

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

July 23, 2024

Christopher Archuleta, P.E.
RESPEC
7770 Jefferson St. NE
Albuquerque, NM 87109

Re: Markana Up Town/ PHASE 2/ 6500 American Park way NE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 02-24-22 (J18-D033)
Certification dated 07-11-24

Dear Mr. Archuleta,

Based upon the information provided in your submittal received 07-15-24, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at earmijo@cabq.gov

Albuquerque

Sincerely,

NM 87103

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

www.cabq.gov

\xxx via: email
C: CO Clerk, File



TRAFFIC CERTIFICATION

I, CHRISTOPHER ARCHULETA, NMPE, OF THE FIRM RESPEC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 02/24/2022. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY CHRISTOPHER ARCHULETA OF THE FIRM RESPEC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 07/10/2024 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION CERTIFICATED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Signature of Engineer or Architect



07/11/2024

Date

7770 Jefferson St., NE
SUITE #200
Albuquerque, NM 87109
505.268.2661

Easement Notes

- 1 EXISTING 5' UTILITY EASEMENT (6/29/1984, C24-89)
- 2 EXISTING 20' COA WATER & SEWER EASEMENT (9/14/1965, D3-126) & (6/29/1984, C24-89)
- 3 EXISTING 10' PNM EASEMENT (4/29/1975, BK. MISC. 418, PG. 830)
- 4 INTENTIONALLY OMITTED
- 5 EXISTING NON-EXCLUSIVE PRIVATE ACCESS EASEMENT (8/7/1998, BK. 98-13, PG. 8016)
- 6 INTENTIONALLY OMITTED
- 7 INTENTIONALLY OMITTED
- 8 EXISTING CABLE EASEMENT OVER NON-BUILDING AREAS (10/12/2007, DGC. NO. 2007144250)
- 9 EXISTING PRIVATE CROSS LOT DRAINAGE EASEMENT, PRIVATE CROSS LOT UTILITY EASEMENT AND RECIPROCAL PRIVATE CROSS PARKING EASEMENT BENEFITING AND MAINTAINED BY TRACT A-2-B AND TRACTS A-2-A & A-2-B (7/2/2001, 2001C-186) (4/19/2011, 2011C-35)
- 10 PRIVATE CROSS LOT DRAINAGE EASEMENT ACROSS TRACTS A-2-A-2 AND A-2-A-1 BENEFITING AND MAINTAINED BY TRACT A-2-B (8/13/1998, 98C-241)
- 11 PRIVATE PARKING, VEHICULAR ACCESS, AND PEDESTRIAN EASEMENT BENEFITING AND MAINTAINED BY TRACTS 1-B-1, A-2-A-1 AND A-2-A-2, PARK SQUARE (7/15/1998, BK. 9812, PG. 6785) (7/31/2002, BK. A39, PG. 6377) (1/14/2005, BK. A90, PG. 7567) (5/19/2007, BK. A136, PG. 8823)
- 12 PRIVATE ACCESS EASEMENT BENEFITING AND MAINTAINED BY TRACTS A-2-A-1, A-2-A-2 AND A-2-B, PARK SQUARE (4/19/2011, 11C-35)
- 13 PRIVATE CROSS LOT DRAINAGE EASEMENT BENEFITING AND MAINTAINED BY TRACTS A-2-A-1 AND A-2-A-2, PARK SQUARE (4/19/2011, 11C-35)
- 14 EXISTING 33' COA WATER & SEWER EASEMENT (6/29/1984, C24-89)
- 15 10' PNM EASEMENT GRANTED WITH THE FILING OF THIS PLAT

DEVELOPMENT DATA

NET SITE AREA :

TRACT A-2-A-2-A 2.4244 ACRES (105,609 S.F.)
TRACT A-2 0.9123 ACRES (39,741 S.F.)
TRACT A-2-A-1-A 1.6520 ACRES (71,959 S.F.)

