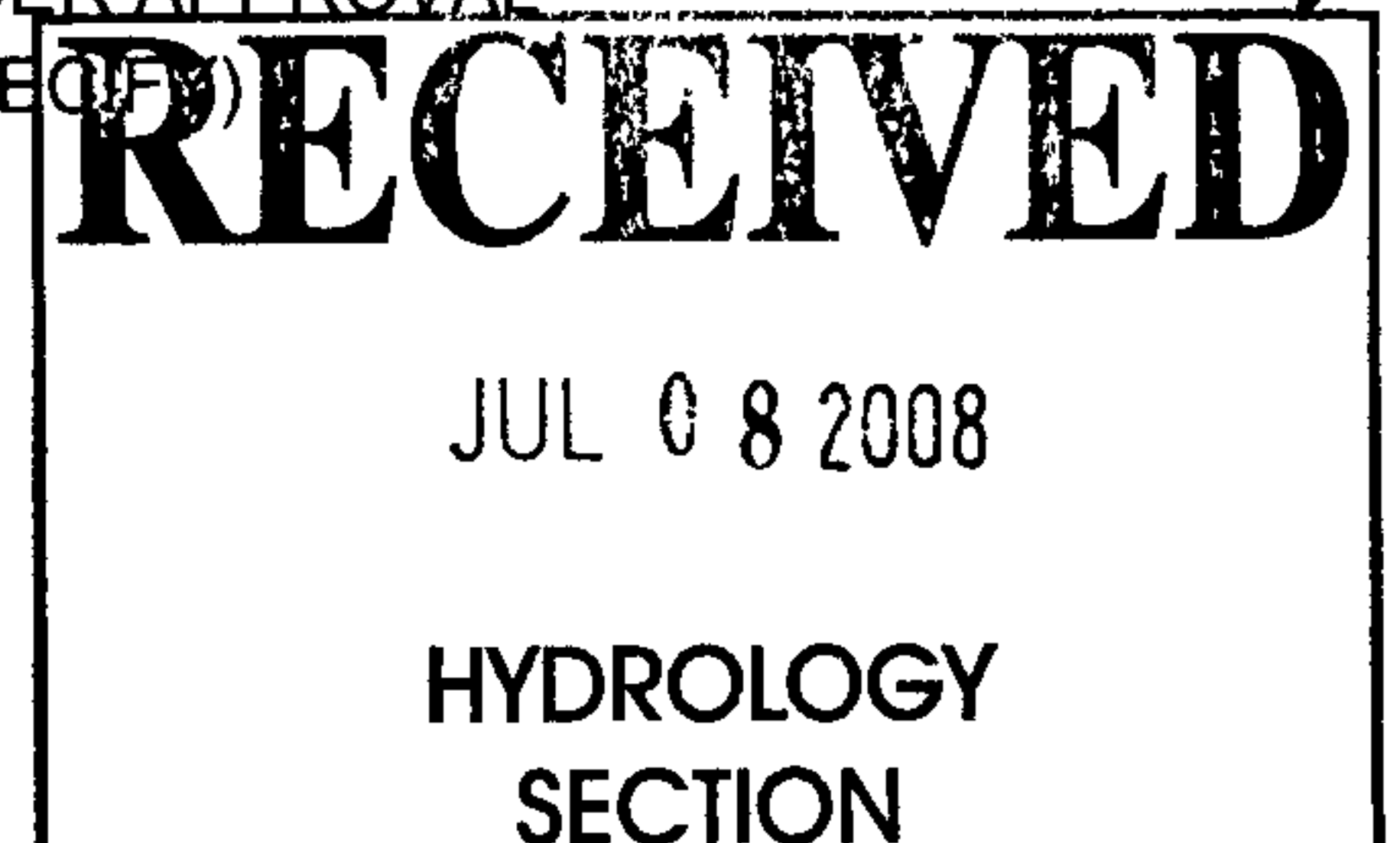
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

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- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
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- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☒ NO
- ☐ COPY PROVIDED



