

DOCUMENTATION OF EXISTING BUILDING AND SITE CONDITIONS

- RESPONSE TO CORRECTION NOTICE #1691187
- THESE DRAWINGS ALSO INDICATE THE FOLLOWING IMPROVEMENTS:

- ACCESSIBLE PARKING LOCATIONS
- ADDITIONAL FIRE EXTINGUISHERS
- ADDITIONAL EXIT LIGHTS AND EMERGENCY LIGHTS
- NEW SMOKE DETECTORS

5401 LOMAS BLVD. NE
SUITES A, B, C, D
ALBUQUERQUE, NEW MEXICO 87108

SITE / BUILDING DATA:

ADDRESS: 5401 LOMAS BLVD. NE,
SUITES A, B, C, D
ALBUQUERQUE, NEW MEXICO 87108

LEGAL DESCRIPTION:
LOT: 4
BLOCK: 23
ALBUQUERQUE HIGHLANDS ADDITION

UPC: 1 018 058 05402030211

LOT AREA: 14619.10 S.F. (0.36 ACRES)

ZONING: C-2

TOTAL BUILDING AREA: 7,168 S.F. (GROSS)

BUILDING PARKING REQUIREMENTS:
PER 14-16-3-1:
THE BUILDING AND IMPROVEMENTS WERE CONSTRUCTED PRIOR TO 22 OCTOBER 1965. THEREFORE, THE PARKING REQUIREMENTS ARE ONLY TO PROVIDE PARKING TO THE EXTENT ON-PREMISE GROUND SPACE IS AVAILABLE.

PARKING PROVIDED:
10 REGULAR PARKING SPACES
2 HANDICAP SPACES (WILL BE PROVIDED BY OWNER AT COMPLETION OF THIS PROJECT.)

BUILDING CODE DATA:

BASED ON: -INTERNATIONAL BUILDING CODE 2009
-NEW MEXICO BUILDING CODE 2009

OCCUPANCY CLASSIFICATION (SEC. 304 & 309): GROUP B & GROUP M.

TYPE OF CONSTRUCTION: V-B (NOT SPRINKLED)

TOTAL BUILDING SIZE = 7,168 GROSS SF

ALLOWABLE HEIGHT AND BUILDING AREAS (TABLE 503):
GROUP B & M / TYPE : V-B

AREA INCREASE DUE TO FRONTAGE (SEC. 506):
 $A_{if} = [A_t + (A_t \cdot I_f) + (A_t \cdot I_s)]$
 A_t = ALLOWABLE AREA PER STORY
 A_t = TABULAR AREA PER STORY (TABLE 503) = 9,500
 I_f = AREA INCREASE FACTOR DUE TO FRONTAGE
 I_s = AREA INCREASE FACTOR DUE TO SPRINKLER PROTECTION

FRONTAGE INCREASE:
 $I_f = [0.25] \frac{W}{L}$
 I_f = AREA INCREASE DUE TO FRONTAGE
 F = BUILDING PERIMETER ON PUBLIC WAY / OPEN SPACE = 172 L.F.
 P = BUILDING PERIMETER = 349 L.F.
 W = WIDTH OF PUBLIC WAY = 60 FEET
 $I_f = [1.75] \frac{P}{W} - 0.25] \frac{W}{L}$
 $I_f = [0.49 - 0.25] 2$
 $I_f = [0.24] 2$
 $I_f = 0.48$
 $I_s = 0$
 $A_{if} = [9,500 + (9,500 \times 0.48) + (9,500 \times 0)]$
 $A_{if} = [9,500 + 4,560 + 0]$
 $A_{if} = 14,060$ S.F.
14,060 S.F. > 7,168 S.F. THEREFORE O.K.

MAXIMUM FLOOR AREA ALLOWANCE PER OCCUPANT (TABLE 1004.1.1):
OCCUPANT LOAD TABULATIONS:

SPACE	AREA	S.F. PER OCC.	NO. OCCUPANTS
SUITE A: SALES AREA (MERCANTILE) OFFICE	565 GSF 598 GSF	30 GROSS 100 GROSS	18.8 6
TOTAL NUMBER OF OCCUPANTS (SUITE A) 24.8 = 25			
SUITE B: SALES AREA (MERCANTILE)	834.8 GSF	30 GROSS	28
SUITE C: BUSINESS (OFFICES)	1544.5 GSF	100 GROSS	16
SUITE D: SALES AREA (MERCANTILE) BUSINESS (OFFICES)	1350 GSF 295 GSF	30 GROSS 100 GROSS	45 3
TOTAL NUMBER OF OCCUPANTS (SUITE D) 48			
REAR COMMON SPACE	1925 GSF	300 GROSS	6.4 = 7
TOTAL NUMBER OF OCCUPANTS 124			

EGRESS WIDTH PER OCCUPANT SERVED FOR ENTIRE BUILDING AREA (TABLE 1005.1):
No. OCCUPANTS X 0.2' = X" REQUIRED EGRESS WIDTH.
124 X 0.2' = 24.8"

EGRESS WIDTH PROVIDED = 324"
324" > 24.8", THEREFORE OK

EXIT ACCESS TRAVEL DISTANCE (TABLE 1016.1)
GROUP B & M: 200' WITHOUT FIRE SPRINKLER SYSTEM.
MAXIMUM TRAVEL DISTANCE IS LESS THAN 200', THEREFORE OK.

