

CITY OF ALBUQUERQUE



December 31, 2019

Roger Cinelli, R.A.
Roger Cinelli & Associates Inc.
2418 Manuel Torres Ln. NW
Albuquerque, NM 87107

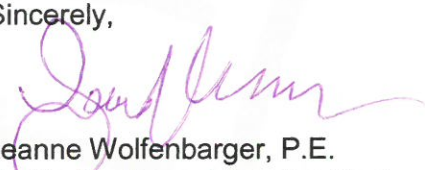
**Re: Town Houses For Ahmet Tiryaki,
1200 Cagua Dr. SE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 4-23-19 (J18D048)
Certification dated 12-23-19**

Dear Mr. Cinelli,

Based upon the information provided in your submittal received 12-26-19, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

Sincerely,


Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

Cinelli

ARCHITECTS

OFFICE (505) 243-8211 FAX (505) 243-8196

ROGER CINELLI & ASSOCIATES, INC. 2418 MANUEL TORRES LANE N.W. ALBUQUERQUE, NEW MEXICO 87107

12/23/19

CITY OF ALBUQUERQUE
TRANSPORTATION DEVELOPMENT SECTION
PLAZA DEL SOL BUILDING
600 2ND STREET N.W.
ALBUQUERQUE, NEW MEXICO 87102

RE: TWO STORY TOWNHOUSE PROJECT WORKING DRAWINGS – (8) UNITS TOTAL – 1200
CAGUA DR. N.E., ALBUQUERQUE, NEW MEXICO – J18D048 - ARCHITECT'S STAMP DATED 4/23/19
- TCL APPROVED 4/30/19 - **FINAL SITE CERTIFICATION**

DEAR SIRs,

I, ROGER CINELLI, NMRA 1102, OF THE FIRM, ROGER CINELLI & ASSOCIATES INC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE TCL APPROVED PLAN, APPROVAL LETTER DATED 10/30/2018.

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON DECEMBER 22, 2019.

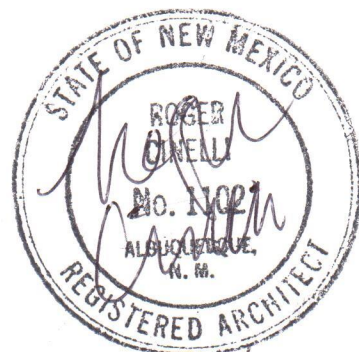
I FURTHER SUBMIT THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SINCERELY,