ZONING AND LAND USE:

CURRENT: MX-H (UC-MS-PT)
LAND USE: RESTAURANT / HOTEL
MULTI-FAMILY RESIDENTIAL

BUILDING HEIGHT :

ALLOWED: 99 FEET
PROPOSED: 97 FEET
DENSITY :
PROPOSED: 100.2 DU/ACRE

SETBACKS REQUIRED :

FRONT(E) 0
SIDE(N) 0
SIDE(S) 0
REAR(W) 15'
PROVIDED 10' 3' 2' 7'

FLOOR AREA RATIO :

BUILDING NET AREA 252,480 S.F.
F.A.R. PROVIDED 252,480 / 105,609 = 2.39

BUILDING AREAS :

LEVEL	S-2 GARAGE	R-2 RES.	A-3 ASSEMBLY	B	TOTAL
P1	73,471	1,854	REC FITNESS POOL HOUSE	2,134	77,419
P2	71,920	1,414			73,334
L1		45,307	1,864	1,344	49,167
L2		45,196	855	662	46,703
L3		50,416			50,416
L4		50,416			50,416
L5		50,416			50,416
TOTAL	145,391	244,969	2,006	652	5,377

LEGEND

--- DENOTES PROPERTY LINE

- NO. OF PARKING SPACES
NO. OF COMPACT PARKING SPACES
- DENOTES ACCESSIBLE PARKING AND ANSI TYPE 'A' DWELLING UNIT
- MONUMENT SIGNAGE
- DIRECTIONAL SIGNAGE - GROUND MOUNTED
- ACCESSIBLE WALKWAY SIGNAGE - BUILDING OR GROUND MOUNTED
- BUILDING MOUNTED SIGNAGE - SEE A3.4 & A3.4 FOR LOCATIONS

USABLE OPEN SPACE :

REQUIRED:
STUDIO 200 SF x 60 = 12,000 S.F.
1 BR 200 SF x 107 = 21,400 S.F.
2 BR 250 SF x 78 = 19,500 S.F.
TOTAL REQUIRED = 52,400 S.F.
50% REDUCTION FOR PROPERTY BEING UC/MS/PT = 26,200 S.F.
TOTAL REQUIRED = 26,200 S.F.

PROVIDED:
LEVEL L1 COURTYARDS 22,057 S.F.
PRIVATE BALCONIES 14,487 S.F.
AT GRADE ON SITE 10,418 S.F.
TOTAL PROVIDED 46,962 S.F.

THE FIRST RESIDENTIAL LEVEL (PODIUM LEVEL L1) HAS TWO OPEN COURTYARDS, CONNECTED BY A COVERED BREEZEWAY. THE SOUTH COURTYARD IS THE POOL AREA WITH AMENITIES LIKE CABANAS, RAMADA, SEATING AREA. THE FITNESS CENTER, RECREATIONAL SPACE AND POOL HOUSE ARE PART OF THE BUILDING ORIENTED TOWARDS THE POOL COURTYARD. THE NORTH COURTYARD IS ANOTHER OPEN SPACE WITH RAMADAS, BARBECUES, GAME LAWN, AND SEATING AREAS.

UNIT MIX:

UNIT	LIVABLE	BALCONY	L1	L2	L3	L4	L5	TOTAL
S1	589 SF	44 SF	10	11	13	13	13	51
S1m1	618 SF	44 SF	1	1	2	2	2	8
S2H	754 SF	63 SF						1
A1	878 SF	46 SF	3					3
A2	634 SF	52 SF	12	12	12	12	12	60
A2m1	733 SF	67 SF	1	1	1	1	1	5
A3	754 SF	63 SF	7	6	6	6	6	31
A3m1	733 SF	63 SF	1	1	1	1	1	5
B1	928 SF	51 SF	5	8	10	10	10	43
B2	1,022 SF	106 SF	6	5	6	6	6	29
B2H	1,022 SF	106 SF						1
B3	1,226 SF	135 SF		1	1	1	1	3
TOTAL			45	45	51	51	51	243