PLUMBING FIXTURE REQUIREMENTS: CHAPTER 29
GROUP B & M

PLUMBING REQUIREMENTS (SUITE C-BUSINESS/ OFFICE) BASED ON:
16 OCCUPANTS: 8 MALE 8 FEMALE

PLUMBING FIXTURE REQUIREMENTS:
W.C.s LAV. DRINKING FOUNTAIN SERVICE SINK
1:25 (UP TO 50) 1:40 (UP TO 80) 1:100 1

MALE 8 = 0.32 8 = 0.2
25 40

FEMALE 8 = 0.32 8 = 0.2
25 40

PLUMBING REQUIREMENTS (GROUP M) BASED ON:
108 OCCUPANTS: 54 MALE 54 FEMALE

PLUMBING FIXTURE REQUIREMENTS:
W.C.s LAV. DRINKING FOUNTAIN SERVICE SINK
1:500 1:750 1:1,000 1

MALE 54 = 0.11 54 = 0.08
500 750

FEMALE 54 = 0.11 54 = 0.08
500 750

TOTAL PLUMBING FIXTURE REQUIREMENTS:
W.C.s LAV. DRINKING FOUNTAIN SERVICE SINK
0.43 = 1 0.28 = 1

TOTAL PLUMBING FIXTURES PROVIDED:
W.C.s LAV. DRINKING FOUNTAIN SERVICE SINK
3 3 NONE PROVIDED

THE NUMBER OF PROVIDED PLUMBING FIXTURES EXCEEDS THE NUMBER OF REQUIRED PLUMBING FIXTURES, THEREFORE OK.



ZONE ATLAS : J-18

Index of Drawings:

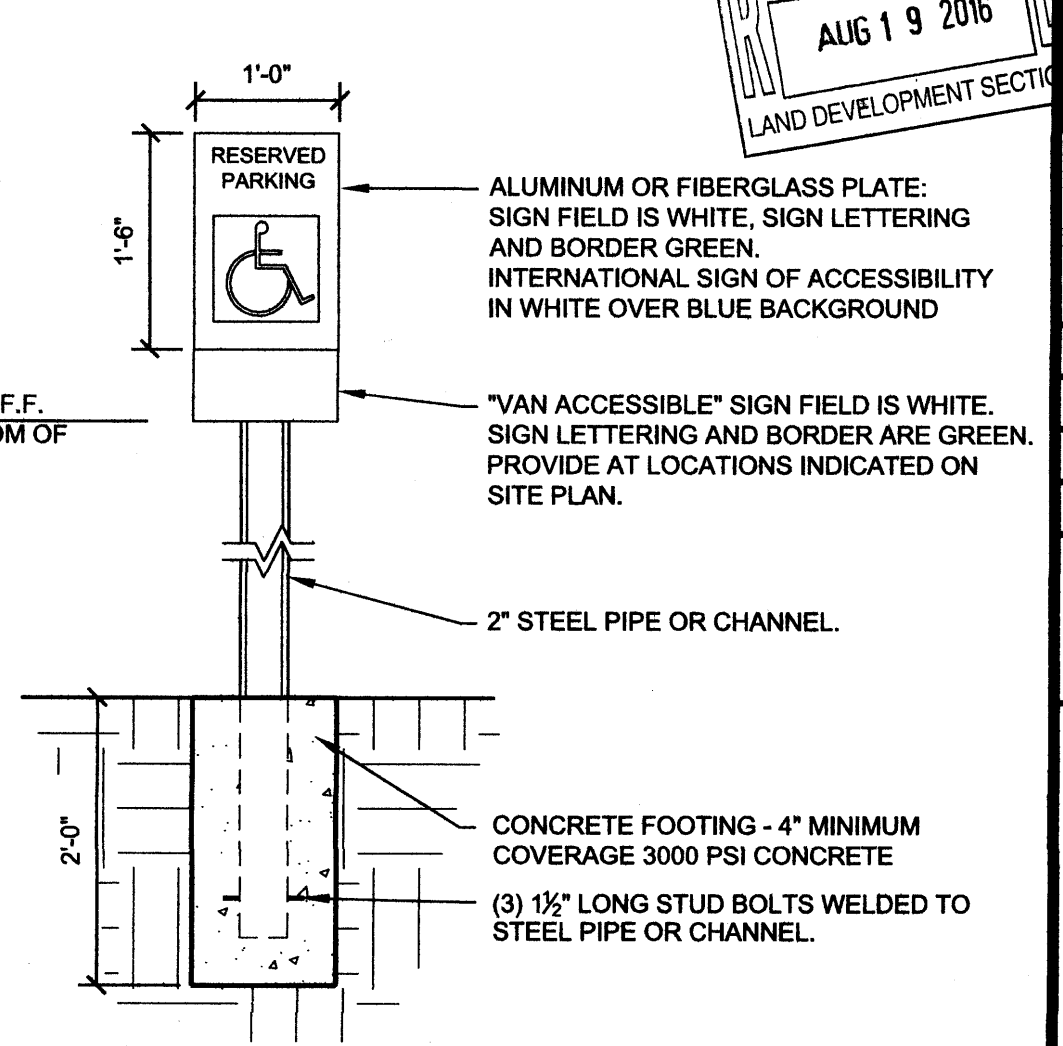
SHEET NO.	SHEET DESCRIPTION
01	G-001 COVER SHEET, CODE DATA, LOCATION MAP, INDEX TO DRAWINGS
02	FIRE 1 (SITE PLAN) & FIRE 2 (FLOOR PLAN)
03	AD-101 EXISTING CONDITIONS FLOOR PLAN AND HANDICAP SIGN DETAIL
04	AD-171 EXISTING CONDITIONS REFLECTED CEILING PLAN