Roger Cinelli
ROGER CINELLI, ARCHITECT

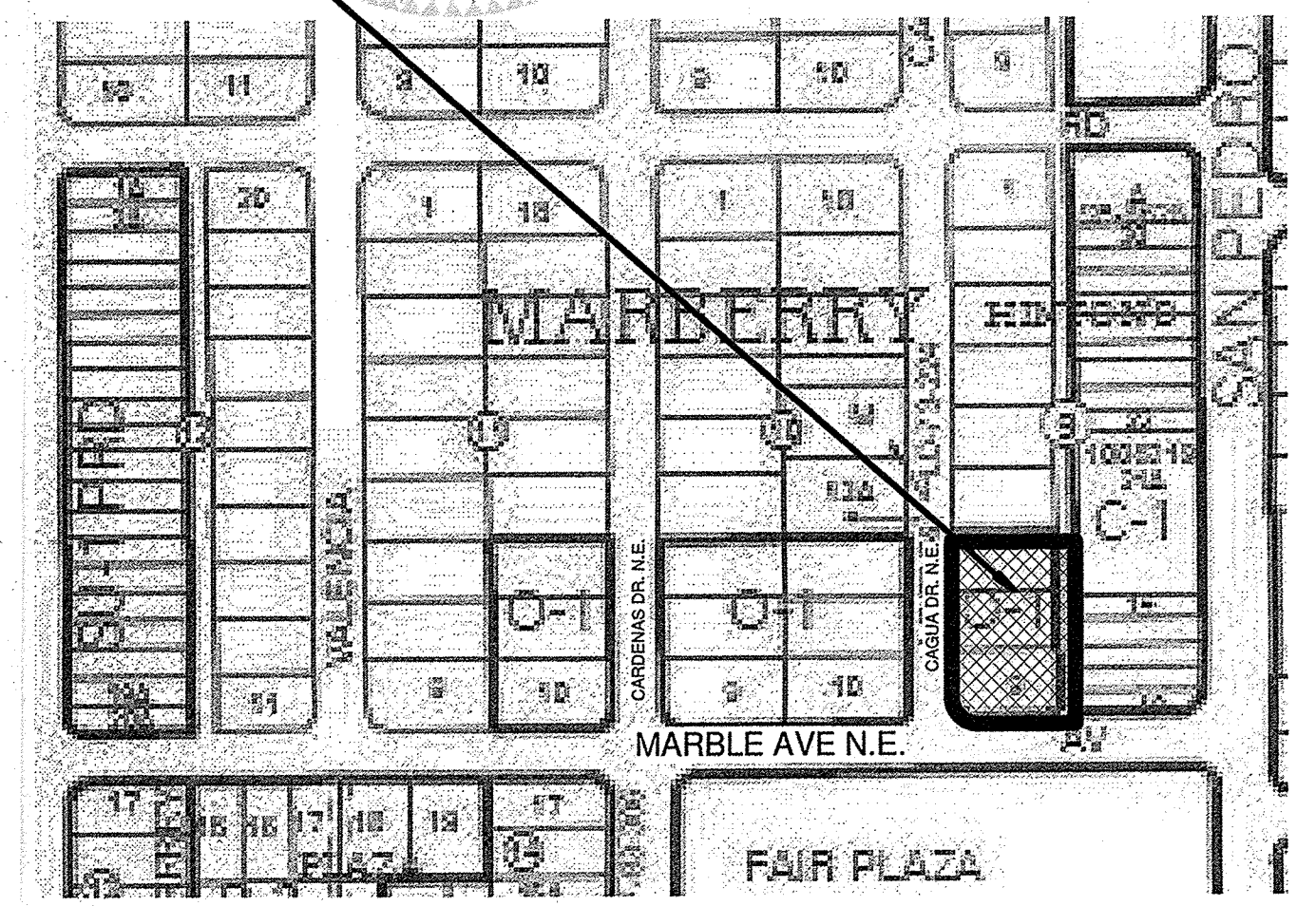
12/23/19
DATE



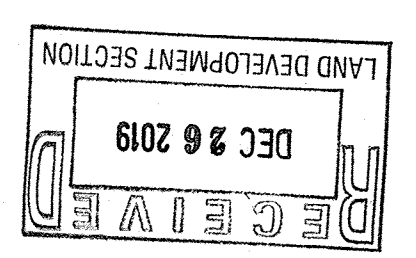
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1200 CAGUA DR. N.E.

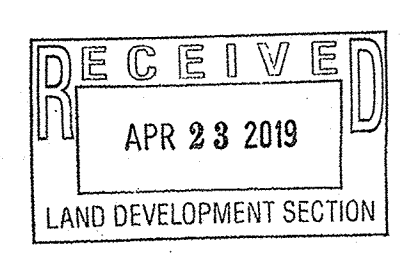


VICINITY MAP - ZA MAP J-18
1" = 500'



DESIGN CRITERIA

PROJECT LOCATION: NORTHSIDE OF MARBLE BETWEEN NORTH-WEST ALLEY AND CAGUA DR. N.E.
PROPOSED USES: RESIDENTIAL DEVELOPMENT
UNIT COUNT:
THREE BEDROOM - 2 BATH - 2 CAR GARAGE 2
TWO BEDROOM - 1 1/2 BATH - 2 CAR GARAGE 4
TWO BEDROOM - 1 1/2 BATH - 1 CAR GARAGE 2
TOTAL 8 UNITS
LEGAL DESCRIPTION: TRACT 3 MARBLE TOWNHOMES
ZONE ATLAS MAP: J-18
LEGAL DESCRIPTION: TRACT 3 MARBLE TOWNHOMES
OVERHEAD UPC:
POWER LINE
ZONING: R-ML
LAND USE CLASSIFICATION: 3000
PROPOSED USES: RESIDENTIAL DWELLINGS
MAXIMUM TOTAL DWELLING UNITS: 8 UNITS - 10 DU'S PER ACRE COMPLIES
REQUIRED PARKING:
TOWNHOUSE UNITS: 8 UNITS X 2.0 PARKING SPACES = 16 PARKING SPACES
PROPOSED PARKING:
OFF STREET PARKING = 24 PARKING SPACES (INCLUDING GARAGE SPACES) COMPLIES