TRAFFIC CERTIFICATION

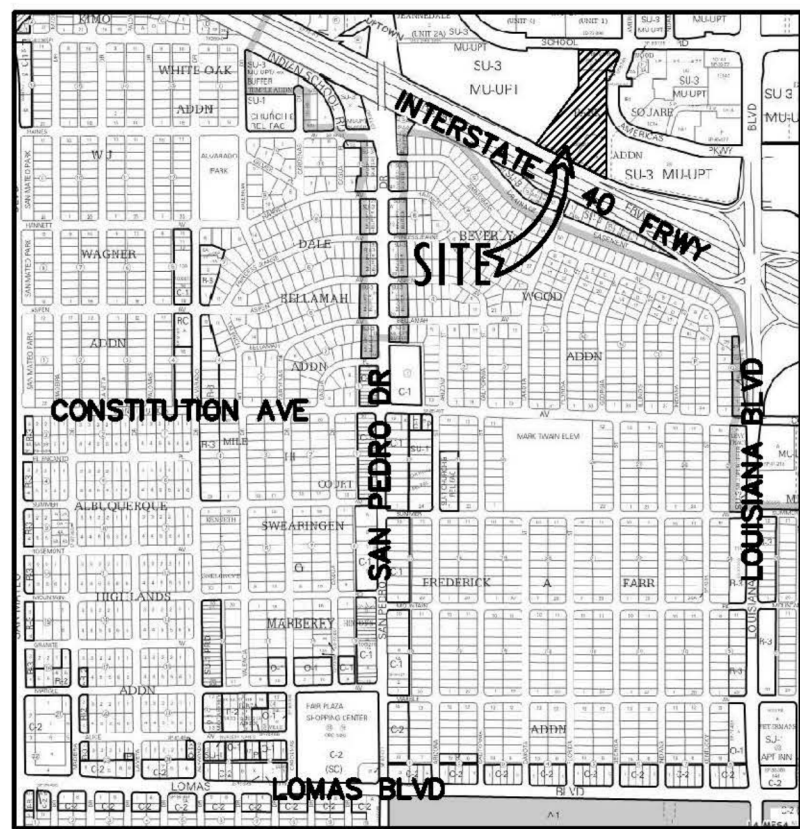
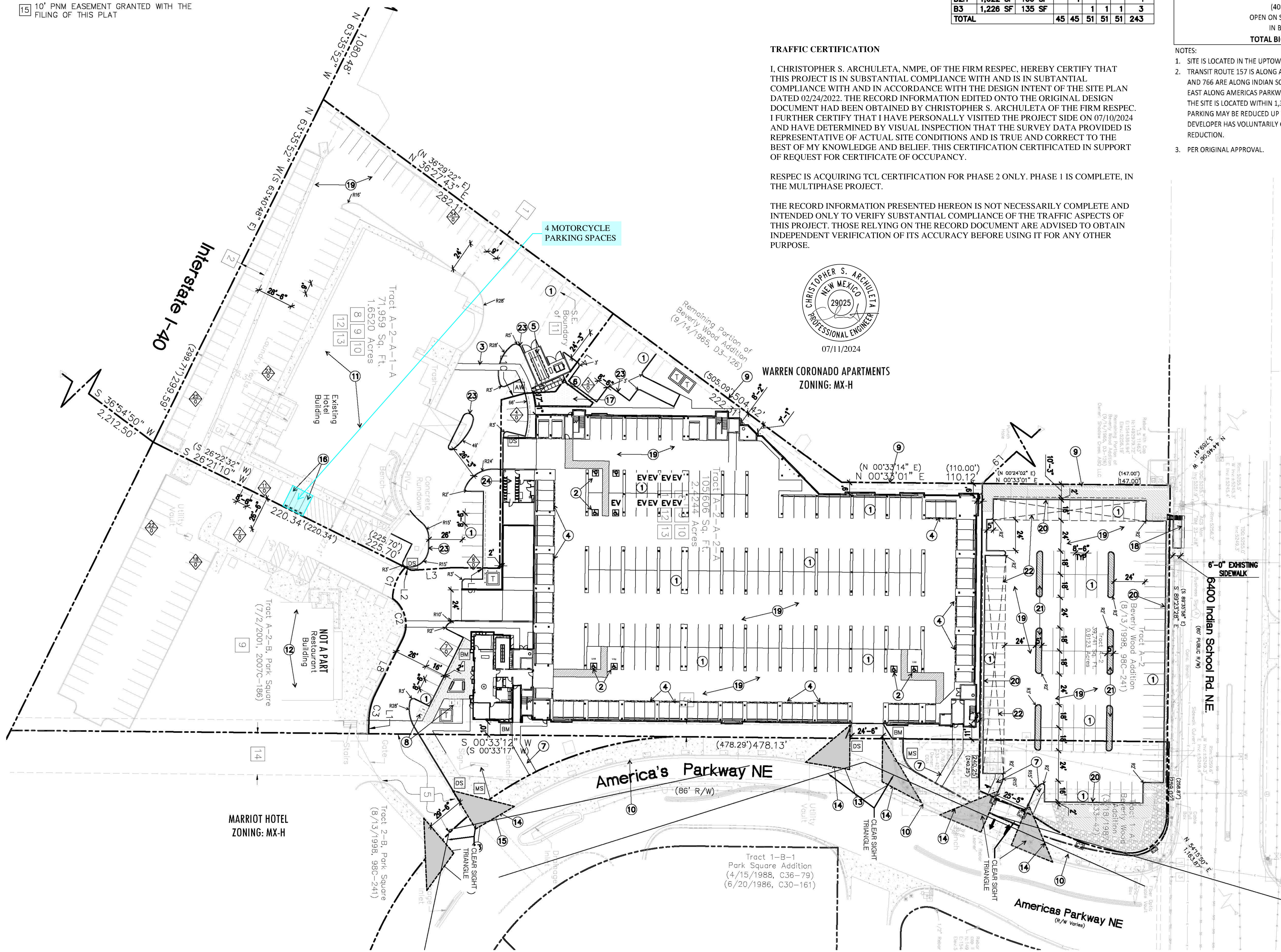
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RESPEC IS ACQUIRING TCL CERTIFICATION FOR PHASE 2 ONLY. PHASE 1 IS COMPLETE, IN THE MULTIPHASE PROJECT.

