

CITY OF ALBUQUERQUE



July 27, 2015

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

**Re: Alice Townhomes, 5900 Alice NE
Grading and Drainage Plan
Engineer's Stamp dated 9-16-14 (J18D043)
Certification Stamp Date: 07-16-15**

Dear Mr. Soule,

Based on the Certification received 7/24/2014, the site is acceptable for a release of a Permanent Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3999.

Albuquerque

Sincerely,

A handwritten signature in black ink, appearing to read 'Shahab Biazar', with a long horizontal flourish extending to the right.

New Mexico 87103

Shahab Biazar, P.E.
City Engineer, Planning Dept.
Development Review Services

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: ALICE TOWN HOMES Building Permit #: _____ City Drainage #: J18D043
 DRB#: 1009600 EPC#: _____ Work Order#: _____
 Legal Description: LOTS 7-9 BLOCK 13 MCCAFFREY AND LOTS 7-12 WILLIS SUBDIVISION
 City Address: 5600 ALICE NE

Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE
 Address: PO BOX 93924, ALBUQUERQUE, NM 87199
 Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: Ahmet Tiryaki Contact: _____
 Address: 1815 Cagua Place NE, Albuquerque nm 87110
 Phone#: _____ Fax#: _____ E-mail: _____

Architect: ROGER CINELLI Contact: KEN HOVER
 Address: 9215 SHOSHONE NE
 Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: CONSTRUCTION SURVEY TECHNOLOGIES Contact: JOHN GALLEGOS
 Address: _____
 Phone#: 917.8921 Fax#: _____ E-mail: _____

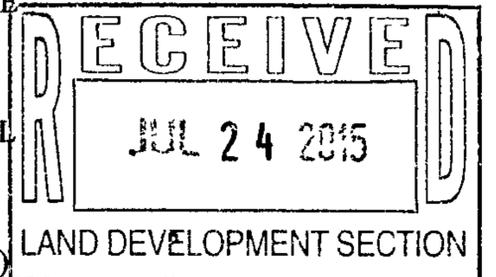
Contractor: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN)
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (TCL TEMP)
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- SO-19 APPROVAL
- ESC PERMIT APPROVAL
- ESC CERT. ACCEPTANCE
- OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes No _____ Copy Provided

DATE SUBMITTED: 7/16/15 By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

David Soule

From: Elliott, Stanice [staniceelliott@cabq.gov]
Sent: Wednesday, July 22, 2015 3:24 PM
To: david@riograndeengineering.com
Subject: Alice Town Homes

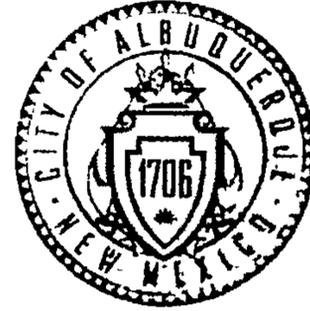
David

July 20, 2015 we received a submittal for hydrology CO Perm. Prior to that June 18, 2015 a 60 temporary CO was issued requesting top and bottom elevations for the pond including calculations to confirm ponding volumes in addition to other comments. I do not see these items addressed on the plan submitted. Please refer to letter dated 6-18-15. We will need all items addressed prior to a CO Perm. Let me know if you have any questions.

Stanice 'Totten' Elliott
Planning Department
Hydrology Section
City of Albuquerque
505-924-3982
505-924-3864 fax



CITY OF ALBUQUERQUE



June 18, 2015

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

**Re: Alice Townhomes, 5600 Alice NE
Request For Permanente C.O. – Accepted for 60-day Temporary C.O.
Engineer's Stamp dated 5-04-13 (J18D043)
Certification Date: 6-15-15**

Dear Mr. Soule,

Based upon the information provided in your submittal received 06-15-15, the above referenced plan is approved for 60 day Temporary Certification of Occupancy. The following comments must be addressed prior to Final Certification Occupancy:

- No as-built elevations are provided for the ponds located to the south side of the buildings. **ALL EX PONDS SHOWN**
- It does not appear adequate ponding areas were created as it was shown on the grading plan (especially for the ponding area north of the building located in the middle of the project). **2077 PROVIDED 1297 REQ FOR FIRST FLUSH**
- Provide top and bottom areas/elevations for the pond including calculations to confirm the ponding volumes. **SPREADSHEET ATTACHED**
- An Administrative Amendment approval to the Site Plan for Building Permit is required for the changes behind the center buildings. **APPROVED AND SUBMITTED SEPERATELY**

PO Box 1293

Albuquerque

New Mexico 87103

If you have any questions, you can contact me at 924-3999.

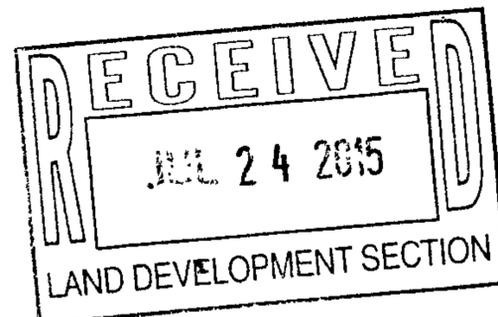
www.cabq.gov

Sincerely,

A handwritten signature in black ink, appearing to read "Shahab Biazar", with a long horizontal flourish extending to the right.

Shahab Biazar, P.E.
City Engineer, Planning Dept.
Development Review Services

C: Email



Weighted E Method

ALICE

Existing Developed Basins

Basin	Area (sf)	Area (acres)	100-Year, 6-hr.								Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
			Treatment A		Treatment B		Treatment C		Treatment D				
			%	(acres)	%	(acres)	%	(acres)	%	(acres)			
Historic (2010)	61881.34	1.421	0%	0	0.0%	0.000	16.0%	0.2273	84%	1.193	2.451	0.290	7.11
Proposed	61881.34	1.421	0%	0	6.0%	0.085	20.0%	0.28412	74%	1.051	2.310	0.274	6.83
Typical front courtyard	1364	0.031	0%	0	0.0%	0.000	24.0%	0.00752	76%	0.024	2.357	0.006	0.15
Typical rear yard	702	0.016	0%	0	10.0%	0.002	20.0%	0.00322	70%	0.011	2.248	0.003	0.08
Alley ponds	188	0.004	0%	0	0.0%	0.000	60.0%	0.00259	40%	0.002	1.932	0.001	0.02
Harvest amount	2268.98	0.052										75.633	

Equations:

$$\text{Weighted E} = E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d / (\text{Total Area})$$

$$\text{Volume} = \text{Weighted D} \cdot \text{Total Area}$$

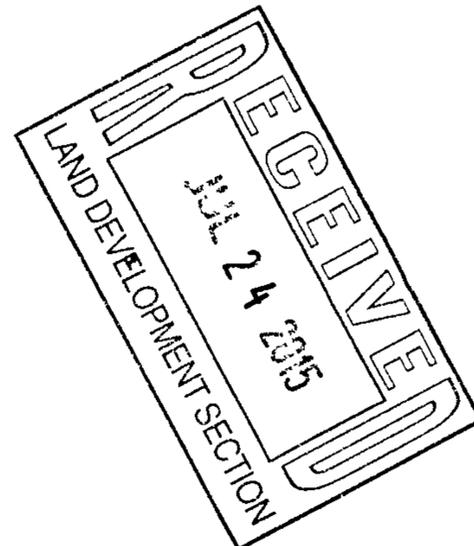
$$\text{Flow} = Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$$

Where for 100-year, 6-hour storm (zone 4)

Ea= 0.8	Qa= 2.2
Eb= 1.08	Qb= 2.92
Ec= 1.46	Qc= 3.73
Ed= 2.64	Qd= 5.25

DISCHARGE PROPOSED	6.83 CFS	9400 cf
HISTORICAL DISCHARGE	7.11 CFS	12640 cf
Water harvest		
WATER HARVESTED		2514 cf

	generated	provided
rear	132 cf	99
courtyard	268 cf	100
alley	30 cf	54



NOTICE TO CONTRACTORS

Office to Contractor
(Special Order 19-50-19)

1. An excavation permit will be required before beginning any work within City Right Of Way.
2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact New Mexico One Call, (in 1975) 780-1990 for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
7. Work on arterial streets shall be performed on a 24 hour basis.

