

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

September 15, 2023

David J. Pacheco, R.A  
David J. Pacheco Architect  
6721 Mariposa Pl. NW  
Albuquerque, NM 87120

**Re: Family Promise Center**  
**1516 San Pedro Dr. NE**  
**Traffic Circulation Layout**  
Architect's Stamp 06-14-23 (J18-D051)

Dear Mr. Pacheco,

The TCL submittal received 08-28-2023 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) for log in and evaluation by Transportation. **AN APPROVED/RECORDED SIDEWALK EASEMENT IS A CONDITION OF RELEASING THE FINAL CO.**

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File



## Project Data

|                                                      |                                                                                                                                                                               |
|------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Project Name:                                        | Family Promise of Albuquerque                                                                                                                                                 |
| Project Address:                                     | 1516 San Pedro Drive, N.E., Albuquerque, NM 87110                                                                                                                             |
| Legal Description:                                   | Lot 9 and 10, Block 17 of the Frederick A. Farr Addition                                                                                                                      |
| Zone Atlas Map:                                      | J-18-Z                                                                                                                                                                        |
| Site Zoning:                                         | MX-L (Mixed-use, Low Density Zone District)                                                                                                                                   |
| Allowable Uses:<br>IDO Table 4-2-1<br>(page 145&147) | Group Living - Dormitory<br>Office                                                                                                                                            |
| Project Description:                                 | Interior Remodel of an Existing 6,400 square foot, One Story Office Building into a Dormitory to provide shelter for homeless low income families & offices for support staff |

Occupancy: Residential - Group R-2 IBC Section 310 (PAGE 50)  
Business - Group B IBC Section 304 (PAGE 42)

Construction Type: Type VB (To be Fire Sprinklered under this Contract)  
IBC Table 506.2  
(page 103)

|                                                         |                    |        |
|---------------------------------------------------------|--------------------|--------|
| Fire Resistance Ratings:<br>IBC Table 601<br>(page 113) | Type VB            |        |
|                                                         | Structural Frame   | 0 Hour |
|                                                         | Bearing Walls      |        |
|                                                         | Exterior           | 0 Hour |
|                                                         | Interior           | 0 Hour |
|                                                         | Nonbearing Walls   |        |
|                                                         | Exterior           | 0 Hour |
|                                                         | Interior           | 0 Hour |
|                                                         | Floor Construction | 0 Hour |
|                                                         | Roof Construction  | 0 Hour |

Allowable Area: R-2 Occupancy, Type VB Construction, Sprinklered (SI)  
 IBC Table 506.2 Allowable Single Story Area = 28,000 sq. ft.  
 (page 102&103) B Occupancy, Type VB Construction, Sprinklered (SI)  
 Allowable Single Story Area = 36,000 sq. ft.

Req'd Separation  
Of Occupancies  
IBC Table 508.4  
(page 108)

Occupancies R and B Automatic  
Sprinkler System Throughout Building - 1 Hour

| IBC Table 1004.1.2<br>(page 251) | Function of Space | Sq. ft. | Load Factor | Occupant Load |
|----------------------------------|-------------------|---------|-------------|---------------|
|                                  | Offices           | 2,800   | 1/100       | 28            |

Min. # of Req'd  
Plumbing Fixtures:  
IBC [P] Table 2902.1  
(page 572)

| <u>Function of Space</u> | <u>Sq. ft.</u> | <u>Load Factor</u> | <u>Occupant Load</u> |
|--------------------------|----------------|--------------------|----------------------|
| Offices                  | 2,800          | 1/100              | 28                   |
| Residential              | 3,600          | 1/50               | 72                   |
| Total Occupant Load      |                |                    | <u>100</u>           |

| <u>Business</u> | <u>Occupant Load/ Ratio</u> | <u>WC</u> | <u>Lavs</u> | <u>Di's</u> | <u>Service Sink</u> |
|-----------------|-----------------------------|-----------|-------------|-------------|---------------------|
| 28/ 25          | 1.12                        |           |             |             |                     |
| 28/ 40          |                             |           | .7          |             |                     |
| 28/ 100         |                             |           |             | .28         | 1                   |