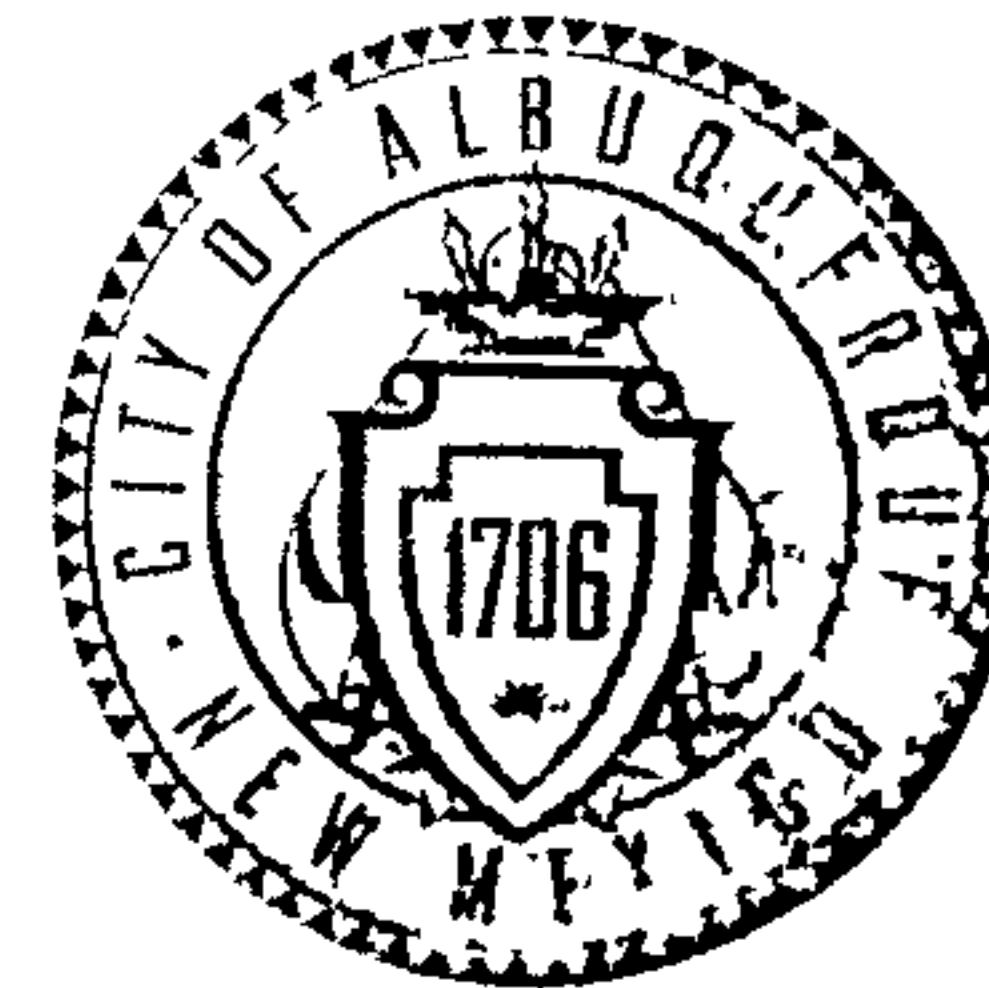
DATE SUBMITTED: July 2, 2008

BY: Larry D. Read, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



April 3, 2008

Lawerance D. Read, P.E.
Larry Read & Associates, Inc.
2430 Midtown Place, NE Ste. C
Albuquerque, NM 87107

**Re: Hilton Garden Inn, 6500 Americas Parkway NE,
Reject for a Request for Permanent Certificate of Occupancy (C.O.)
Approved Engineer's Stamp dated 12/6/06 (J-18/D033)
Submitted Engineer's Stamp Date: 6-6-06
Certification dated 4/01/08**

Based upon the information provided in your submittal received 4/1/08, the above referenced certification cannot be approved until the following comments are addressed:

1. Certify and submit the approved plan dated 12-6-06.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy E. Sims
Plan Checker, Hydrology
Development and Building Services