FIRST FLUSH REQUIREMENT
(TOTAL SITE)-45781 SF X .34/12=1298 CUBIC FEET
(PHASE 1) PROVIDED=640 CUBIC FEET
(PHASE 2) PROVIDED=658 CUBIC FEET
(TOTAL SITE) PROVIDED=1334 CUBIC FEET

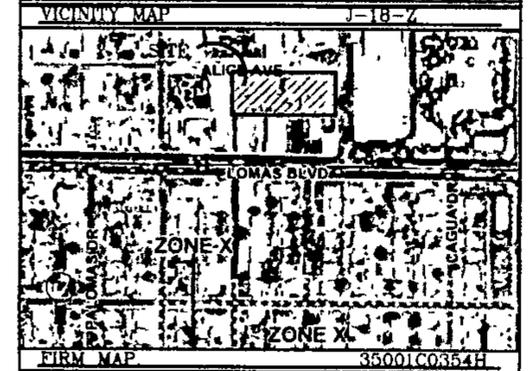
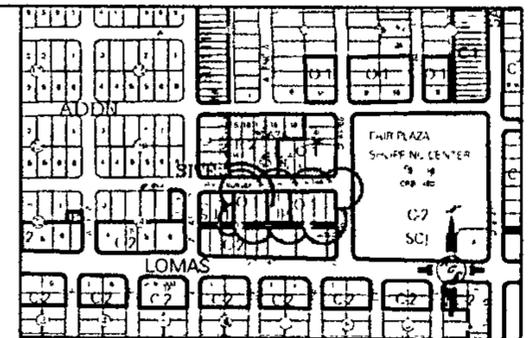
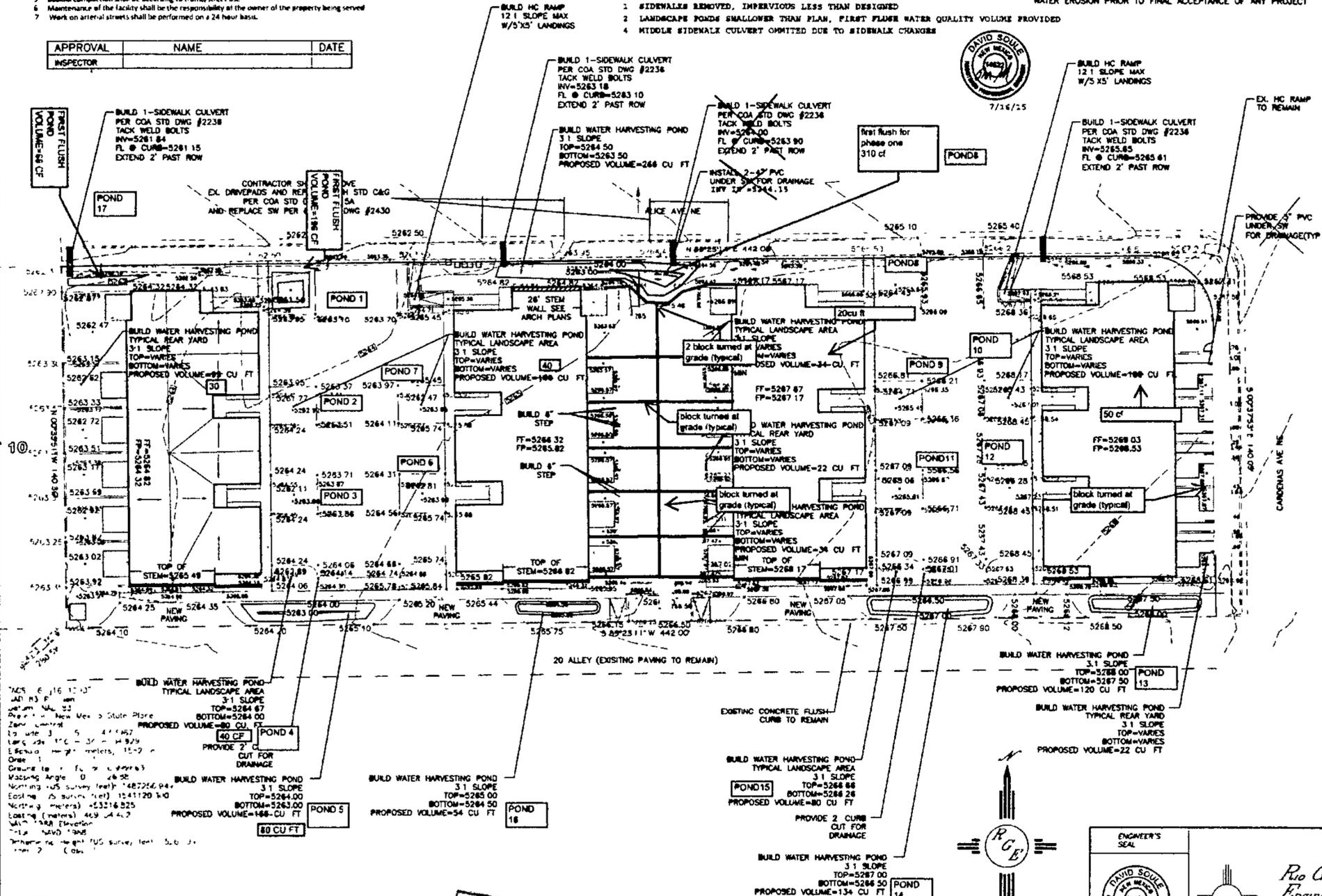
I, David Soule, NMPE 14522, of the firm Rio Grande Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 9/16/14. The record information edited on the original design document has been performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built survey was provided DAVID ACOSTA NMPS 21082. The certification is submitted in support of a request for PERMANENT CERTIFICATE OF OCCUPANCY. The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

- EXCEPTIONS**
1. SIDEWALKS REMOVED, IMPERVIOUS LESS THAN DESIGNED
 2. LANDSCAPE PONDS SMALLER THAN PLAN, FIRST FLUSH WATER QUALITY VOLUME PROVIDED
 4. MIDDLE SIDEWALK CULVERT OMITTED DUE TO SIDEWALK CHANGES

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

APPROVAL	NAME	DATE
INSPECTOR		



LEGAL DESCRIPTION

LOTS 7-12, BLK 14, ALBUQUERQUE HIGHLANDS ADDITION

NOTES

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL INTERIOR BACK YARD SCREEN WALLS BETWEEN TOWNHOUSES SHALL HAVE EVERY 3RD BLOCK TURNED AT GRADE FOR DRAINAGE.
3. PEDESTRIAN ADA PATHS AT DRIVEWAYS SHALL BE MAINTAINED WITHIN PUBLIC SW EASEMENT.

LEGEND

- - - - - EXISTING CONTOUR
- - - - - EXISTING INDEX CONTOUR
- - - - - PROPOSED CONTOUR
- - - - - PROPOSED INDEX CONTOUR
- - - - - BOUNDARY
- - - - - CENTERLINE
- - - - - RIGHT-OF-WAY
- - - - - EXTENDED STEM WALL (SEE ARCH PLANS)
- - - - - EXISTING SCREEN WALL
- - - - - PROPOSED BUILDING
- - - - - EXISTING EDGE OF CONCRETE
- - - - - ROOF DRAINAGE (TYP FOR ALL BLDGS)
- - - - - FLOW LINE

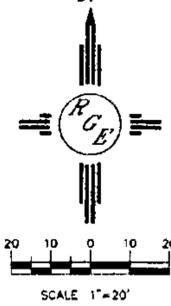
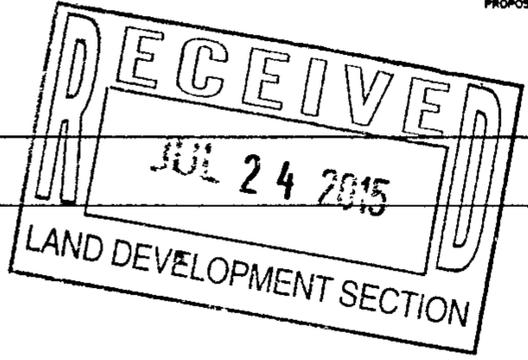
Cinelli ARCHITECTS
2418 Maribel Torres Lane NW
Albuquerque, New Mexico 87107
(505) 243-6211

PROJECT TITLE
ALICE TOWNHOUSES FOR AHMET TIRYAKI
5600 ALICE AVENUE NE
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE
GRADING AND DRAINAGE PLAN

ENGINEER'S SEAL	DRAWN BY MCWJ	DATE	PROJECT NO
DAVID SOULE	9-16-14	9-16-14	TR024
7/16/14	SHEET #	DATE	DRAWING NO.
DAVID SOULE PE #14522	21302	SEP 25 2015	DRB-2

CAUTION
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

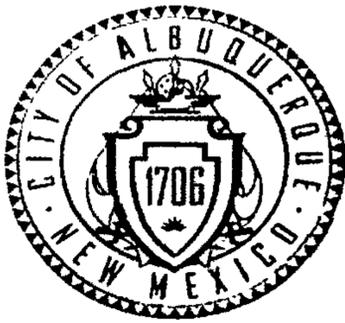


ALICE TOWN HOUSE

POND	TOP WIDTH	TOP LENGTH	BOTTOM WIDTH	TOP WIDTH	DEPTH	volume
1	15	16	9	7	1.2	181.8
2	10	16	3	12	0.9	88.2
3	10	16	8	12	1.5	192
4	6	15	4	40	1.1	137.5
5	8	50	6	5	1.3	279.5
6	10	16	4	5	1.2	108
7	8	12	4	14	1	76
8	20	18	16	8	2	488
9	10	16	4	8	1.1	105.6
10	10	16	4	6	0.4	36.8
11	10	16	4	5	0.9	81
12	10	14	4	3	0.4	30.4
13	40	6	20	3	0.5	75
14	40	6	15	2	0.5	67.5
15	13	4	1	5	0.1	2.85
16	20	8	2	3	0.3	24.9
17	20	5	8	12	0.25	24.5
18	18	16	5	5	0.5	78.25
					total volume	2077.8