| <u>Residential</u> | <u>Occupant Load/ Ratio</u> | <u>WC</u> | <u>Lavs</u> | <u>Di's</u> | <u>Service Sink</u> | <u>Showers</u> |
|--------------------|-----------------------------|-----------|-------------|-------------|---------------------|----------------|
| 72/10              | 7.2                         |           | 7.2         |             |                     |                |
| 72/100             |                             |           |             | .72         | 1                   |                |
| 72/8               |                             |           |             |             |                     | 9              |

|                        |   |   |   |   |   |
|------------------------|---|---|---|---|---|
| <u>Total Required:</u> | 9 | 8 | 1 | 2 | 9 |
|------------------------|---|---|---|---|---|

|                                    |   |
|------------------------------------|---|
| Total Water Closets Required=      | 9 |
| Total Water Closets Supplied=      | 9 |
| Total Lavatories Required=         | 8 |
| Total Lavatories Supplied=         | 8 |
| Total Drinking Fountains Required= | 1 |
| Total Drinking Fountains Supplied= | 1 |
| Total Service Sinks Required=      | 2 |
| Total Service Sinks Supplied=      | 2 |
| Total Showers Required=            | 9 |
| Total Showers Supplied=            | 9 |

Off-Street Parking  
Requirements:  
IDO Table 5-5-1  
(page 266 & 268)

IDO Table 5-5-4  
(page 277)

IDO Table 5-5-5  
(page 278)

ISO 5-5(c)(6)(b)2  
(page 275)

Dormitory

(1) Parking Space Required per (3) Person Design Capacity  
(72) Occupants/ (3) = (24) Spaces

Business Offices

(3.5) Spaces Required per (1,000) sq. ft.  
(2,800)/ 1,000 = (2.8) x 3.5 = (10) Spaces