C: File

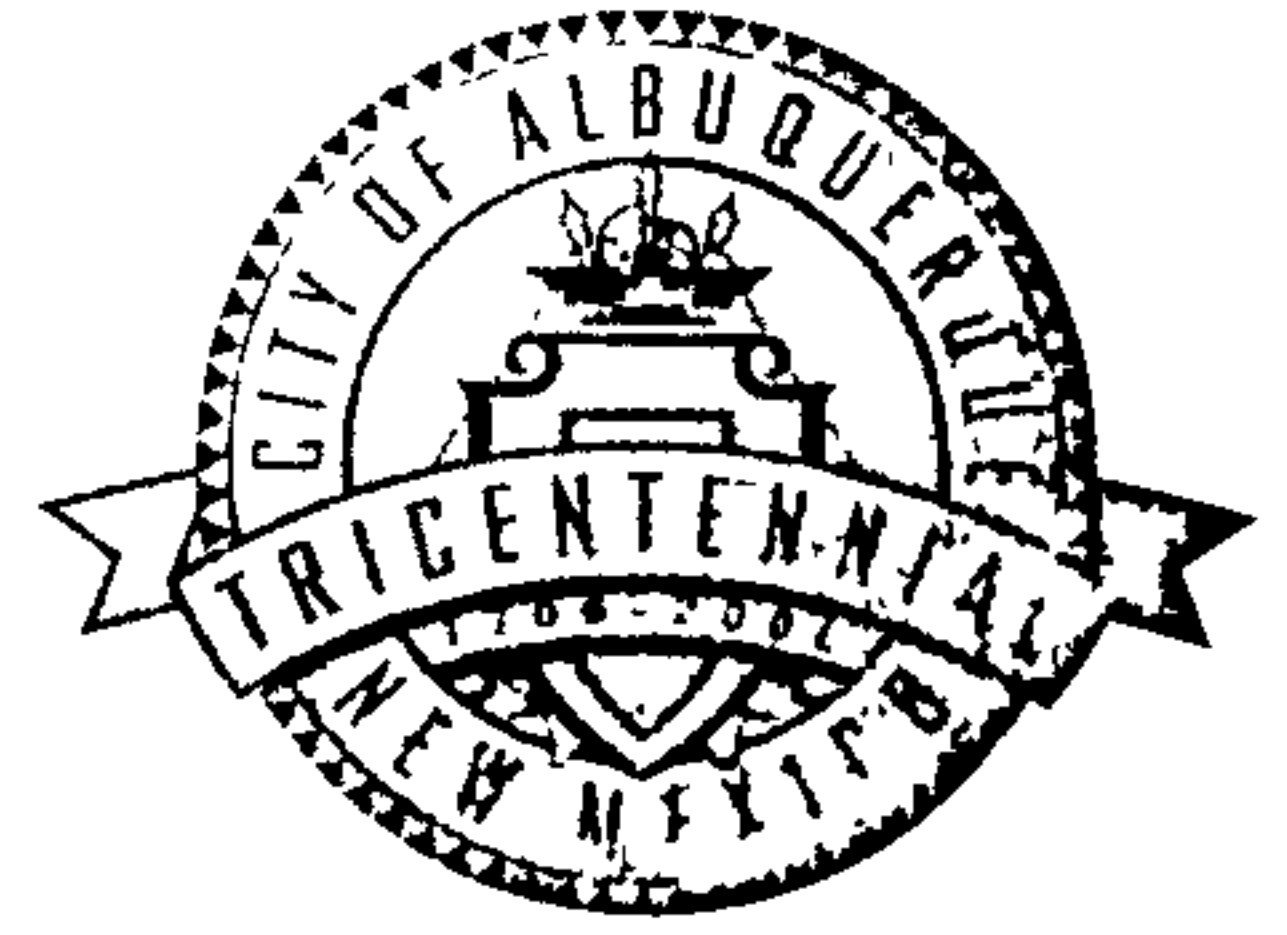
PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE



September 25, 2006

Lawrence D. Read, P.E.
Larry Read & Associates, Inc
2430 Midtown Suite C
Albuquerque, NM 87107

Re: Proposed Uptown Site Grading and Drainage Plan

Engineer's Stamp dated 9-18-06 (J18/D33)

Dear Mr. Read,

Based upon the information provided in your submittal dated 9-18-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- The following comments provided in the last letter were not addressed.

- There is no north arrow on the plan. ✓
- Please address offsite flows from all directions. ✓
- What does the dark line on the northwest edge of the property symbolize? *new wall - call out*

- Provide offsite elevations along the north and west property lines, flow lines at the drive entrances, and elevations in the earthen swale. *or show that w. keeps going w and N. enters*
- Runoff from this site enters the site to the west at the area of the rip-rap rundown. Design of this site should prevent this from occurring. *or better*
- Is that a ~~curb~~ on the downstream side of the rip-rap rundown? *call out* **OK**
- Is the TC=50.10 proposed spot elevation near the rip-rap supposed to be a TA=50.10? Also, notations in this area are cutoff by the calculation box. Move/resize the box so that it does not overlay the build notes.

