



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: ALICE TOWN HOMES Building Permit #: _____ City Drainage #: J18D043
 DRB#: 1009600 EPC#: _____ Work Order#: _____
 Legal Description: LOTS 7-9 BLOCK 13 MCCAFFREY AND LOTS 7-12 WILLIS SUBDIVISION
 City Address: 5600 ALICE NE

Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE
 Address: PO BOX 93924, ALBUQUERQUE, NM 87199
 Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: Ahmet Tiryaki Contact: _____
 Address: 1815 Cagua Place NE, Albuquerque nm 87110
 Phone#: _____ Fax#: _____ E-mail: _____

Architect: ROGER CINELLI Contact: KEN HOVER
 Address: 9215 SHOSHONE NE
 Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: CONSTRUCTION SURVEY TECHNOLOGIES Contact: JOHN GALLEGOS
 Address: _____
 Phone#: 917.8921 Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN)
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (TCL TEMP)
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- SO-19 APPROVAL
- ESC PERMIT APPROVAL
- ESC CERT. ACCEPTANCE
- OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes No _____ Copy Provided

DATE SUBMITTED: 6/10/15 By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre that are part of a larger common plan of development

RIO GRANDE ENGINEERING OF NEW MEXICO, LLC

June 15, 2015

Ms. Rita Harmon
Mr. Rudy Rael
Hydrology Department
Public Works Department
City of Albuquerque

**RE: Drainage Certification Resubmittal
5600 Alice
J18-D043**

Dear Ms. Harmon:

The purpose of this letter is to accompany the revised grading certification plan. The plan has been revised to address your written comments dated June 11, 2015. The following is a summary of your comments and the corrections we have done to address.

1. This plan does not match what was built a new submittal will be required with a new grading and drainage approval process.
We have made the changes clearer on the plan, in addition we have printed in color. We feel the plan accurately reflects the as built conditions as measured by survey and by visual inspection. We feel the omission of a significant amount of sidewalk provides for less discharge than previously approved. In addition modifications were made to provide for the first flush volume, even though the plans were approved prior to the implementation of the rule. We certify the site is shown as constructed and drawn on the original grading plan. We certify the site was graded in substantial compliance with the original design intent. The zoning and site plan approval is outside this certification, we are certifying the grading only. We feel the requirement to resubmit a new plan is not appropriate, the omission of sidewalks interior to the site do not have negative impact on the hydrology and request the attached grading certification be accepted.

Should you have any questions regarding this submittal, please do not hesitate to call me.

Sincerely,



David Soule, PE
Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199
505-321-9099

CITY OF ALBUQUERQUE



June 11, 2015

David Soule, PE
Rio Grande Engineering
1606 Central SE Suite 201
Albuquerque, NM 87106

**Re: Alice Townhomes
5600 Alice NE
Request Permanent C.O. – Not Accepted
Engineer's Stamp dated: 9-16-14 (J18D043)
Certification dated: 6-10-15**

Dear Mr. Soule,

Based on the Certification received 6/10/2015, the site cannot be accepted for release of Certificate of Occupancy by Hydrology until the following comments are addressed.

PO Box 1293

- This plan does not match what was built. A new submittal will be required with a new G&D approval process, after which, the CO will be reevaluated.

Albuquerque

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

New Mexico 87103

Sincerely,

Rita Harmon, P.E.,
Senior Engineer, Hydrology
Planning Department

www.cabq.gov

C: RR/RH
email

NOTICE TO CONTRACTORS

- Notice to Contractor**
(Special Order 19 - "50-19")
- An excavation permit will be required before beginning any work within City Right-Of-Way.
 - All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
 - In the event of any excavation, the contractor must contact **new Mexico One Call**, dialing working (505) 243-5000, to notify the utility companies of the location of all obstructions.
 - Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
 - Backfill compaction shall be according to traffic/street use.
 - Maintenance of the facility shall be the responsibility of the owner of the property being served.
 - Work on arterial streets shall be performed on a 24-hour basis.

