

DO NOT  
SEAL

CITY OF ALBUQUERQUE  
FOR INTER-OFFICE MAIL ONLY

USE  
AGAIN

NOTICE: INCOMPLETELY ADDRESSED MAIL WILL NOT BE ACCEPTED FOR DELIVERY.

ORGANIZATION / ADDRESSEE	BLDG.	RM#	FLOOR	ORGANIZATION / ADDRESSEE	BLDG.	RM#	FLOOR
<del>Cord S. [redacted]</del>	<del>[redacted]</del>	<del>[redacted]</del>	<del>[redacted]</del>	<del>[redacted] Bldg. F</del>			
<del>[redacted]</del>							
<del>[redacted]</del>							
<del>[redacted]</del>							
Alan Hogan / Eng	CH		3rd				

FILE COPY



KEN SCHULTZ  
MAYOR

# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 21, 1989

Dennis Lorenz, P.E.  
Espey, Huston & Associates, Inc.  
317 Commercial Street, NE  
Albuquerque, New Mexico 87102

RE: REVISED DRAINAGE PLAN FOR AN ADDITION & PAVING  
KEN JOHN'S SUZUKI (J-19/D3) REVISION DATED MARCH 3, 1989

Dear Mr. Lorenz:

Based on the information provided on your resubmittal of March 3, 1989,  
the revisions as indicated are acceptable.

Please attach a copy of this plan to the construction sets prior to  
sign-off by Hydrology.

If I can be of further assistance, please feel free to call me at  
768-2650.

Cordially,

*Bernie J. Montoya*  
Bernie J. Montoya, C.E.  
Engineering Assistant

BJM/bsj  
(WP+16)