- *Please show that curb work [7] is to be done by City work Order*

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne

Curtis A. Cherne, E.I.
Engineering Associate, Planning Dept.
Development and Building Services

bw

C: file

CITY OF ALBUQUERQUE



June 28, 2006

Lawrence D. Read, P.E.
Larry Read & Associates, Inc
2430 Midtown Suite C
Albuquerque, NM 87107

(Uptown Hilton)

Re: Proposed Uptown Site Grading and Drainage Plan
Engineer's Stamp dated 6-21-06 (J18/D33)

Dear Mr. Read,

Based upon the information provided in your submittal dated 6-22-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- The proposed dumpster enclosure near the future Holiday Inn needs to be relocated since it is in the runoff flow path.
- Dumpster enclosures need to be plumbed to the sanitary sewer system.
- Provide a detail for the concrete rundown area and address the ponding at the bottom of the concrete rundown.
- NJ* • There is no north arrow on the plan.
- NJ* • Please address offsite flows from all directions.
- NJ* • What does the dark line on the northwest edge of the property symbolize?
 - A section of the existing valley gutter is broken.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne

Curtis A. Cherne, E.I.
Engineering Associate, Planning Dept.
Development and Building Services

BUS

C: file

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Uptown Hixton
DRB #: _____ EPC#: _____

ZONE MAP/DRG. FILE #: J-18 / 1033
WORK ORDER#:

LEGAL DESCRIPTION: Lot A-2-A, Park Square Addition
CITY ADDRESS: 6500 Americas Parkway NE

ENGINEERING FIRM: LARRY READ & ASSOCIATES, INC
ADDRESS: 2430 Midtown Suite C
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: LARRY READ
PHONE: 237-8421
ZIP CODE: 87107

OWNER: LEGACY HOSPITALITY, INC
ADDRESS: 2501 YALE BLVD. SE SUITE 102
CITY, STATE: ALBUQUERQUE, NEW MEXICO

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ARCHITECT: TAFFAZULE HUSSAIN
ADDRESS: 2501 YALE BLVD. SE SUITE 102
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SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT:
PHONE:
ZIP CODE:

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT:
PHONE:
ZIP CODE:

CHECK TYPE OF SUBMITTAL:

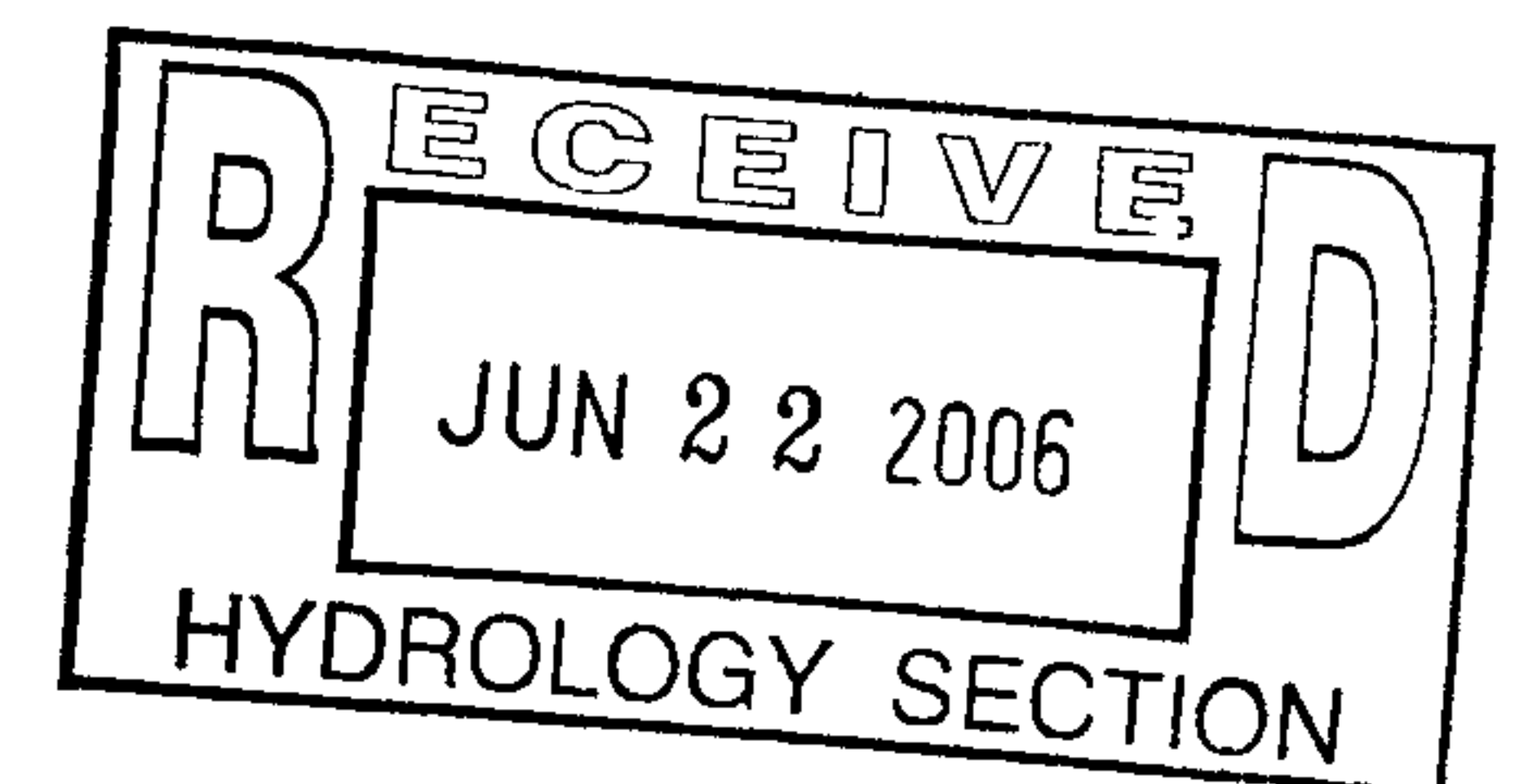
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☒ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: June 21, 2006