Minimum Motorcycle Parking Requirements  
(2) Required

Minimum Bicycle Parking Requirements

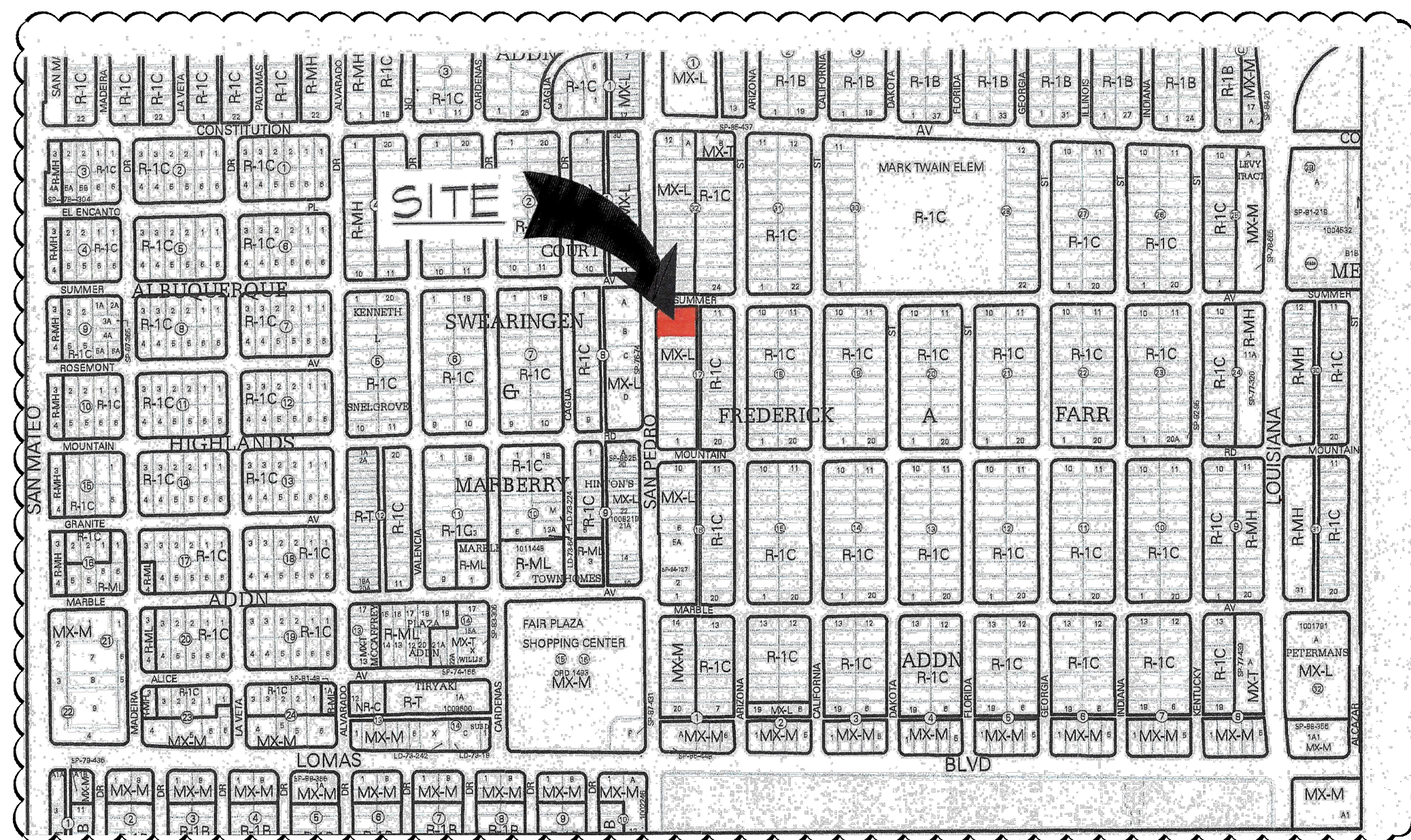
Dormitory 72/3 = 24  
Office = 3

Total Required = 27

Parking Spaces Subtotal = 34

Parking Credit for  
Vanpool Vehicle = 7

Total on Site Parking Required (27) Spaces  
Total Existing on Site Provided (28) Spaces