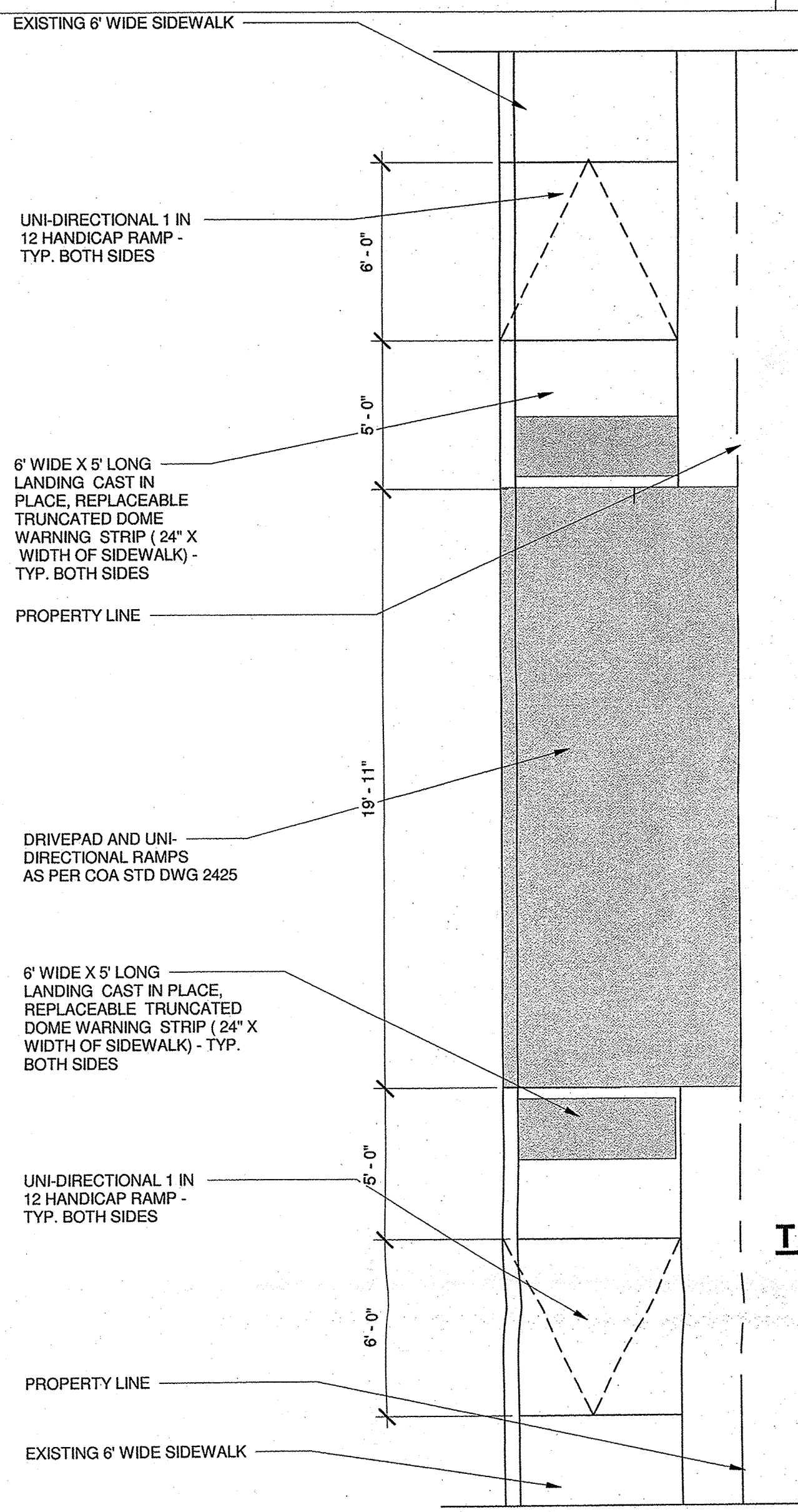
Cinelli / Roger Cinelli & Assoc.
ARCHITECTS
2418 Manuel Torres Lane N.W.,
Albuquerque, New Mexico 87107
(505) 243-8211