BY: Larry D. Read, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



June 28, 2006

Lawrence D. Read, P.E.
Larry Read & Associates, Inc
2430 Midtown Suite C
Albuquerque, NM 87107

(Homewood Suites - Uptown)

Re: Proposed Uptown Site Grading and Drainage Plan
Engineer's Stamp dated 6-6-06 (J18/D33)

Dear Mr. Read,

Based upon the information provided in your submittal dated 6-6-06, the above referenced plan is approved for Grading Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

P.O. Box 1293

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions feel free to call the Municipal Development Department Hydrology Section at 768-3654 (Charles Caruso).

Albuquerque

The proposed dumpster enclosure location is in the runoff flow path. This will have to be corrected to obtain Building Permit.

New Mexico 87103

If you have any questions, you can contact me at 924-3695.

www.cabq.gov

Sincerely,

Curtis A. Cherne

Curtis A. Cherne, E.I.
Engineering Associate, Planning Dept.
Development and Building Services

Bub

C: file
Charles Caruso, DMD



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

January 8, 2002

Amy Driscoll for Mark Goodwin, P.E.,
Mark Goodwin & Assoc's.
P.O. Box 90606
Albuquerque, NM 87199

Re: Certification Submittal for Final Building Certificate of Occupancy for
Uptown Suites/E-Suites-Boca de Bepo Restaurant, [J18 / D033]
6520 America's Parkway N.E.
Engineer's Stamp Dated 01/08/02

Dear Ms. Driscoll:

The TCL / Letter of Certification submitted is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to Building and Safety and final C.O. has been logged in by Vicki Chavez in the Building Safety Section downstairs.

Sincerely,

Mike Zamora
Commercial Plan Checker
Development and Building Services
Public Works Department