IMPERVIOUS AREA 45792
 FIRST FLUSH REQUIRED 1297.44





City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: ALICE TOWN HOMES OVERALL SITE Building Permit #: _____ City Drainage #: J18D043

DRB#: 1009600 EPC#: _____ Work Order#: _____

Legal Description: LOTS 7-9 BLOCK 13 MCCAFFREY AND LOTS 7-12 WILLIS SUBDIVISION

City Address: 5600 ALICE NE

Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE

Address: PO BOX 93924, ALBUQUERQUE, NM 87199

Phone#: 505.321.9099 Fax#: 505 872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: Ahmet Tiryaki Contact: _____

Address: 1815 Cagua Place NE, Albuquerque nm 87110

Phone#: _____ Fax#: _____ E-mail: _____

Architect: ROGER CINELLI Contact: KEN HOVER

Address: 9215 SHOSHONE NE

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: CONSTRUCTION SURVEY TECHNOLOGIES Contact: JOHN GALLEGOS

Address: _____

Phone#: 917.8921 Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

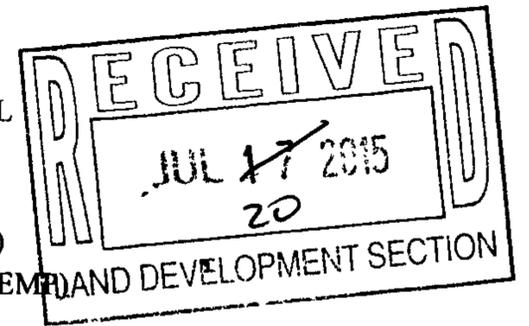
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN)
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
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- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- SO-19 APPROVAL
- ESC PERMIT APPROVAL
- ESC CERT. ACCEPTANCE
- OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes No _____ Copy Provided

DATE SUBMITTED: 7/16/15 By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
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CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

July 23, 2015

Roger Cinelli, R.A.
Roger Cinelli & Associates.
2418 Manuel Torres Ln. NW
Albuquerque, NM

**Re: Alice Townhouses
5600 Alice Ave. NE
Certificate of Occupancy – Transportation Development
Administrative Amendment dated 7-1-15 (J18-D043)
Certification dated 7-21-15**

Dear Mr. Cinelli,

Based upon the information provided in your submittal received 7-22-15, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Albuquerque

If you have any questions, please contact me at (505)924-3630.

New Mexico 87103

Sincerely,

www.cabq.gov

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 02/2012)

FOR AHMET TIRYAKI

PROJECT TITLE: 24 UNIT TOWNHOUSE PROJECT ZONE MAP: N18 D043
 DRB#: _____ EPC#: 1009600 WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 1, TIRYAKI SUBD.
 CITY ADDRESS: 5900 ALICE AVENUE N.E.

ENGINEERING FIRM: RIO GRANDE ENGINEERING CONTACT: DAVID
 ADDRESS: PO BOX 93924 PHONE: 321-9099
 CITY, STATE: ALBUQU NM ZIP CODE: 87199
 EMAIL: _____

OWNER: AHMET TIRYAKI CONTACT: AHMET
 ADDRESS: 1815 CAGUA S.E. PHONE: 615-4278
 CITY, STATE: ABQ, NM ZIP CODE: 87110

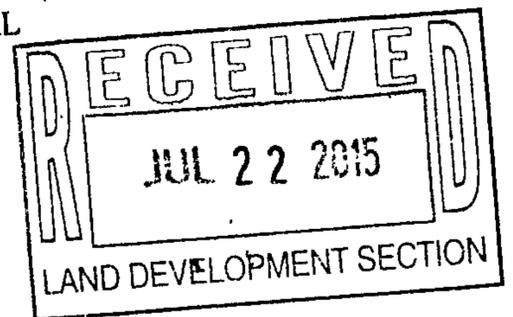
ARCHITECT: ROGER CINELLI & ASSOC. CONTACT: ROGER
 ADDRESS: 2419 MANUEL TORRES LN NW PHONE: 243-8211
 CITY, STATE: ABQ, NM ZIP CODE: 87107
 EMAIL: rcinelli@q.com

SURVEYOR: SAME AS ENGINEER CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: DAMA CONSTRUCTION CO CONTACT: AHMET
 ADDRESS: 1815 CAGUA PL SE. PHONE: 615-4278
 CITY, STATE: ABQ, NM ZIP CODE: 87110

- TYPE OF SUBMITTAL:**
- DRAINAGE REPORT
 - DRAINAGE PLAN 1st SUBMITTAL
 - DRAINAGE PLAN RESUBMITTAL
 - CONCEPTUAL G & D PLAN
 - GRADING PLAN
 - EROSION CONTROL PLAN
 - ENGINEER'S CERT (HYDROLOGY)
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 - TRAFFIC CIRCULATION LAYOUT
 - ENGINEER'S CERT (TCL)
 - ENGINEER'S CERT (DRB SITE PLAN)
 - OTHER (SPECIFY)

- CHECK TYPE OF APPROVAL SOUGHT:**
- SIA/FINANCIAL GUARANTEE RELEASE
 - PRELIMINARY PLAT APPROVAL
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 - S. DEV. FOR BLDG. PERMIT APPROVAL
 - SECTOR PLAN APPROVAL
 - FINAL PLAT APPROVAL
 - FOUNDATION PERMIT APPROVAL
 - BUILDING PERMIT APPROVAL
 - CERTIFICATE OF OCCUPANCY (PERM) **PHASE TWO**
 - CERTIFICATE OF OCCUPANCY (TEMP)
 - GRADING PERMIT APPROVAL
 - PAVING PERMIT APPROVAL
 - WORK ORDER APPROVAL
 - GRADING CERTIFICATION
 - OTHER (SPECIFY) SO-19



WAS A PRE-DESIGN CONFERENCE ATTENDED:
 YES
 NO
 COPY PROVIDED

DATE SUBMITTED: 7/21/15 BY: AHMET TIRYAKI

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Cinelli

ARCHITECTS

OFFICE (505) 243-8211 FAX (505) 243-8196

ROGER CINELLI & ASSOCIATES, INC. 2418 MANUEL TORRES LANE N.W. ALBUQUERQUE, NEW MEXICO 87107

7/21/2015

CITY OF ALBUQUERQUE
TRANSPORTATION DEVELOPMENT SECTION
PLAZA DEL SOL BUILDING
600 2ND STREET N.W.
ALBUQUERQUE, NEW MEXICO 87102

RE: **PHASE TWO (BUILDING "C" AND "D") – 24 UNIT TOWNHOUSE PROJECT FOR AHMET TIRYAKI, 5900 ALICE AVENUE N.E., ALBUQUERQUE, NEW MEXICO, ENVIRONMENTAL PLANNING COMMISSION SITE DEVELOPMENT PLAN FOR BUILDING PERMIT - (J18D043) – PROJECT #1009600 - ARCHITECT'S STAMP DATED 6/17/13 - APPROVED AUGUST 29, 2013 – PHASE TWO FINAL SITE CERTIFICATION**

DEAR SIRs,

I, ROGER CINELLI, NMRA 1102, OF THE FIRM, ROGER CINELLI & ASSOCIATES INC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE DRB APPROVED PLAN, EPC APPROVAL LETTER DATED APRIL 11, 2013.

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON JULY 21, 2015 AND OBSERVED SOME MINOR DEPARTURES FROM THE ORIGINAL DESIGN DOCUMENT. THE ADMINISTRATIVE AMENDMENT ATTACHED COVERS ALL TCL CHANGES.

THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ROGER CINELLI OF THE FIRM ROGER CINELLI & ASSOCIATES INC. I FURTHER SUBMIT THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY.