PROJECT TITLE: TOWNHOMES FOR AHMET TIRYAKI
1200 CAGUA DR. N.E.
ALBUQUERQUE, NEW MEXICO

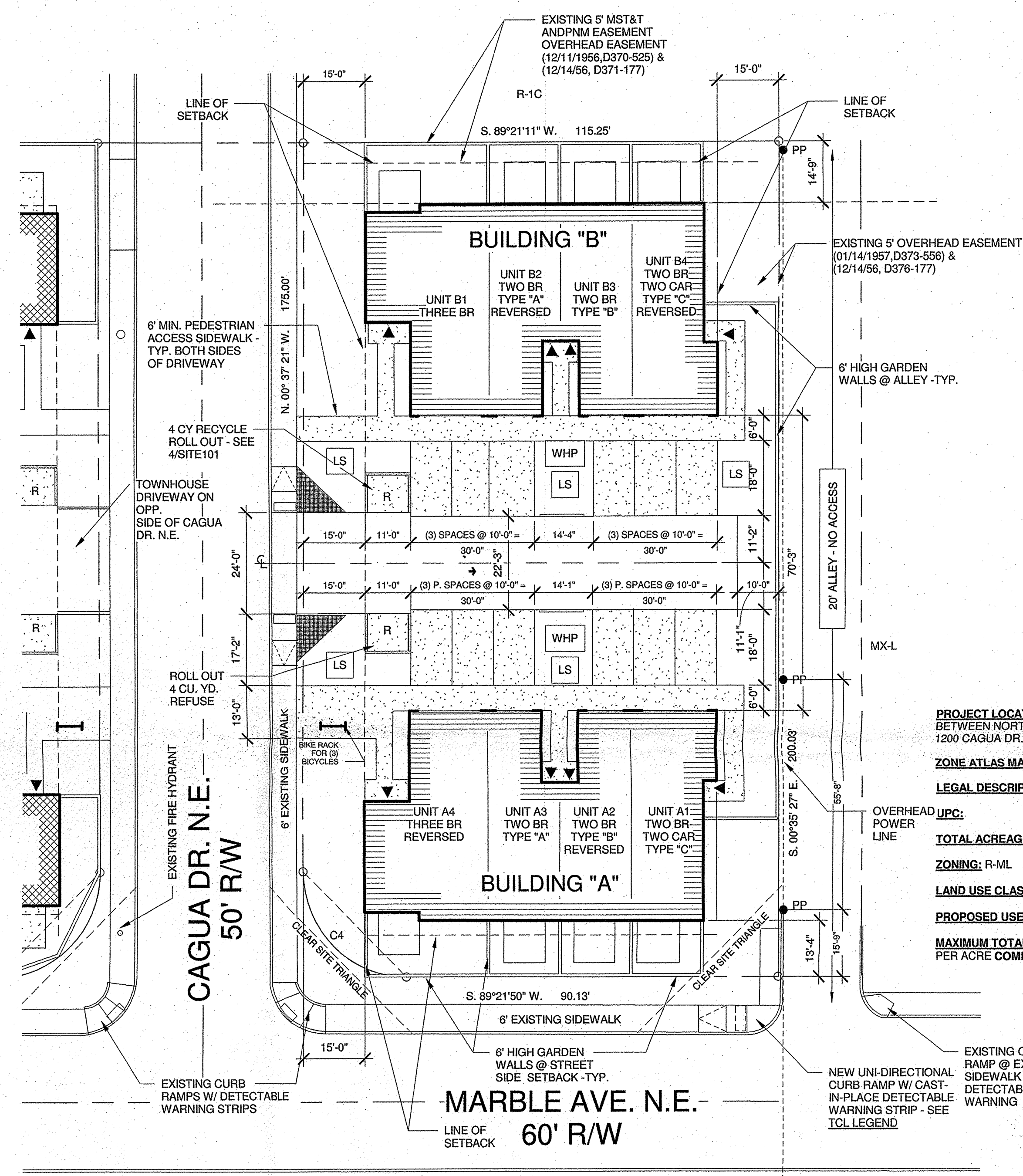