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WARREN CORONADO APARTMENTS
ZONING: MX-H



VICINITY MAP

NOT TO SCALE

GENERAL NOTES

- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A WORK ORDER.
- LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- THE MATERIALS USED FOR CROSSWALKS WILL COMPLY WITH REGULATIONS IN THE FORM BASED CODE.
- SITE WILL COMPLY WITH THE LIGHTING STANDARDS IN THE MX-H ZONE AND IDO SECTION 14-16-5-7.
- REFER TO ELECTRICAL PLANS FOR SITE/BUILDING LIGHTING MONUMENT/DIRECTIONAL/BRANDING SIGNAGE WILL BE A DELEGATED DESIGN. LOCATIONS ARE PROVIDED ON THIS PLAN FOR COORDINATION PURPOSES.

KEYNOTES ①

- 8'-6"x18' PARKING SPACE, TYPICAL. SEE DETAIL 01/A1.20
- 11'x18' ACCESSIBLE PARKING SPACE. SEE DETAIL 05/A1.20.
- ACCESSIBLE DRIVEWAY CROSSING MARKING TO COMPLY WITH REGULATIONS IN THE FORM BASED CODE.
- 8'x15' COMPACT PARKING SPACE. MARK "COMPACT" TO THE BACK OF THE PARKING SPACE. SEE DETAIL 02/A1.20.
- TRASH YARD ENCLOSURE WITH COMPACTOR SURROUNDED BY 8' CHAU WALL PAINTED TO MATCH BUILDINGS. SEE DETAIL 10/A1.21. TRASH YARD TO BE SHARED WITH HOTEL TO THE SOUTH.
- 10'x30' LOADING PARKING SPACE.
- 8' SIDEWALK CONNECTING TO PUBLIC WAYS.
- BICYCLE PARKING LOCATION. 4 BICYCLES PER LOCATION. 8 BICYCLES TOTAL. SEE DETAIL 04/06/A1.20.
- EXISTING PERIMETER WALL.
- EXISTING STREET CURB WITH 13'-6" MIN. SIDEWALK AT AMERICA'S PARKWAY.
- EXISTING HOTEL BUILDING.
- EXISTING RESTAURANT BUILDING (NOT A PART).
- EXISTING DRIVEWAY ENTRY WITH ACCESSIBLE CURB RAMPING.
- SIGHT VISIBILITY. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- EXISTING HOTEL SIGN TO REMAIN.
- (4) 4'x18' MOTORCYCLE PARKING SPACES BY HOTEL AND (2) 5'x18' MOTORCYCLE PARKING SPACES AT P2 (SEE GARAGE PLANS. MARK "MC" TO THE BACK OF THE PARKING SPACE. PROVIDE SIGN PER DETAIL 16/A1.21).
- DOGS PARK. REFER TO HARDSCAPE PLANS. SHEET SERIES 000-400.
- REMOVE EXISTING DRIVEWAY AND REPLACE WITH SIDEWALK/CURB PER COA STD DETAIL 2415-A.
- ASPHALT PAVEMENT IN PARKING LOT.
- ASPHALT CURB.
- STRIPED ISLANDS.
- PARKING CARPORT COVER.
- CONCRETE CURB PER CIVIL DRAWINGS.
- BICYCLE PARKING ROOM WITH RACKS FOR 32 BICYCLES. SEE DETAIL 7/A1.20. SEE SHEET A5.59 FOR ENLARGED PLAN.