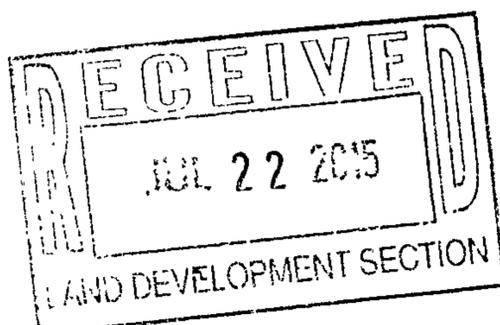
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SINCERELY,



ROGER CINELLI, ARCHITECT

7/21/15
DATE



7/21/15



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: ALICE TOWN HOMES Building Permit #: _____ City Drainage #: J18D043
 DRB#: 1009600 EPC#: _____ Work Order#: _____
 Legal Description: LOTS 7-9 BLOCK 13 MCCAFFREY AND LOTS 7-12 WILLIS SUBDIVISION
 City Address: 5600 ALICE NE

Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE
 Address: PO BOX 93924, ALBUQUERQUE, NM 87199
 Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: Ahmet Tiryaki Contact: _____
 Address: 1815 Cagua Place NE, Albuquerque nm 87110
 Phone#: _____ Fax#: _____ E-mail: _____

Architect: ROGER CINELLI Contact: KEN HOVER
 Address: 9215 SHOSHONE NE
 Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: CONSTRUCTION SURVEY TECHNOLOGIES Contact: JOHN GALLEGOS
 Address: _____
 Phone#: 917.8921 Fax#: _____ E-mail: _____

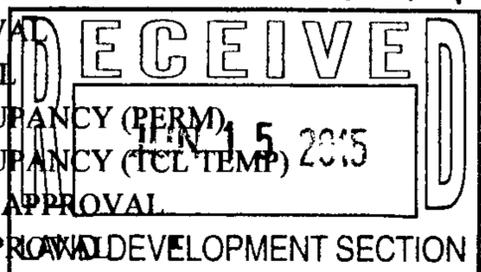
Contractor: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN)
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL *As verified*
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (TCL TEMP)
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL DEVELOPMENT SECTION
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- SO-19 APPROVAL
- ESC PERMIT APPROVAL
- ESC CERT. ACCEPTANCE
- OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: Yes No Copy Provided

DATE SUBMITTED: 6/10/15 By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
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3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

Can you please
log this in &
Give it back to
me? Thanks

Shahab ¹⁰⁰ 10/04/65

RIO GRANDE ENGINEERING OF NEW MEXICO, LLC

June 15, 2015

Ms. Rita Harmon
Mr. Rudy Rael
Hydrology Department
Public Works Department
City of Albuquerque

**RE: Drainage Certification Resubmittal
5600 Alice
J18-D043**

Dear Ms. Harmon:

The purpose of this letter is to accompany the revised grading certification plan. The plan has been revised to address your written comments dated June 11, 2015. The following is a summary of your comments and the corrections we have done to address.

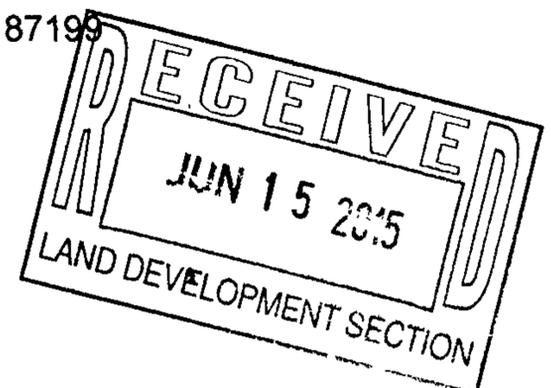
1. This plan does not match what was built a new submittal will be required with a new grading and drainage approval process.
We have made the changes clearer on the plan, in addition we have printed in color. We feel the plan accurately reflects the as built conditions as measured by survey and by visual inspection. We feel the omission of a significant amount of sidewalk provides for less discharge than previously approved. In addition modifications were made to provide for the first flush volume, even though the plans were approved prior to the implementation of the rule. We certify the site is shown as constructed and drawn on the original grading plan. We certify the site was graded in substantial compliance with the original design intent. The zoning and site plan approval is outside this certification, we are certifying the grading only. We feel the requirement to resubmit a new plan is not appropriate, the omission of sidewalks interior to the site do not have negative impact on the hydrology and request the attached grading certification be accepted.

Should you have any questions regarding this submittal, please do not hesitate to call me.

Sincerely,



David Soule, PE
Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199
505-321-9099



CITY OF ALBUQUERQUE



June 11, 2015

David Soule, PE
Rio Grande Engineering
1606 Central SE Suite 201
Albuquerque, NM 87106

**Re: Alice Townhomes
5600 Alice NE
Request Permanent C.O. – Not Accepted
Engineer's Stamp dated: 9-16-14 (J18D043)
Certification dated: 6-10-15**

Dear Mr. Soule,

Based on the Certification received 6/10/2015, the site cannot be accepted for release of Certificate of Occupancy by Hydrology until the following comments are addressed.

PO Box 1293

- This plan does not match what was built. A new submittal will be required with a new G&D approval process, after which, the CO will be reevaluated.

Albuquerque

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

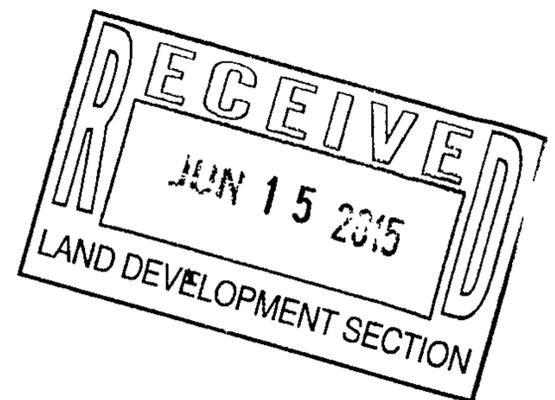
New Mexico 87103

Sincerely,

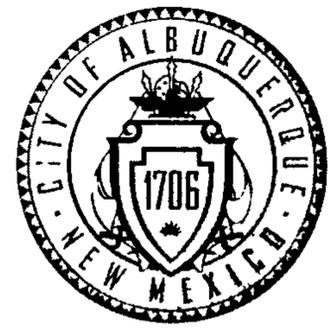
Rita Harmon, P.E.,
Senior Engineer, Hydrology
Planning Department

www.cabq.gov

C: RR/RH
email



CITY OF ALBUQUERQUE



June 18, 2015

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

Re: Alice Townhomes, 5600 Alice NE
Request For Permanente C.O. – Accepted for 60-day Temporary C.O.
Engineer's Stamp dated ~~5-04-13~~ (J18D043)
Certification Date: 6-15-15 9-16-14

Dear Mr. Soule,

Based upon the information provided in your submittal received 06-15-15, the above referenced plan is approved for 60 day Temporary Certification of Occupancy. The following comments must be addressed prior to Final Certification Occupancy:

- No as-built elevations are provided for the ponds located to the south side of the buildings.
- It does not appear adequate ponding areas were created as it was shown on the grading plan (especially for the ponding area north of the building located in the middle of the project).
- Provide top and bottom areas/elevations for the pond including calculations to confirm the ponding volumes.
- An Administrative Amendment approval to the Site Plan for Building Permit is required for the changes behind the center buildings.

PO Box 1293

Albuquerque

New Mexico 87103

If you have any questions, you can contact me at 924-3999.

www.cabq.gov

Sincerely,

Shahab Biazar, P.E.
City Engineer, Planning Dept.
Development Review Services

C: Email

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

June 16, 2015

Roger Cinelli, RA
Cinelli Architects
2418 Manuel Torres Ln NW
Albuquerque, NM 87107

**Re: Alice Townhomes
3900 Alice Ave NE
Traffic Circulation Layout**
Architect's Stamp dated 6-17-13 (J18-D043)
Certification dated 06-8-15

Dear Mr. Cinelli,

PO Box 1293

Based upon the information provided in your submittal received 06-16-15, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact me at (505)924-9999.

New Mexico 87103

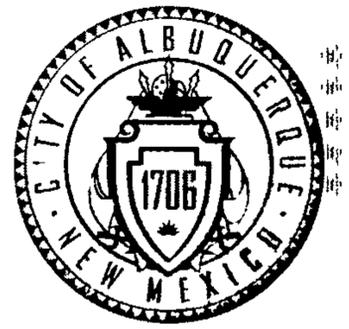
Sincerely,

www.cabq.gov

Shahab Biazar, P.E.
City Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

June 12, 2015

Roger Cinelli, RA
Cinelli Architects
2418 Manuel Torres Ln NW
Albuquerque, NM 87107

**Re: Alice Townhomes
3900 Alice Ave NE
Traffic Circulation Layout**
Architect's Stamp dated 6-17-13 (J18-D043)
Certification dated 06-8-15

Dear Mr. Cinelli,

The Letter of Certification submitted on 06-8-15 is not sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). The following items need to be addressed:

- The changes to the approved DRB site plan listed below required an approved Administrative Amendment.
 - The 6' sidewalk, 5' courtyard gates and water harvesting ponds between phase 1 and phase 2 have been deleted and replaced with the 5' high 8" CMU courtyard walls being extended to the middle of the courtyard making each lots back yard bigger.
 - The side walk entries to the townhomes from the public sidewalk off of Cardenas Dr. NE have also been removed.
- The multi-directional ADA ramp on the northeast corner of Alice Ave and Cardenas Dr. NE must have truncated domes installed.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact me at (505) 924-3630.