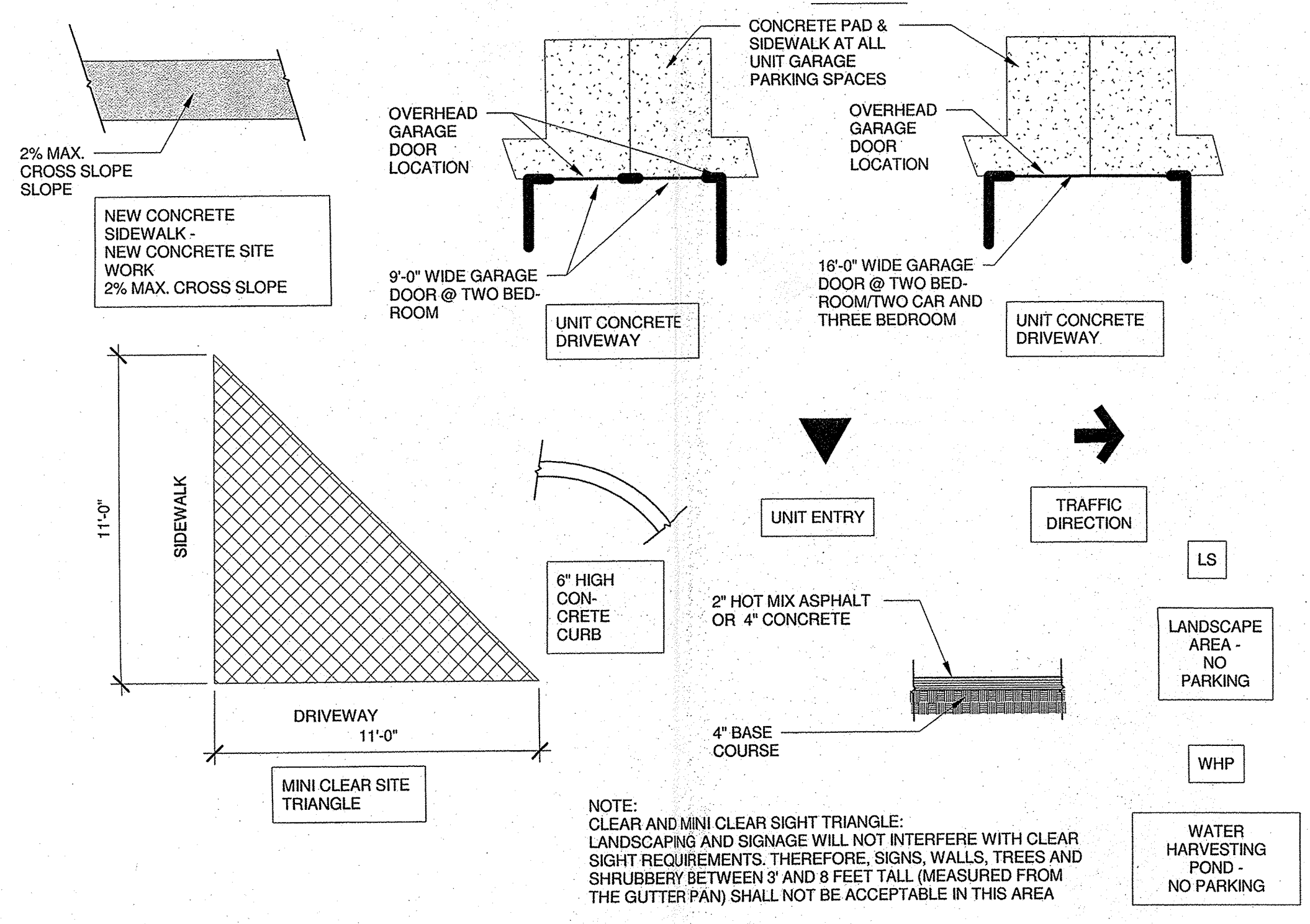
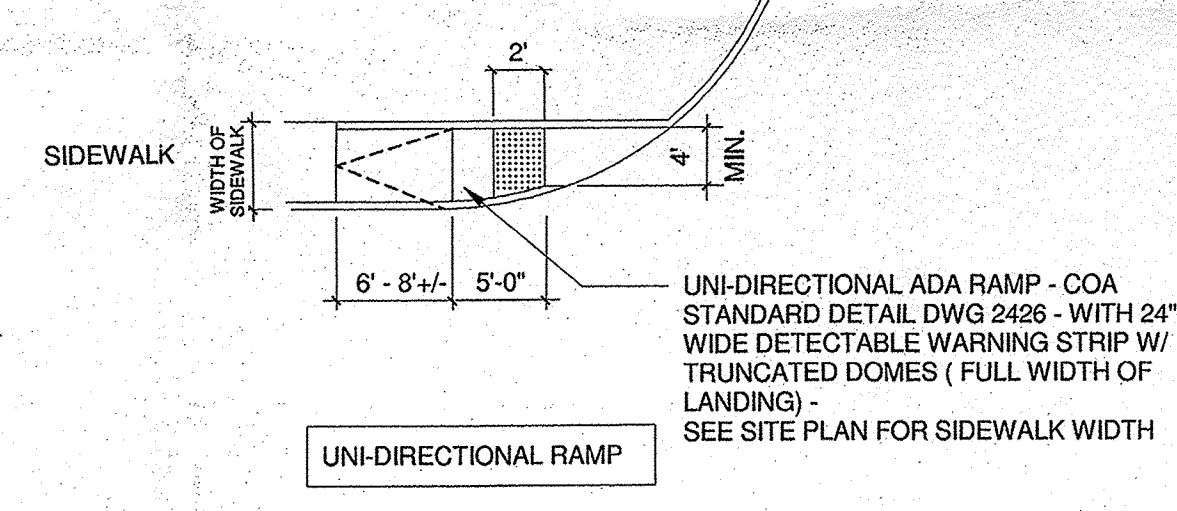
DRAWING TITLE: TRAFFIC CONTROL LAYOUT