c: Hydrology
Mike Zamora

DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

PROJECT TITLE: UPDOWN SUITES/E-SUITES ZONE MAP/DRG. FILE #: J-18 D33
 DRB #: 1000551 EPC#: _____ WORK ORDER#: 66081

LEGAL DESCRIPTION: WESTERLY PORTION OF TRACT 2, PARK SQUARE ADDITION
 CITY ADDRESS: 6520 AMERICA'S PARKWAY

ENGINEERING FIRM: MARK GOODWIN + ASSOC
 ADDRESS: PO BOX 90600
 CITY, STATE: ALB, NM

CONTACT: AMY L. DRISCOLL, PE
 PHONE: 828-2200
 ZIP CODE: 87199

OWNER: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

ARCHITECT: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

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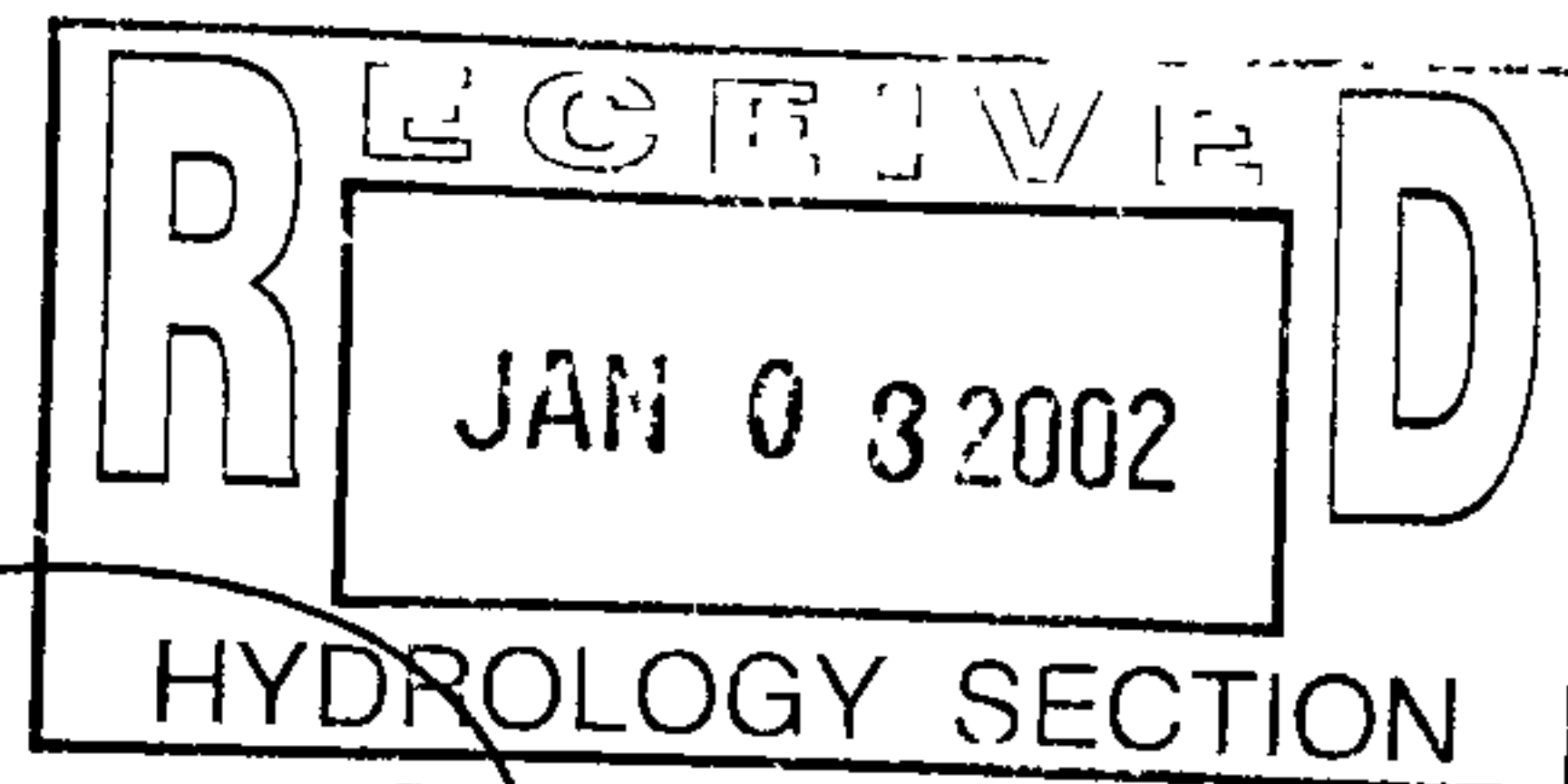
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- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEERS CERTIFICATION (TCL) FOR HYDROLOGY + TRAFFIC
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
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- ☐ WORK ORDER APPROVAL
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WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 1/8/01 BY: [Signature]

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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

1/8/02 - C'd in (GT) Final C.O. to Vicki, 1/10/02 - Sent letter dated 1/8/02

D. Mark Goodwin and Associates, P.A.
Consulting Engineers

P.O. Box 90606 ♦ Albuquerque, NM 87199
(505) 828-2200 ♦ (505) 797-9539 fax
e-mail: dmg@swcp.com

LETTER OF TRANSMITTAL

To: Terri Martin

City of Albuquerque

Date: January 8, 2002

Re: Albuquerque e-Suites J-18/D33

We are sending:

No. Copies	Date	Item Description
2		Certificate of Occupancy for Hydrology
2		Certificate of Occupancy for Transportation

☒ For your approval

☐ For your information

☐ As you requested

☐ For your comments

NOTES:

SIGNED:

Amy L. Driscoll, PE