Sincerely,

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services
C: File

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 02/2012)

FOR AHMET TIRYAKI

PROJECT TITLE: 24 UNIT TOWNHOUSE PROJECT ZONE MAP: J18 D043
 DRB#: _____ EPC#: 1009600 WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 1, TIRYAKI SUBD.
 CITY ADDRESS: 5900 ALICE AVENUE N.E.

ENGINEERING FIRM: RIO GRANDE ENGINEERING CONTACT: DAVID
 ADDRESS: PO BOX 93924 PHONE: 321-19099
 CITY, STATE: ALBUQ NM ZIP CODE: 87199
 EMAIL: _____

OWNER: AHMET TIRYAKI CONTACT: AHMET
 ADDRESS: 1815 CAGUA S.E. PHONE: 615-4278
 CITY, STATE: ABQ. NM ZIP CODE: 87110

ARCHITECT: ROGER CINELLI & ASSOC. CONTACT: ROGER
 ADDRESS: 2418 MANUEL TORRES LN NW PHONE: 243-8211
 CITY, STATE: ABQ. NM ZIP CODE: 87107
 EMAIL: rcinelli@q.com

SURVEYOR: SAME AS ENGINEER CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

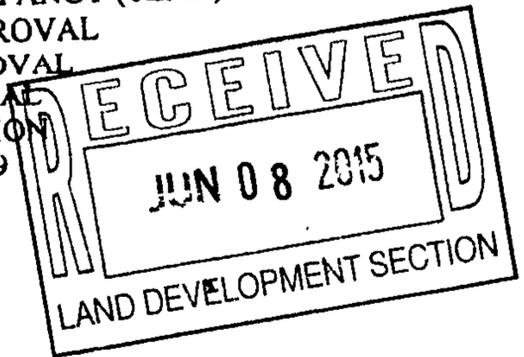
CONTRACTOR: DAMA CONSTRUCTION CO CONTACT: AHMET
 ADDRESS: 1815 CAGUA PL SE PHONE: 615-4278
 CITY, STATE: ABQ. NM ZIP CODE: 87110

- TYPE OF SUBMITTAL:**
- DRAINAGE REPORT
 - DRAINAGE PLAN 1" SUBMITTAL
 - DRAINAGE PLAN RESUBMITTAL
 - CONCEPTUAL G & D PLAN
 - GRADING PLAN
 - EROSION CONTROL PLAN
 - ENGINEER'S CERT (HYDROLOGY)
 - CLOMR/LOMR
 - TRAFFIC CIRCULATION LAYOUT
 - ENGINEER'S CERT (TCL)
 - ENGINEER'S CERT (DRB SITE PLAN)
 - OTHER (SPECIFY)

CHECK TYPE OF APPROVAL SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM) **PHASE ONE**
- CERTIFICATE OF OCCUPANCY (TEMP)
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- OTHER (SPECIFY) SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:
 YES
 NO
 COPY PROVIDED



DATE SUBMITTED: 6/8/15 BY: AHMET TIRYAKI

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Cinelli

ARCHITECTS

OFFICE (505) 243-8211 FAX (505) 243-8196

ROGER CINELLI & ASSOCIATES, INC. 2418 MANUEL TORRES LANE N.W. ALBUQUERQUE, NEW MEXICO 87107

6/8/2015

CITY OF ALBUQUERQUE
TRANSPORTATION DEVELOPMENT SECTION
PLAZA DEL SOL BUILDING
600 2ND STREET N.W.
ALBUQUERQUE, NEW MEXICO 87102

RE: PHASE ONE (BUILDING "A" AND "B") – 24 UNIT TOWNHOUSE PROJECT FOR AHMET TIRYAKI, 5900 ALICE AVENUE N.E., ALBUQUERQUE, NEW MEXICO, ENVIRONMENTAL PLANNING COMMISSION SITE DEVELOPMENT PLAN FOR BUILDING PERMIT - (J18D043) – PROJECT #1009600 - ARCHITECT'S STAMP DATED 6/17/13 - APPROVED AUGUST 29, 2013 – PHASE ONE FINAL SITE CERTIFICATION

DEAR SIRs,

I, ROGER CINELLI, NMRA 1102, OF THE FIRM, ROGER CINELLI & ASSOCIATES INC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE DRB APPROVED PLAN, EPC APPROVAL LETTER DATED APRIL 11, 2013.

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON JUNE 4, 2015 AND OBSERVED SOME MINOR DEPARTURES FROM THE ORIGINAL DESIGN DOCUMENT. THE ADA HANDICAP RAMP IN THE S.E. CORNER HAS BEEN DELETED; AN ADA ACCESSIBLE SIDEWALK HAS REPLACED IT. SEE EDITED ORIGINAL DESIGN DOCUMENT.

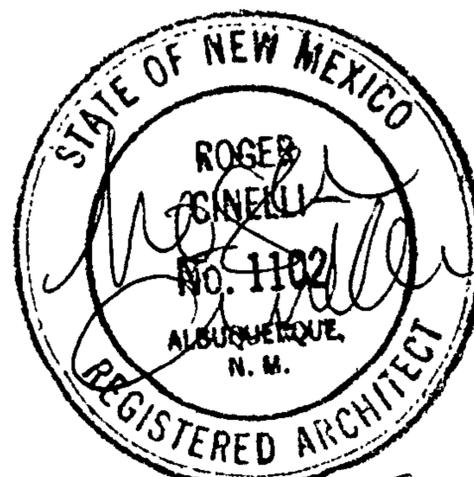
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SINCERELY,


ROGER CINELLI, ARCHITECT

6/8/15
DATE



6/8/15

CITY OF ALBUQUERQUE



June 11, 2015

David Soule, PE
Rio Grande Engineering
1606 Central SE Suite 201
Albuquerque, NM 87106

**Re: Alice Townhomes
5600 Alice NE
Request Permanent C.O. – Not Accepted
Engineer's Stamp dated: 9-16-14 (J18D043)
Certification dated: 6-10-15**

Dear Mr. Soule,

Based on the Certification received 6/10/2015, the site cannot be accepted for release of Certificate of Occupancy by Hydrology until the following comments are addressed.

PO Box 1293

- This plan does not match what was built. A new submittal will be required with a new G&D approval process, after which, the CO will be reevaluated.

Albuquerque

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

New Mexico 87103

Sincerely,

Rita Harmon, P.E.,
Senior Engineer, Hydrology
Planning Department

www.cabq.gov

C: RR/RH
email



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: ALICE TOWN HOMES Building Permit #: _____ City Drainage #: J18D043
 DRB#: 1009600 EPC#: _____ Work Order#: _____
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Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE
 Address: PO BOX 93924, ALBUQUERQUE, NM 87199
 Phone#: 505 321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: Ahmet Tiryaki Contact: _____
 Address: 1815 Cagua Place NE, Albuquerque nm 87110
 Phone#: _____ Fax#: _____ E-mail: _____

Architect: ROGER CINELLI Contact: KEN HOVER
 Address: 9215 SHOSHONE NE
 Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: CONSTRUCTION SURVEY TECHNOLOGIES Contact: JOHN GALLEGOS
 Address: _____
 Phone#: 917.8921 Fax#: _____ E-mail: _____

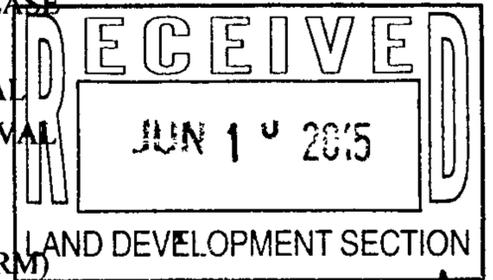
Contractor: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

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- DRAINAGE PLAN RESUBMITTAL
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- CERTIFICATE OF OCCUPANCY (TCL TEMP)
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As verified

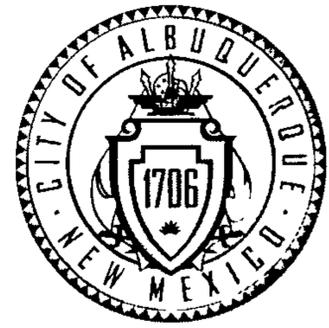
WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes No _____ Copy Provided

DATE SUBMITTED: 6/10/15 By: _____

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CITY OF ALBUQUERQUE



October 7, 2014

Mr. David Soule
Rio Grande Engineering
PO Box 93924
Albuquerque, NM 87199

**Re: Alice Townhomes, 5600 Alice NE
Grading and Drainage Plan with Engineer's Stamp Dated 9-16-14
Drainage Plan with Engineer's Stamp dated 5-4-13 (J18D043))**

Dear Mr. Soule,

Based upon the information provided in your submittal received September 17, 2014, the above referenced plan is approved for Building Permit SO-19 Permit . The SO-10 Permit is required for construction within the City Right of Way. A copy of this approval letter must be on hand when applying for the Excavation Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

PO Box 1293

If you have any questions, you can contact me at 924-3994.