APPROVAL	NAME	DATE
INSPECTOR		

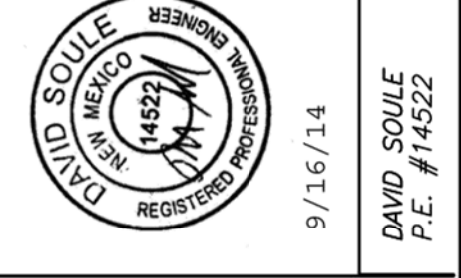
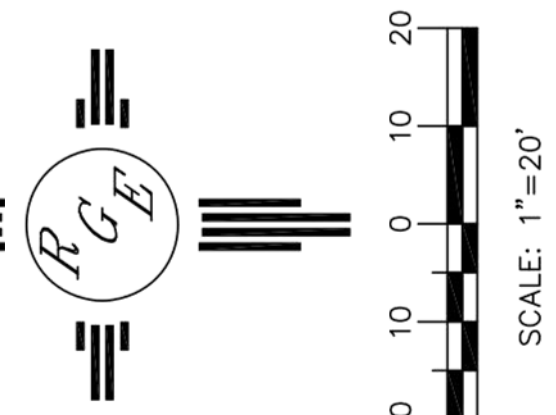
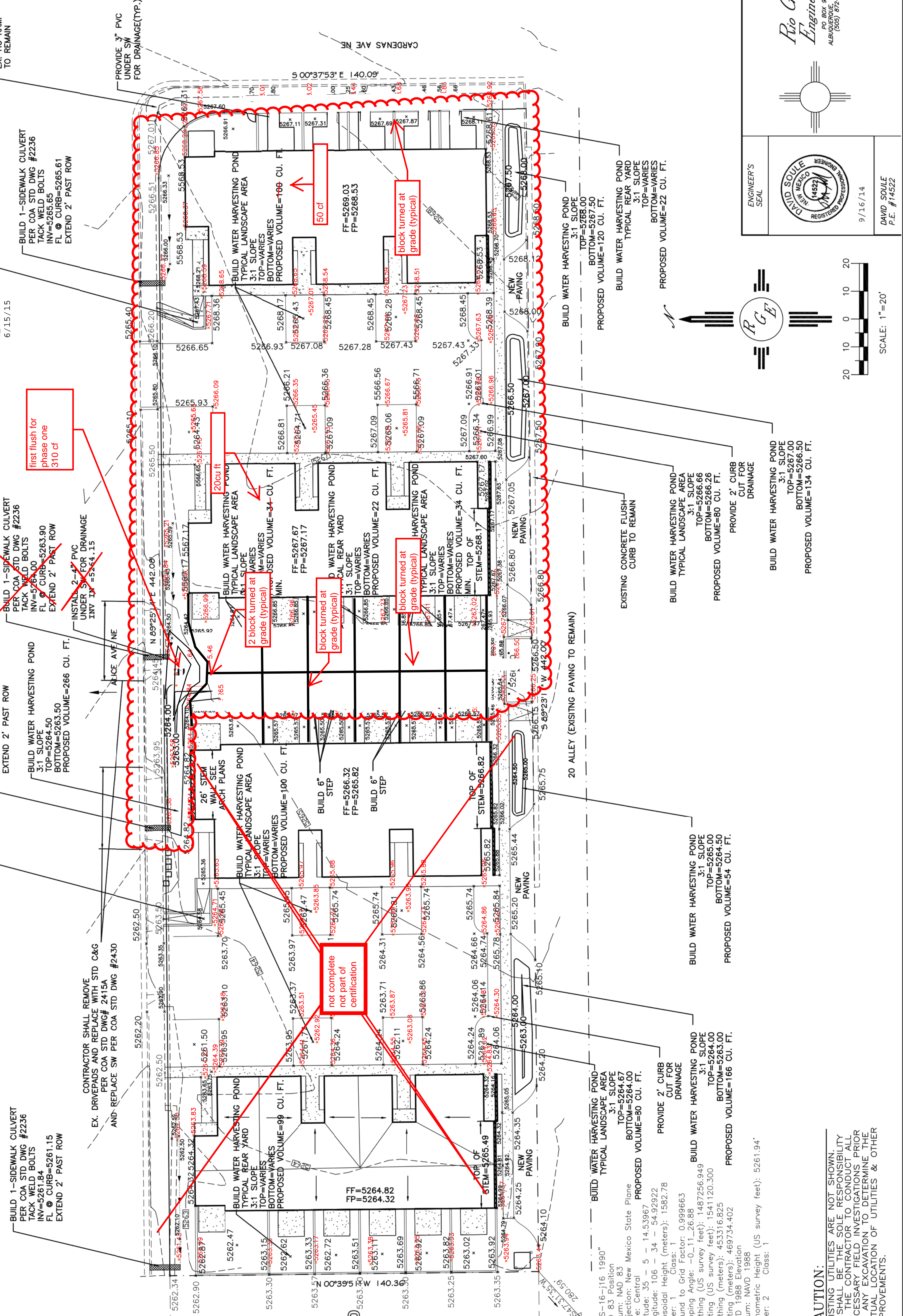
FIRST FLUSH REQUIREMENT
(PHASE 1)-19800 SFx.3412=561 CUBIC FEET
(PHASE 1)PROVIDED=640 CUBIC FEET

I David Soule, NMPE 14522, of the firm Rio Grande Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 9/16/14. The record information edited on the original design document has been performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built survey was provided DAVID ACOSTA NMPS 21082. The certification is submitted in support of a request for PERMANENT CERTIFICATE OF OCCUPANCY. The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

- SIDEWALKS REMOVED, IMPERVIOUS LESS THAN DESIGNED
- LANDSCAPE PONDS SHALLOWER THAN PLAN, FIRST FLUSH WATER QUALITY VOLUME PROVIDED
- CERTIFICATION FOR EASTERN TWO BUILDINGS ONLY
- MIDDLE SIDEWALK CULVERT OMITTED DUE TO SIDEWALK CHANGES

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT CONDITIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



Rio Grande Engineering
100 BOX 9000 • 87108
ALBUQUERQUE, NM 87108
(505) 872-0989

Cinelli ARCHITECTS
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8271

PROJECT TITLE:
ALICE TOWNHOUSES
FOR AHMET TIRYAKI
5600 ALICE AVENUE N.E.
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE:
GRADING AND DRAINAGE
PLAN

DATE: MAR 25, 2013
PROJECT NO.: TIRY24

SEAL: 7100-1007-1-08-13
SHEET #:

DRAWN BY: WCN/JU
DATE: 9-16-14
JOB #: 21302

DRB-2