PROJECT NUMBER: PR-2018-001284
Application Number: SI-2021-01962

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Jeanne Wolfenbarger Mar 18, 2022
Traffic Engineering, Transportation Division
Date
Ernest Amaya Mar 18, 2022
Parks and Recreation Department
Date
City Engineer
Date

Solid Waste Management
Angela Matigra Mar 21, 2022
Code Enforcement
Date
DRB Chairperson, Planning Department
Apr 6, 2022
Date

MARKANA UPTOWN

6500 Americas Parkway NE
Albuquerque, NM 87110

Office of Rich Barber
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Architecture, LLC
WorldHQ@ORBArch.com



LEGACY HOSPITALITY

Contractor must verify all dimensions at project before proceeding with this work.

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REVISIONS

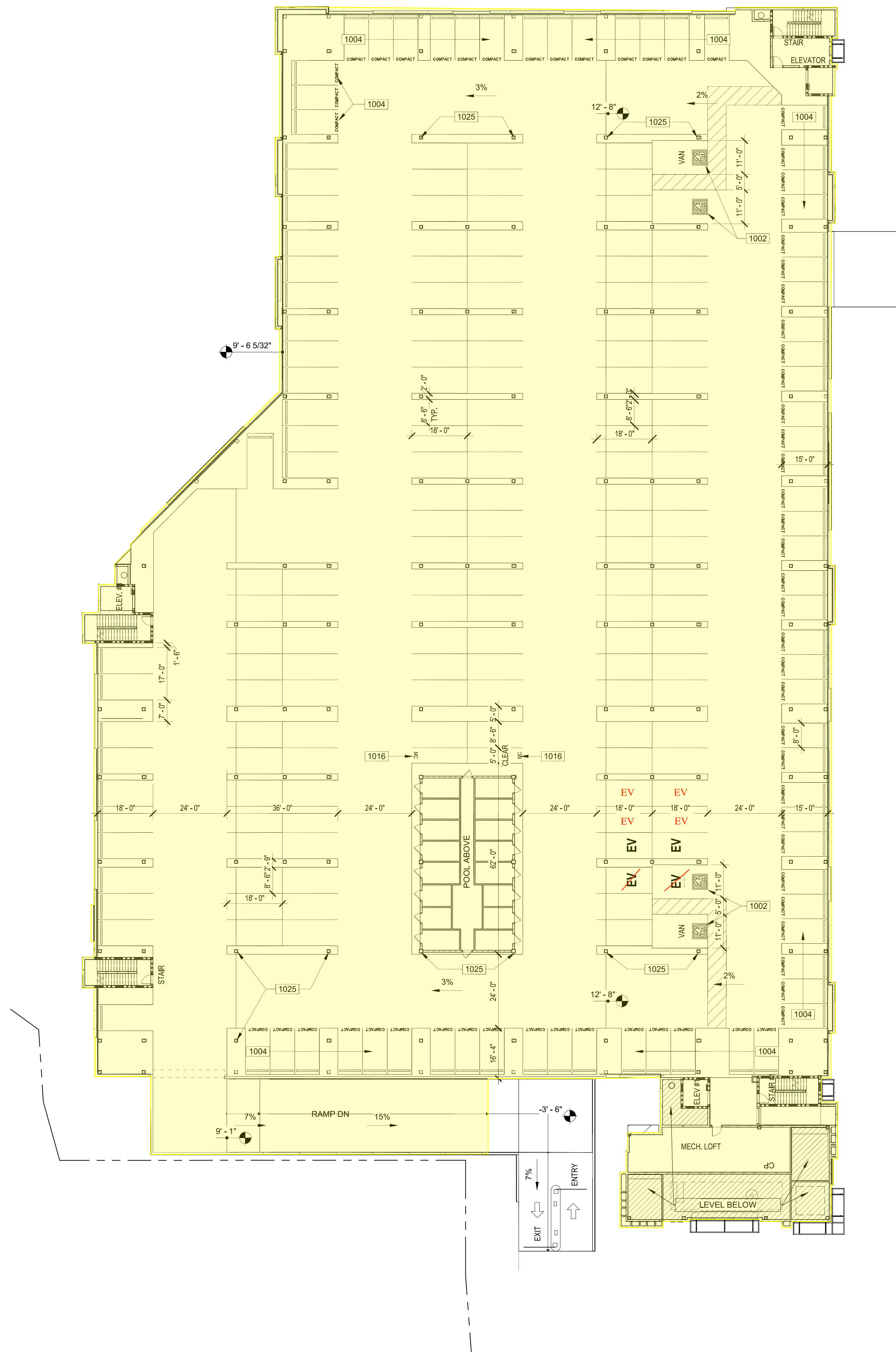
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RE-PLAT