Albuquerque

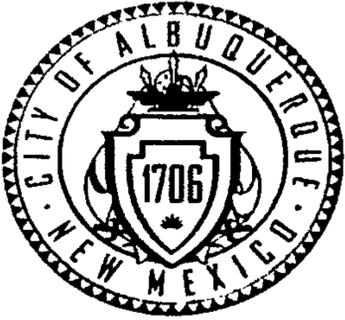
Sincerely,

New Mexico 87103

Amy L. D. Niese, P.E.
Senior Engineer, Hydrology
Planning Department

www.cabq.gov

C: e-mail



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

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 DRB#: 1009600 EPC#: _____ Work Order#: _____
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 City Address: 5600 ALICE NE

Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE
 Address: PO BOX 93924, ALBUQUERQUE, NM 87199
 Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: Ahmet Tiryaki Contact: _____
 Address: 1815 Cagua Place NE, Albuquerque nm 87110
 Phone#: _____ Fax#: _____ E-mail: _____

Architect: ROGER CINELLI Contact: KEN HOVER
 Address: 9215 SHOSHONE NE
 Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: CONSTRUCTION SURVEY TECHNOLOGIES Contact: JOHN GALLEGOS
 Address: _____
 Phone#: 917.8921 Fax#: _____ E-mail: _____

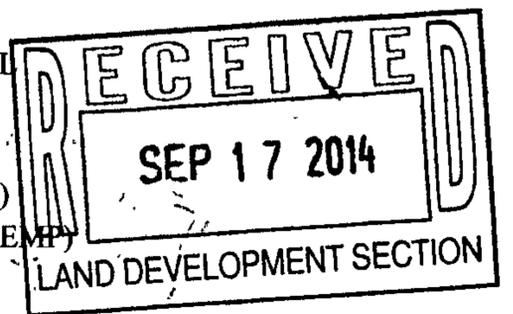
Contractor: _____ Contact: _____
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 Phone#: _____ Fax#: _____ E-mail: _____

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- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN)
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

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- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- SO-19 APPROVAL
- ESC PERMIT APPROVAL
- ESC CERT. ACCEPTANCE
- OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes No _____ Copy Provided
 DATE SUBMITTED: 7/2/13 9/17/14 By: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
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- Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

Ad = 1.05

FREE

RECEIVED
SEP 17 2014
LAND DEVELOPMENT SECTION

DRAINAGE REPORT

For

**ALICE TOWNHOMES
5600 ALICE NE
Albuquerque, New Mexico**

Prepared by

Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

JUNE 2013



David Soule P.E. No. 14522

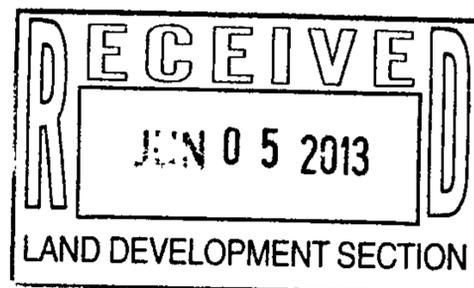


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Purpose	3
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Existing Conditions.....	3
Exhibit A-Vicinity Map	4
Proposed Conditions	5
Summary	5

Appendix

Site Hydrology	A
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Map Pocket

Site Grading and Drainage Plan

PURPOSE

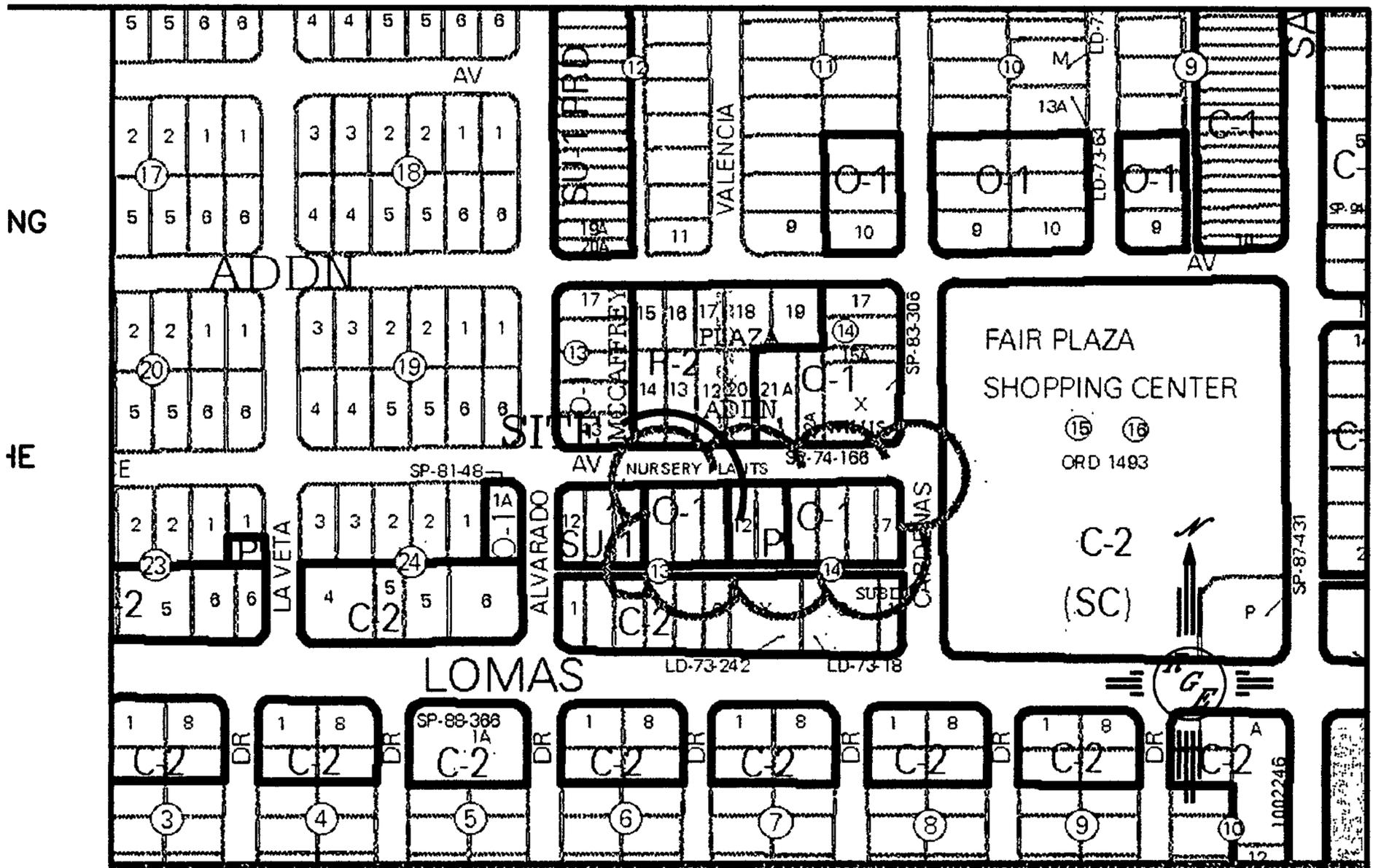
The purpose of this report is to provide the Drainage Management Plan for four approximately 9,100 square foot apartment buildings, located on the southwest corner of Alice and Cardenas NE. This plan was prepared in accordance with the City of Albuquerque design regulations, utilizing the City of Albuquerque's Development Process Manual drainage guidelines. This report will demonstrate that the grading does not adversely affect the surrounding properties, nor the upstream or downstream facilities.