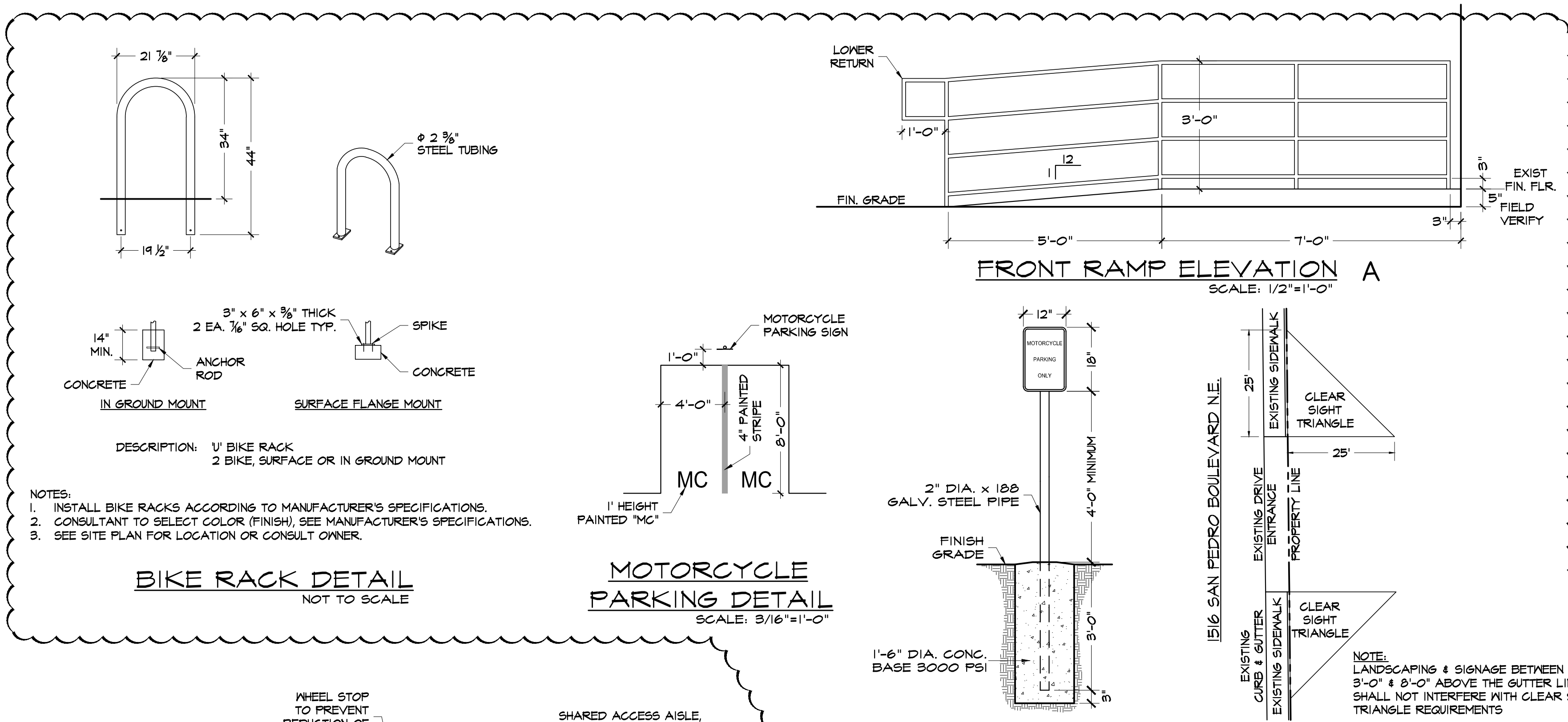
VICINITY MAP-ZONE MAP J-18-Z  
NTS



TRAFFIC CIRCULATION  
LAYOUT APPROVED

Ernest Armijo      9/15/2023  
Signed      Date





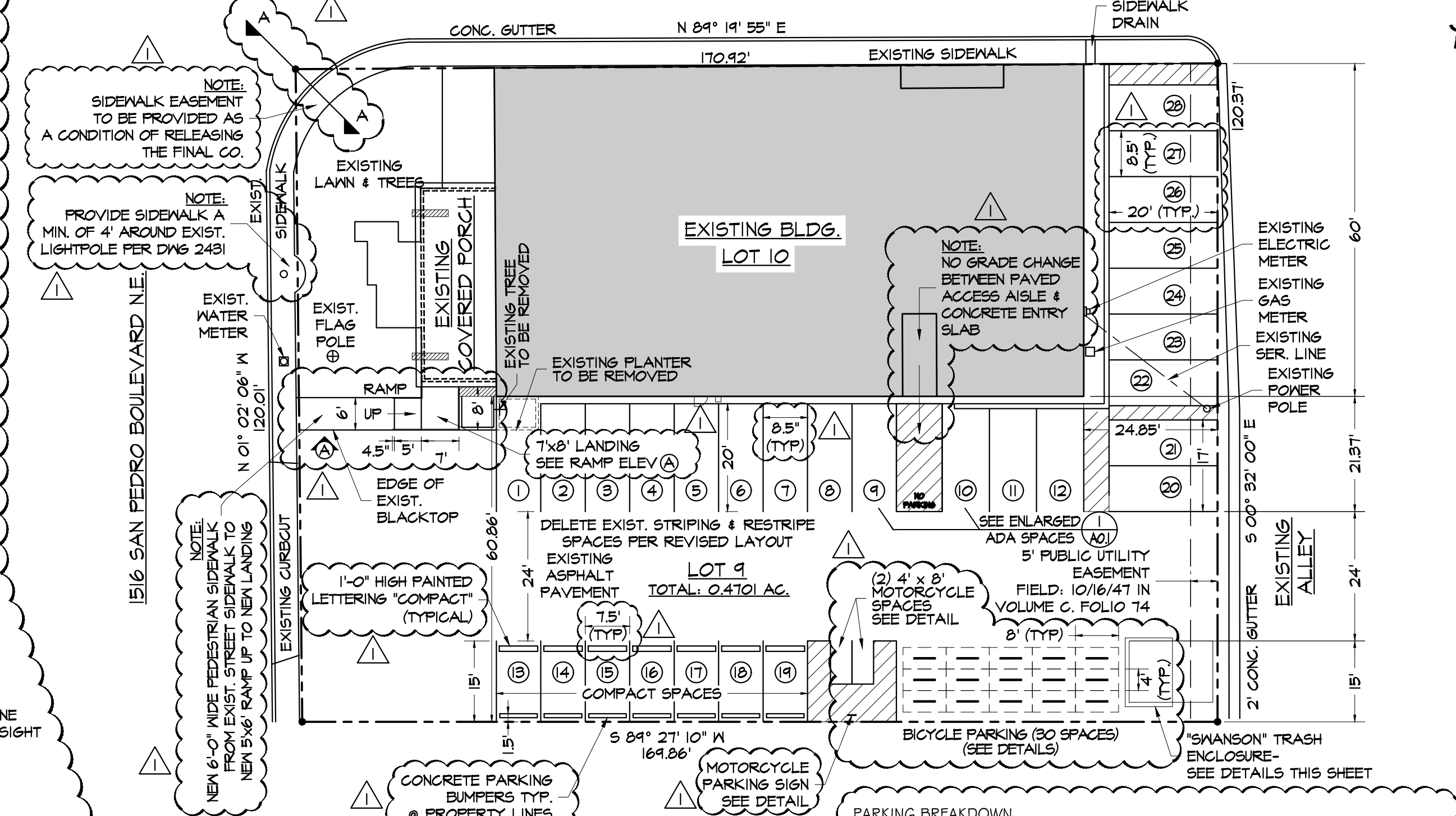