Project Description

- THESE DRAWINGS ARE SUBMITTED IN RESPONSE TO THE PROPERTY OWNER RECEIVING A CORRECTION NOTICE, #1691187.
- THESE DRAWINGS DOCUMENT THE EXISTING CONDITIONS.
- THE BUILDING WAS CONSTRUCTED PRIOR TO 1965 AS A RETAIL/ BUSINESS CENTER. IT HAS CONTINUOUSLY BEEN USED FOR THE SAME PURPOSE: MERCANTILE AND BUSINESS (GROUPS M AND B) OCCUPANCY GROUPS.
- THESE DRAWINGS ALSO INDICATE IMPROVEMENTS TO BE COMPLETED BY THE OWNER:
 - ACCESSIBLE PARKING STRIPING AND SIGNAGE
 - ADDITIONAL FIRE EXTINGUISHERS
 - ADDITIONAL EXIT LIGHTS AND EMERGENCY LIGHTS
 - NEW SMOKE DETECTORS

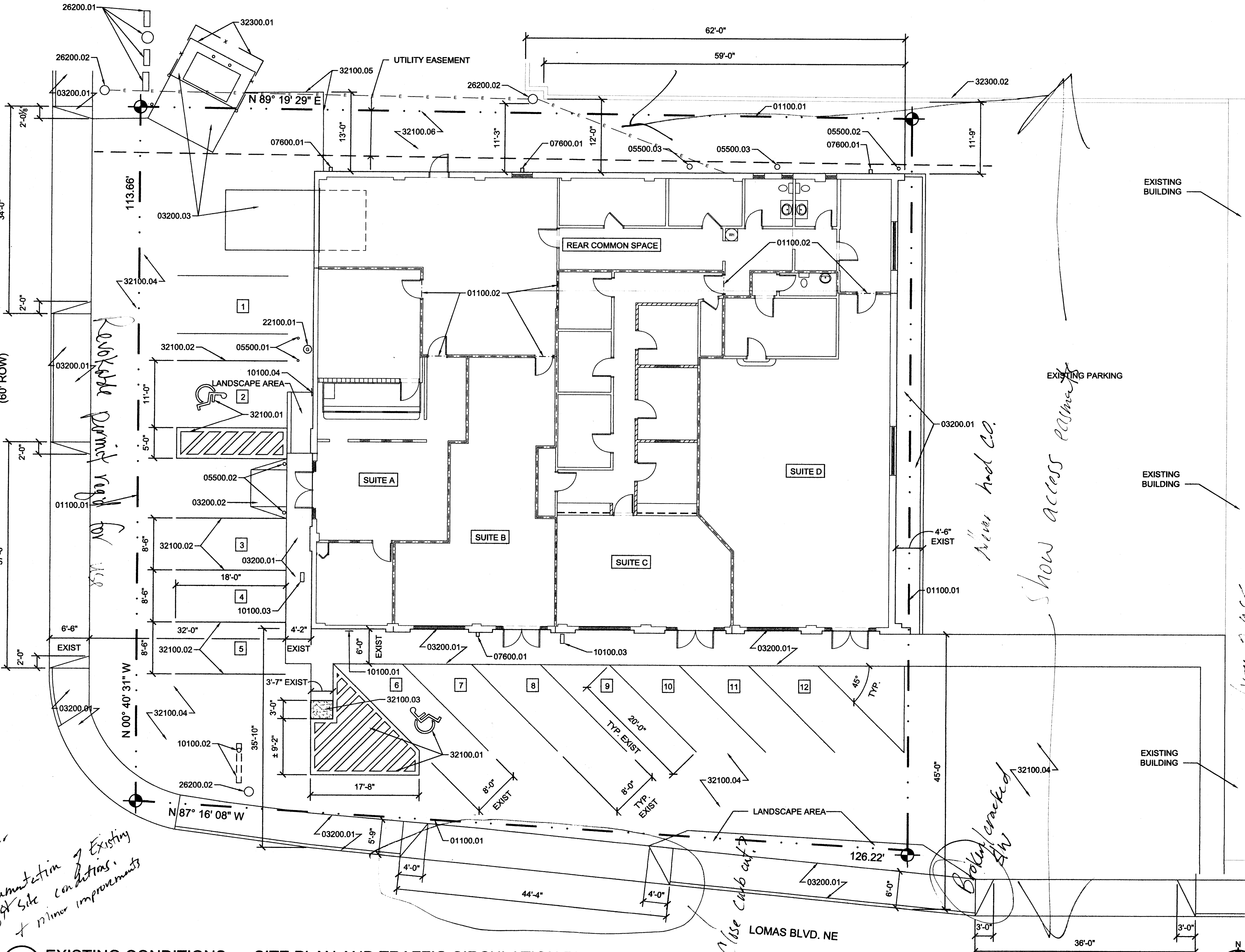
KEYED NOTES

- 01100.01 PROPERTY LINE.
- 01100.02 DASH / DOT LINE INDICATES SEPARATION OF SUITES.
- 03200.01 EXISTING CONCRETE SIDEWALK, TO REMAIN.
- 03200.02 EXISTING CONCRETE SLOPED WALK, TO REMAIN.
- 03200.03 EXISTING CONCRETE PAD, TO REMAIN.
- 05500.01 EXISTING 4"Ø, CONCRETE FILLED BOLLARD, TO REMAIN.
- 05500.02 EXISTING 6"Ø, CONCRETE FILLED BOLLARD, TO REMAIN.
- 05500.03 EXISTING 10"Ø, CONCRETE FILLED BOLLARD, TO REMAIN.
- 07600.01 EXISTING ROOF SCUPPER ABOVE, TO REMAIN.
- 10100.01 HANDICAP PARKING SIGN. SEE DETAIL A4 / G-001, THIS SHEET. PROVIDE SIGN ATTACHED TO WALL WHERE POSSIBLE.
- 10100.02 EXISTING SIGN POST AND SIGN, TO REMAIN.