INTRODUCTION

The subject of this report, as shown on the Exhibit A, is one parcel containing an area of 1.42 acres of land located on the southwest corner of Alice and Cardenas NE. The legal description of this site is lots 7-12 Block 14, Willis subdivision and lots 7-9, Block 13 McAffrey Subdivision. The site is currently being replatted into one single tract. As shown on FIRM map35013C0354H, the entire property is located within Flood Zone X. This site is surrounded by fully developed parcels. This site has been completely developed for many years, but the buildings were recently removed. Appendix A shows a 2010 aerial with the buildings and existing parking lots, which we consider historical conditions. This is consistent with the maps of the area within the Albuquerque Master Drainage Study Volume II. The buildings have recently been removed and the footprints replaced with gravel mulch, with the parking lot remaining. Based on the site location and the area characteristics of the adjacent drainage infrastructure this development shall be designed to match existing drainage patterns, and shall provide shallow water quality ponds for harvesting of rainwater for the first .44" of rainfall

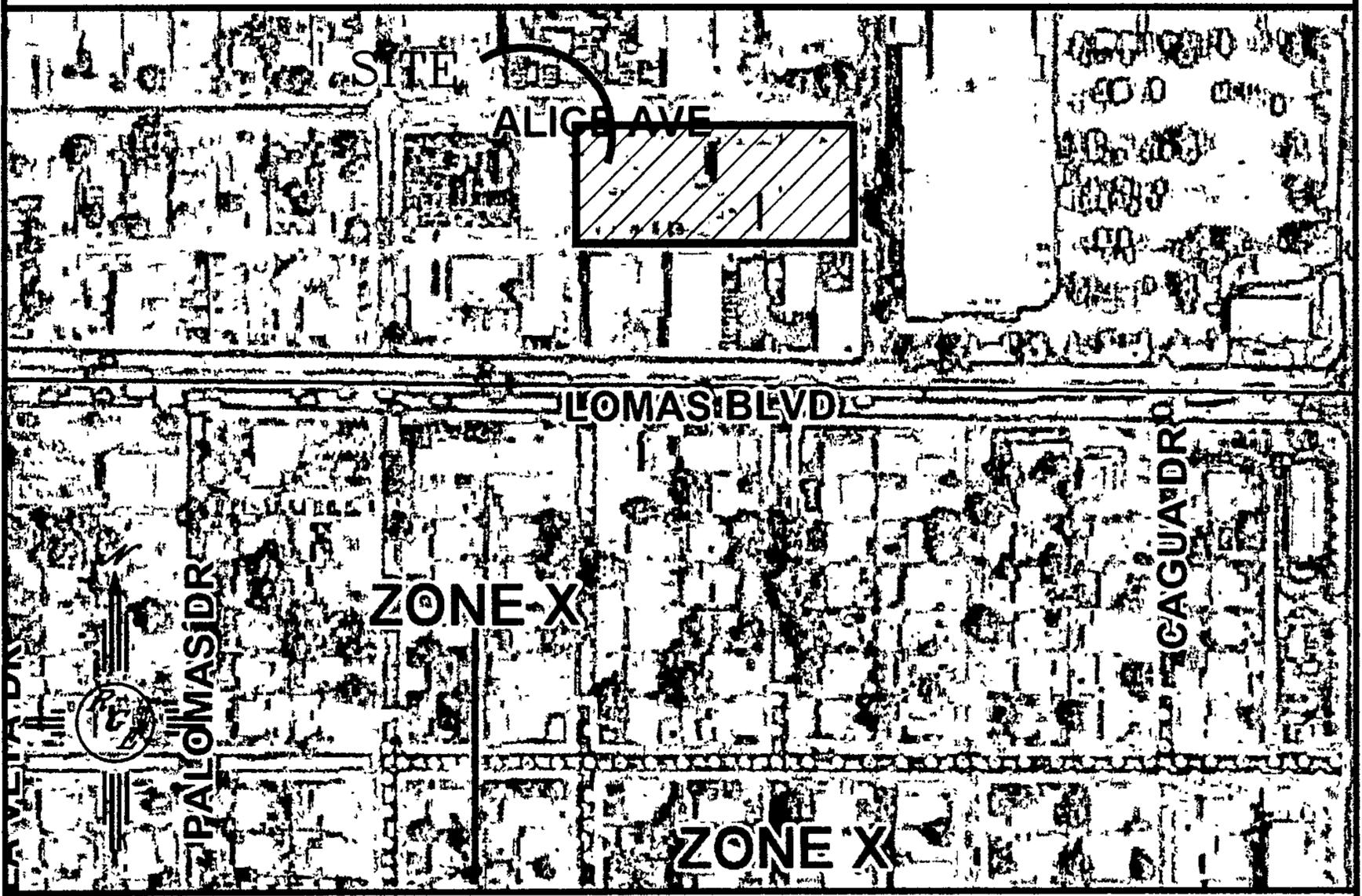
EXISTING CONDITIONS

The site is currently developed. The site has historically included two large buildings with the remainder of the site paved, with very little gravel mulch landscape area along Cardenas. The site is not in native condition. The site drains from southeast to south west, historically discharging 7.11 cfs to the adjacent tract to the west and to Alice. More flows entered the alley to



VICINITY MAP:

J-18-Z



FIRM MAP:

35001C0354H

LEGAL DESCRIPTION:

LOTS 7-12, BLK 14, ALBUQUERQUE HIGHLANDS ADDITION

the south. The site is not impacted by any offsite flows, and is surrounded by curb and gutter on the upland basin. The discharge leaves the site mainly as sheet flow.

PROPOSED CONDITIONS

The proposed improvements consist of four apartment buildings and associated parking. As shown in appendix A, the site will be graded to drain to Alice, with minor sidewalk and parallel parking spaces draining to the alley. The site has multiple depressed landscape areas. For ease and clarity the basins have been classified as rear yard, front court yard, and typical alley. Each basin drains in to a harvest pond. A typical rear yard basin generates 132 cubic feet during a 100-year, 6-hour event. The pond will harvest 99 cubic feet and convey the excess to the north through openings in the walls discharging to Alice. A typical courtyard basin will generate 268 cubic feet and will harvest 100 cubic feet, allowing the excess to discharge at the end of the driveway draining to Alice. The Alley pond basin contains the sidewalks adjacent to the alley and generates 30 cubic feet and has capacity of 54 cubic feet. The overall site generates 6.83 cfs draining to Alice. The harvest ponds contain 2514 cubic feet which are greater than the 2268 cubic feet required to contain the first .44" of a storm. This peak will actually be reduced significantly due to 9 depressed harvest ponds which contain more than an increase in volumetric run off and the (.25" first flush volume) for the 100-year, 6-hour design event. The development requires improvements to the existing alley to the south. The ponds are shallow and will drain within 24-hours.

SUMMARY AND RECOMMENDATIONS

This project is a redevelopment project within a completely developed area of northeast

Albuquerque. The site historically discharges 7.11 cfs to the Alice Street. The proposed drainage plan will allow for harvesting ponds which overflow to internal streets and discharge to the adjacent streets. The developed conditions will discharge 6.81 cfs. The proposed decrease of .28 cfs is minimal but with the inclusion of the harvesting ponds the flow leaving site will be less and shall have no negative impact on surrounding drainage structures. Since this site encompasses more than 1 acre, a NPDES permit and SWPPP will be required prior to any construction activity.

APPENDIX A
SITE HYDROLOGY

Weighted E Method

ALICE

Existing Developed Basins

Basin	Area (sf)	Area (acres)									100-Year, 6-hr.		
			Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
			%	(acres)	%	(acres)	%	(acres)	%	(acres)			
Historic (2010)	61881.34	1.421	0%	0	0.0%	0.000	16.0%	0.2273	84%	1.193	2.451	0.290	7.11
Proposed	61881.34	1.421	0%	0	6.0%	0.085	20.0%	0.28412	74%	1.051	2.310	0.274	6.83
Typical front courtyard	1364	0.031	0%	0	0.0%	0.000	24.0%	0.00752	76%	0.024	2.357	0.006	0.15
Typical rear yard	702	0.016	0%	0	10.0%	0.002	20.0%	0.00322	70%	0.011	2.248	0.003	0.08
Alley ponds	188	0.004	0%	0	0.0%	0.000	60.0%	0.00259	40%	0.002	1.932	0.001	0.02
Harvest amount	2268.98	0.052										75.633	

Equations:

$$\text{Weighted E} = \text{Ea} \cdot \text{Aa} + \text{Eb} \cdot \text{Ab} + \text{Ec} \cdot \text{Ac} + \text{Ed} \cdot \text{Ad} / (\text{Total Area})$$

$$\text{Volume} = \text{Weighted D} \cdot \text{Total Area}$$

$$\text{Flow} = \text{Qa} \cdot \text{Aa} + \text{Qb} \cdot \text{Ab} + \text{Qc} \cdot \text{Ac} + \text{Qd} \cdot \text{Ad}$$

Where for 100-year, 6-hour storm (zone 4)

Ea= 0.8	Qa= 2.2
Eb= 1.08	Qb= 2.92
Ec= 1.46	Qc= 3.73
Ed= 2.64	Qd= 5.25

DISCHARGE PROPOSED	6.83 CFS	9400 cf
HISTORICAL DISCHARGE	7.11 CFS	12640 cf
Water harvest		
WATER HARVESTED		2514 cf

	generated	provided
rear	132 cf	99
courtyard	268 cf	100
alley	30 cf	54



Map created by Bernalillo County GIS 2013

LAYERS

- All Layers
- Administrative
 - BC Boundary
 - Census Places
 - Cities & Communiti
 - Forest Lands
 - Other Schools
 - Public Housing
 - Public Schools
 - Public Schools 100
 - Tribal Lands Admin
 - Tribal Lands Owner
- Contours & Soils
- Cultural Services
- FEMA
- Hydrology
 - AMAFCA Channels
 - EMA Drainages
 - MRGCD Facilities
 - Rivers
- Infrastructure
 - BC Maintained Roa
 - Interstates
 - Interstates Labels
 - Major Roads
 - Major Roads Labels
 - Not BC Maintained
 - Road Inventory Lat
 - Rural Trails & Paths
 - State Roads
- Map Indexes
- Miscellaneous
- Orthoimagery
 - BC 2012
 - BC 2010
 - BC 2008
 - BC 2006
 - BC 2004
 - Urban Area 2002
 - Urban Area 2001
 - BC 1999
 - BC 1996
- Parcels
- Parks & Recreation
- Permits
- Political Districts
- Projects Engineering & Cr
- Projects Operations & Ma
- Public Safety
- Public Works
- Sandia National Labs
- Transportation
- Zoning & Planning

Refresh Map

Auto Refresh

Help:

- A closed group, click to open.
- An open group, click to close.
- A map layer.
- A hidden group/layer, click to make visible.
- A visible group/layer, click to hide.
- A visible layer, but not at this scale.
- A partially visible group, click to make visible.
- An inactive layer, click to make active.
- The active layer.