TRAFFIC CIRCULATION  
LAYOUT APPROVED

Ernest Armijo  
Signed

9/15/2023  
Date

NOTE:  
ALL BROKEN OR CRACKED SIDEWALK SHALL BE REPLACED WITH  
NEW SIDEWALK & CURB & GUTTER PER CITY STANDARD DWS 2430

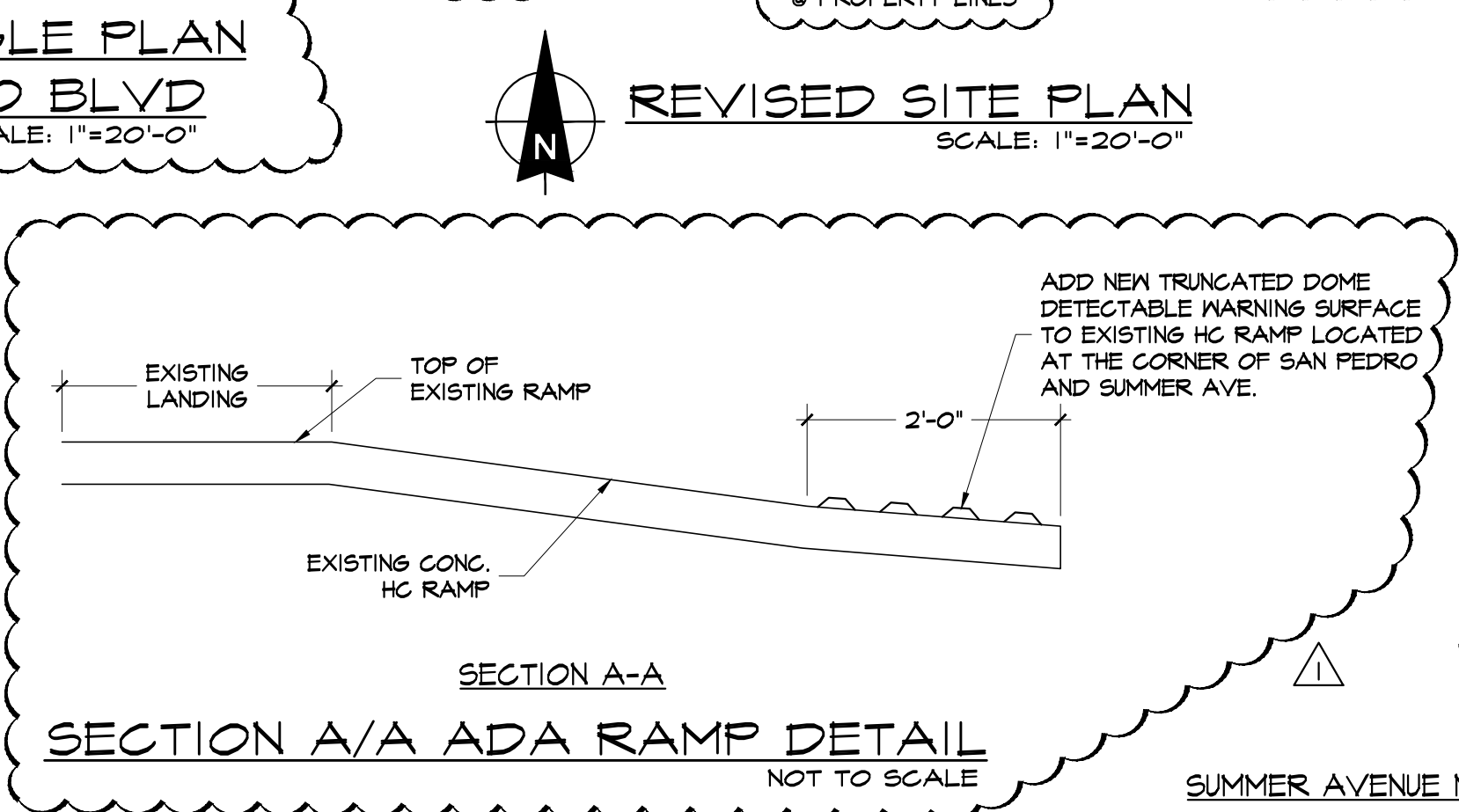
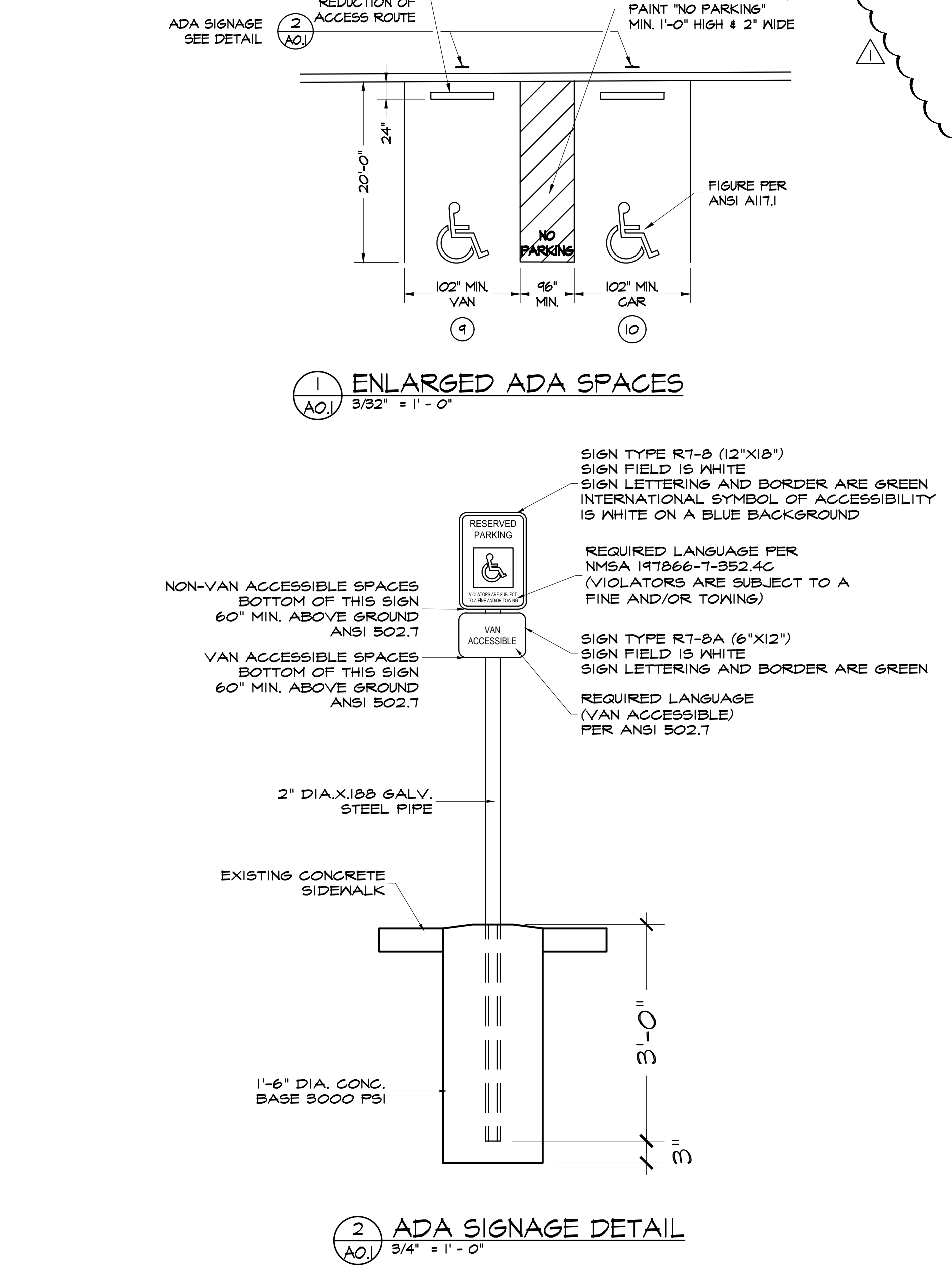
STATE OF NEW MEXICO  
DAVID JESSE PACHECO  
NO. 1606  
REGISTERED ARCHITECT  
06.14.23