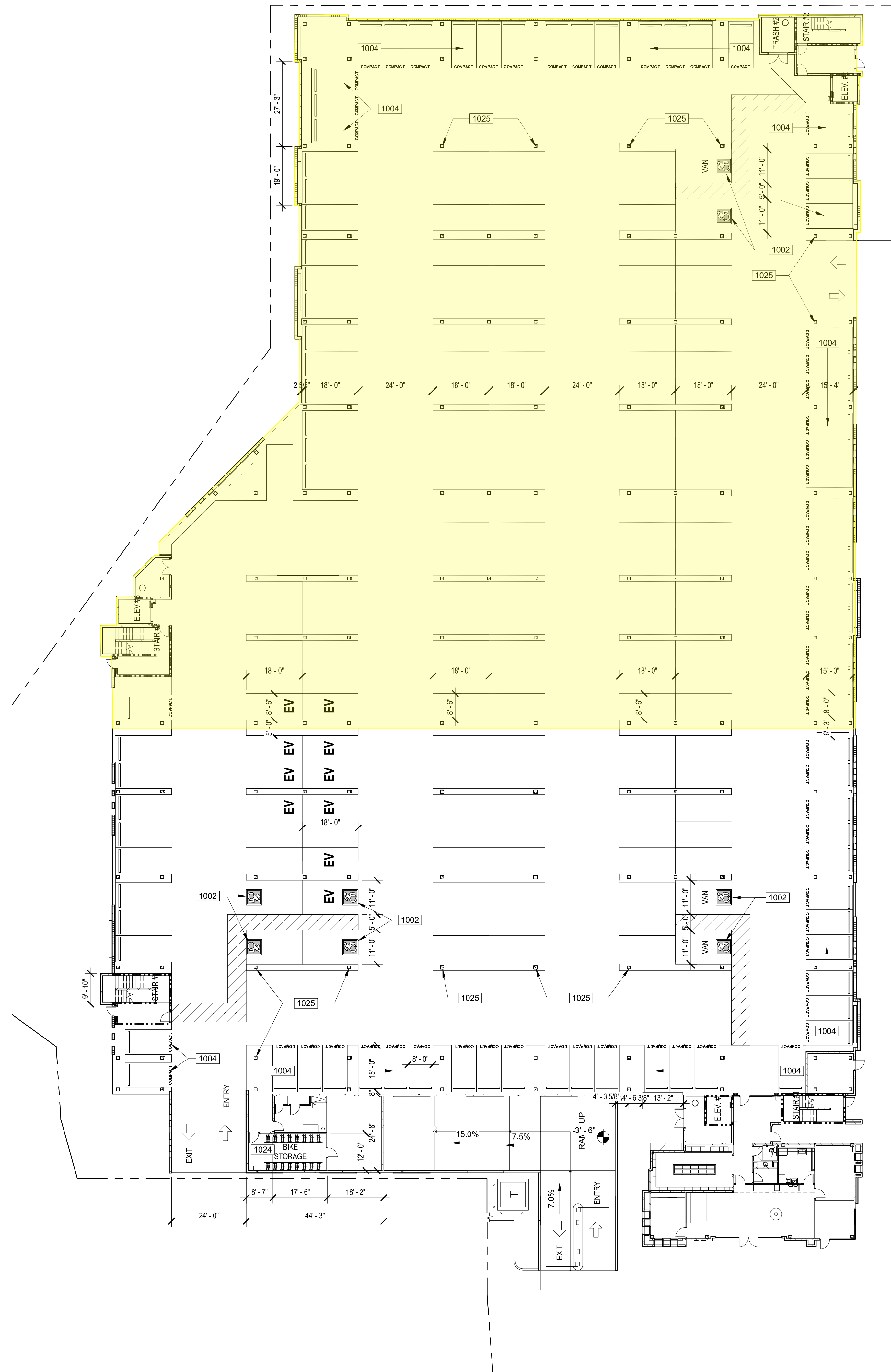
DATE: FEBRUARY 24, 2022 ORB # 16-221

A1.10

SITE PLAN



2 BUILDING FLOOR PLAN - LEVEL P2
SCALE: 1" = 20'-0"



1 BUILDING FLOOR PLAN - LEVEL P1
SCALE: 1" = 20'-0"

KEYNOTES

- 1002 11'x18' ACCESSIBLE PARKING SPACE, SEE DETAIL 05/A1.20.
- 1004 8'x15' COMPACT PARKING SPACE, MARK 'COMPACT' TO THE BACK OF THE PARKING SPACE. SEE DETAIL 02/A1.20.
- 1016 (4) 4'x18' MOTORCYCLE PARKING SPACES BY HOTEL AND (2) 5'x18' MOTORCYCLE PARKING SPACES AT P2 GARAGE. MARK 'MC' TO THE BACK OF THE PARKING SPACE. PROVIDE SIGN PER DETAIL 16/A1.21.
- 1024 BICYCLE PARKING ROOM WITH RACKS FOR 32 BICYCLES, SEE DETAIL 7/A1.20. SEE SHEET A5.59 FOR ENLARGED PLAN.
- 1025 PROVIDE PROTECTION AT COLUMNS AT END OF DRIVEWAYS. MANUFACTURER POST GUARD, SQUARE COLUMN PROTECTION (MODEL PS-Y-KIT) PARK SENTRY SQUARE KIT - YELLOW, OR APPROVED EQUAL BY OWNER, COORDINATE WITH PLANNING PRIOR TO INSTALLATION.

PHASE 2 TCL

MARKANA UPTOWN

6500 Americas Parkway NE
Albuquerque, NM 87110

Office of Rich Barber
ORB Architecture, LLC
WorldHQ@ORBArch.com



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REVISIONS/SUBMITTALS

DATE	DESCRIPTION
08.21.19	1ST BLD. SUB.
1 10.30.19	DESIGN TEAM COORDINATION
3 04.01.20	2ND CITY COMMENTS
4 04.01.20	DESIGN TEAM COORDINATION
5 04.27.20	3RD CITY COMMENTS
9 06.21.21	OWNER / I.D. CHANGES

RE-PLAT

DATE: MARCH 16, 2022 ORB #: 16-221

A3.11.
BUILDING FLOOR PLAN
LEVELS P1 & P2