- 10100.03 EXISTING SIGN POST, TO REMAIN.
- 10100.04 HANDICAP PARKING SIGN. SEE DETAIL A4 / G-001, THIS SHEET. PROVIDE SIGN ATTACHED TO WALL WHERE POSSIBLE. PROVIDE 'VAN ACCESSIBLE' SIGN AT THIS LOCATION.
- 22100.01 EXISTING GAS METER, TO REMAIN.
- 26200.01 EXISTING UTILITY RISER, TO REMAIN.
- 26200.02 EXISTING POWER POLE, TO REMAIN.
- 32100.01 PROVIDE HANDICAP ACCESSIBLE AISLE STRIPING AND INTERNATIONAL HANDICAP PARKING SYMBOL. PAINTED STRIPING THIS AREA, 8" WIDE STRIPES @ 45 DEGREE ANGLE @ 2'Ø C.C.
- 32100.02 PROVIDE NEW 6" WIDE PARKING AISLE STRIPING.
- 32100.03 PROVIDE NEW ASPHALT/ CEMENTITIOUS OVERLAY, SLOPE AT MINIMUM 1:12.
- 32100.04 EXISTING ASPHALT, TO REMAIN.
- 32100.05 OUTSIDE FACE OF EXISTING ASPHALT, TO REMAIN.
- 32100.06 EXISTING GRAVEL, TO REMAIN.
- 32300.01 EXISTING REFUSE ENCLOSURE, TO REMAIN.
- 32300.02 EXISTING MASONRY BLOCK WALL, TO REMAIN.



A4 HANDICAP SIGN DETAIL

3/4" = 1'-0"



A1 EXISTING CONDITIONS • SITE PLAN AND TRAFFIC CIRCULATION PLAN

1" = 10'-0"

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- ADDITIONAL EXIT LIGHTS AND EMERGENCY LIGHTS - NEW SMOKE DETECTORS

Project #: 00-00-00
Date: 06.28.16
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Project Architect: Lee Gamelsky, AIA

STATE OF NEW MEXICO
LEE D. GAMELSKY
No. 1931
REGISTERED ARCHITECT

G-001