**PARKING BREAKDOWN**

|                                                |                                                                                                                                                                                                                                                             |
|------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| OFF STREET PARKING REQUIRED<br>IDO TABLE 5-5-1 | DORMITORY USE<br>(1) SPACE REQUIRED PER (3) PERSON DESIGN CAPACITY<br>(72) OCCUPANTS (3) = (24) SPACES<br>BUSINESS OFFICES<br>(3.5) SPACES REQUIRED PER 1,000 SQ. FT.<br>(2,900) / (1,000) = (2.9) X (3.5) = (10) SPACES<br>CAR PARKING TOTAL = (34) SPACES |
| PARKING CREDIT<br>IDO 5-5(c)(6)(b)2            | TOTAL PARKING SPACES REQUIRED (34)<br>VANPOOL VEHICLE CREDIT MINUS (7)<br>ADJUSTED ON SITE PARKING REQ'D (27)<br>ON SITE PARKING SUPPLIED (27)                                                                                                              |
| MOTORCYCLE PARKING REQUIRED<br>IDO TABLE 5-5-4 | (2) SPACES REQUIRED, (2) SPACES SUPPLIED                                                                                                                                                                                                                    |
| BICYCLE PARKING REQUIRED<br>IDO TABLE 5-5-5    | DORMITORY (72) / (3) = (24)<br>OFFICE USE =<br>TOTAL REQUIRED = (27), (30) SPACES SUPPLIED                                                                                                                                                                  |

NOTE  
PARKING SPACE #21 IS DESIGNATED VAN POOL PARKING



1. THIS SET OF DRAWINGS EXIST AS A PROFESSIONAL ARCHITECTURAL DESIGN. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT OR THE PERFORMANCE OF THE PROJECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT OR THE PERFORMANCE OF THE PROJECT.

PROJECT ADDRESS: 1516 SAN PEDRO DR NE ALBUQUERQUE, NEW MEXICO

CLIENT NAME: FAMILY PROMISE

PROJECT NAME: EXISTING SITE PLAN, REVISED SITE PLAN & SITE DETAILS

PROJECT NUMBER: 21-029

PROJECT PROGRESS: FINAL

DESIGNER: DJP/ADWELLING

CHECKED BY: DJP

APPROVED BY: DJP

DATE: 06.14.23

SCALE: AS NOTED

SHEET: A0.1

TOTAL SHEETS: 1