Current Tool: Zoom Out

CITY OF ALBUQUERQUE



July 15, 2013

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

**Re: Alice Townhomes, 5600 Alice NE
Grading and Drainage Plan
Engineer's Stamp dated 07-01-2013(J18D043)**

Dear Mr. Soule,

Based upon the information provided in your submittal received 07-02-13, the above referenced plan is approved for Site Development Plan for Subdivision and Site Development Plan for Building Permit, however, cannot be approved for Building Permit until the following comments have been addressed:

- Correct the spot grade elevation (5262.80) just to the west of the eastern proposed sidewalk culvert on the northern property line.
- Please extend the proposed sidewalk culverts and culvert plates to two-feet back from the property line and reflect this on the drawing.
- Provide an invert elevation on each side of the PVC drainage pipe just north of the proposed water harvesting ponds.
- Clarify if the alley to the south of the lot has been paved.

PO Box 1293

Albuquerque

If you have any questions, you can contact me at 924-3695.

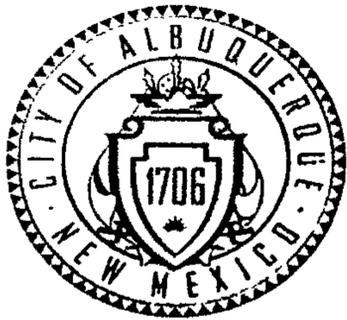
New Mexico 87103

www.cabq.gov

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development Review Services

C: Email



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: ALICE TOWN HOMES Building Permit #: _____ City Drainage #: J18D043

DRB#: 1009600 EPC#: _____ Work Order#: _____

Legal Description: LOTS 7-9 BLOCK 13 MCCAFFREY AND LOTS 7-12 WILLIS SUBDIVISION

City Address: 5600 ALICE NE

Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE

Address: PO BOX 93924, ALBUQUERQUE, NM 87199

Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: Ahmet Tiryaki Contact: _____

Address: 1815 Cagua Place NE, Albuquerque nm 87110

Phone#: _____ Fax#: _____ E-mail: _____

Architect: ROGER CINELLI Contact: KEN HOVER

Address: 9215 SHOSHONE NE

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: CONSTRUCTION SURVEY TECHNOLOGIES Contact: JOHN GALLEGOS

Address: _____

Phone#: 917.8921 Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
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- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERT (TCL)
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- SO-19
- OTHER (SPECIFY)

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- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- SO-19 APPROVAL
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- ESC CERT. ACCEPTANCE
- OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes No _____ Copy Provided

DATE SUBMITTED: 7/2/13 By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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OWES \$50.00

RIO GRANDE ENGINEERING OF NEW MEXICO, LLC

July 2, 2013

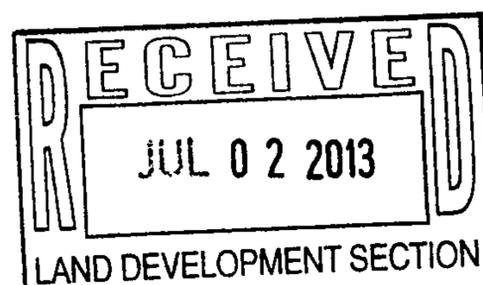
Mr. Shahab Biazar, PE
Senior Engineer
Hydrology
City of Albuquerque

**RE: Grading and Drainage Plan
Alice Townhomes (J18/D043)**

Dear Mr. Biazar:

The purpose of this letter is to accompany the enclosed grading plan for the referenced project. This plan has been modified to address your comments dated June 19, 2013. The following is a summary of your comments with the annotation as to how the plans were modified to address the comments.

1. Please make all onsite connection to COA sidewalks ADA
We have verified all connections. Due to this being a residential development rather than commercial, railing is not required on ramps exceeding 5%.
2. Add spots at entrances to demonstrate water blocks
We have added the spot elevations
3. Sidewalks around entrances need public sidewalk easements
We have added a note to this affect. The site plan is going to DRB and we will make sure easements provided prior to building permit.
4. Extend Sidewalk culverts 2' passed property line
We have modified the culverts to extend 2' into property
5. All entrances not used shall be removed
We have added construction note and standard detail reference for removal of the existing driveway and replacement with sidewalks.
6. Depress landscaping where possible
We have added shallow ponding at all reasonable locations. We are harvesting the first 0.44". Due to grades some areas along Alice can't reasonably pond.
7. Check grades on north side and add stem wall if required
We have modified the spot elevations and labeled extended stem.
8. Utility boxes shown on sidewalk need ADA
We have verified that the boxes are behind sidewalk and ADA path is maintained.
9. Concrete pads on Cárdenas over sidewalks must be removed
We have miss-labeled the edge of sidewalk, it was an existing fence that is being removed. We are tying into existing 4' sidewalk. The existing sidewalk and connection has been modified to show this.



10. Clearly show parking spoons along alley does alley have positive drainage to west
The striping has been showed for parking. The ally has positive drainage from our site to Alvarado. The slope is approximately 2%.

11. Address SO19 notes on plan

We have added to the notes for the new culverts west of project

A SWPPP will be prepared and the owners should have submitted separately. Should you have any questions regarding this re-submittal, please do not hesitate to call me.

Sincerely,



David Soule, PE
Rio Grande Engineering
PO Box 93924
Albuquerque. NM 87199
321-9099

Approve for everything
but BP \Rightarrow comments

CITY OF ALBUQUERQUE



June 19, 2013

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

**Re: Alice Townhomes, 5600 Alice NE
Grading and Drainage Plan
Engineer's Stamp dated 5-04-13 (J18D043)**

Dear Mr. Soule,

Based upon the information provided in your submittal received 06-05-13, the above referenced plan can not be approved for requested approvals until the following comments have been addressed:

- Please make sure all on-site sidewalk connection into the City sidewalks meet ADA requirements.
- Add spot elevations at the entrances to assure adequate water block is provided.
- Sidewalks around the entrances will require public sidewalk easements.
- Extend sidewalk culverts 2' passed the property line.
- All entrances not used along Alice Ave. or Cardenas Ave. NE must be removed.
- Depress all landscaping areas where possible.
- Check the grades north side of the second building (from west to east). An extended stem wall will be needed.
- A utility box is shown on the sidewalk on Alison Ave. Is there ADA accessibility around the box?
- Concrete pads extended over the existing sidewalk along Cardenas Ave. must be removed.
- Clearly show the parking spaces along the alley. Does the alley have positive drainage to the west?

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development Review Services

C: Email



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

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 DRB#: 1009600 EPC#: _____ Work Order#: _____
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 City Address: 5600 ALICE NE

Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE
 Address: PO BOX 93924, ALBUQUERQUE, NM 87199
 Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: Ahmet Tiryaki Contact: _____
 Address: 1815 Cagua Place NE, Albuquerque nm 87110
 Phone#: _____ Fax#: _____ E-mail: _____

Architect: ROGER CINELLI Contact: KEN HOVER
 Address: 9215 SHOSHONE NE
 Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: CONSTRUCTION SURVEY TECHNOLOGIES Contact: JOHN GALLEGOS
 Address: _____
 Phone#: 917.8921 Fax#: _____ E-mail: _____

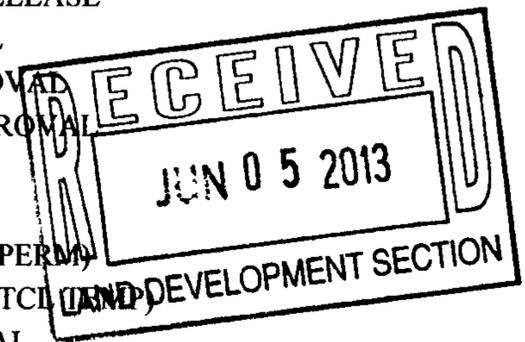
Contractor: _____ Contact: _____
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 Phone#: _____ Fax#: _____ E-mail: _____

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WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes No _____ Copy Provided _____

DATE SUBMITTED: 6/3/13 By: _____

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