SEAL: [Architect Seal] DATE: APR 2019 PROJECT NO.: TIRY48
DRAWING NO.: CIVIL101

4/23/19



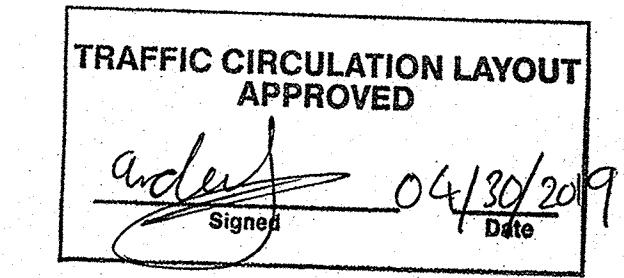
TRAFFIC CONTROL PLAN LEGEND



1 SITE PLAN - TLC
Scale: 1" = 20'-0"

TCL NOTE:

- DPM CH. 23, FIGURE 23.7.1
* 22' AISLE PERMITTED FOR 9'-6" MIN. WIDE PARKING STALLS
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK, CURB AND GUTTER AS PER COA STD DWG # 2415A AND 2430
- ALL UNIT GARAGES SHALL PROVIDE BICYCLE SPACE
- SEE TRAFFIC CONTROL LEGEND
THIS SHEET FOR COA STANDARD DRIVEPAD, CURBS, SIDEWALKS, PAVEMENT SECTION DETAIL AND GARAGE DOOR LOCATIONS AND SIZE



WHEELCHAIR RAMPS LOCATED AT THE PUBLIC RIGHT OF WAY JUST HAVE TRUNCATED DOMES.