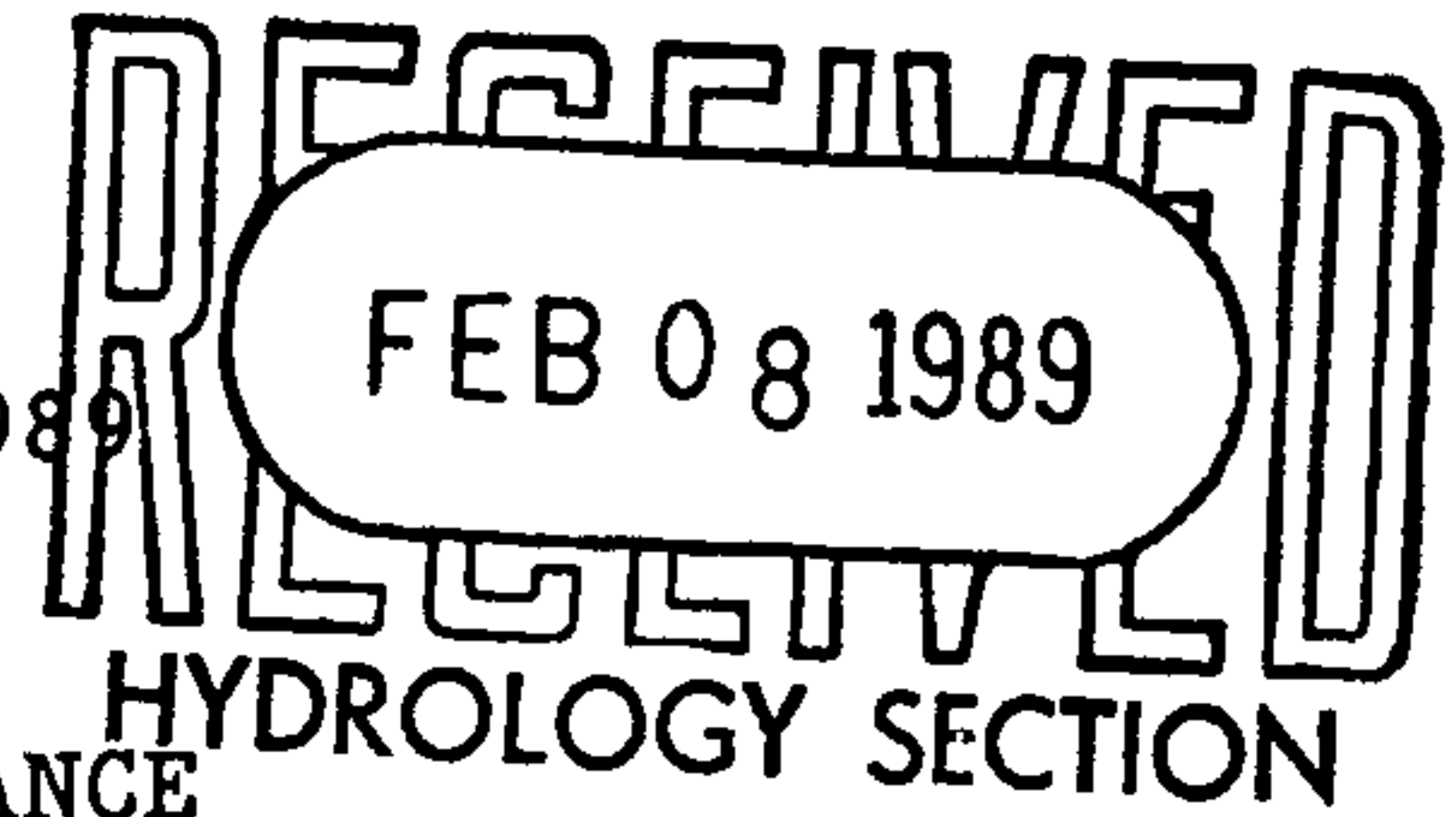


KEN SCHULTZ  
MAYOR

# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 6, 1989



## CERTIFICATE OF COMPLETION AND ACCEPTANCE

Mr. Ricky Davis  
Cauwels and Davis Development  
1116 Pennsylvania N.E.  
Albuquerque, NM 87110

RE: PROJECT NO. 3594, Ken Johns Suzuki-Lomas/Utah, (MAP NO. J-19)

Dear Mr. Davis:

This is to certify that the City of Albuquerque accepts Project No. 3594 as being completed according to approved plans and construction specifications. If all required right-of-ways and/or easements have been dedicated, the City of Albuquerque will accept for continuous maintenance all public infrastructure improvements constructed as part of Project No. 3594. If the required right-of-ways and/or easements have not been dedicated, the City of Albuquerque cannot accept the project for continuous maintenance and said maintenance will be the responsibility of the developer.

The project is described as follows:

- Connected eighteen inch (18") diameter RCP to existing manhole at Utah St. N.E., Ken Johns Suzuki.
- The contractor's warranty begins the date of this letter and will be effective for a period of one (1) year.

Sincerely,

Brian L. Speicher, P.E.  
Acting Chief Construction Engineer  
Construction Mgmt. Division  
Engineering Group  
Public Works Department

RBG:kt

LETTER OF ACCEPTANCE FOR PROJECT NO. 3594  
February 6, 1989  
Page Two (2)

xc: Espey-Huston & Associates  
Sundance Mechanical & Utility Corp.  
Fred Aguirre, Engineering Group, PWD  
Phil Fischer, Engineering Group, PWD  
Ray Pang, Engineering Group, PWD  
Terri Martin, Engineering Group, PWD  
Jeanette Barrett, Special Assessments  
Jim Olsen, Operations Group, PWD  
Sam Cummins, Operations Group, PWD  
Jim Fink, Operations Group, PWD  
Anthony Lopez, Operations Group, PWD  
Jon Ertsgaard, Engineering Group, PWD  
Dave Parks, Engineering Group, PWD  
Tom Kennerly, Operations Group, PWD  
Josie Gutierrez, New Meter Sales, Finance Group, PWD  
Claudia Gallegos, Standby Clerk, Finance Group, PWD  
Della Gallegos, Engineering Group, PWD  
Terry Schultz, Engineering Group, PWD  
Fred Gomez, Engineering Group, PWD  
Judy Aguilar, Engineering Group, PWD  
f/Project 3594  
f/Warranty  
f/Readers

(INP 137082)

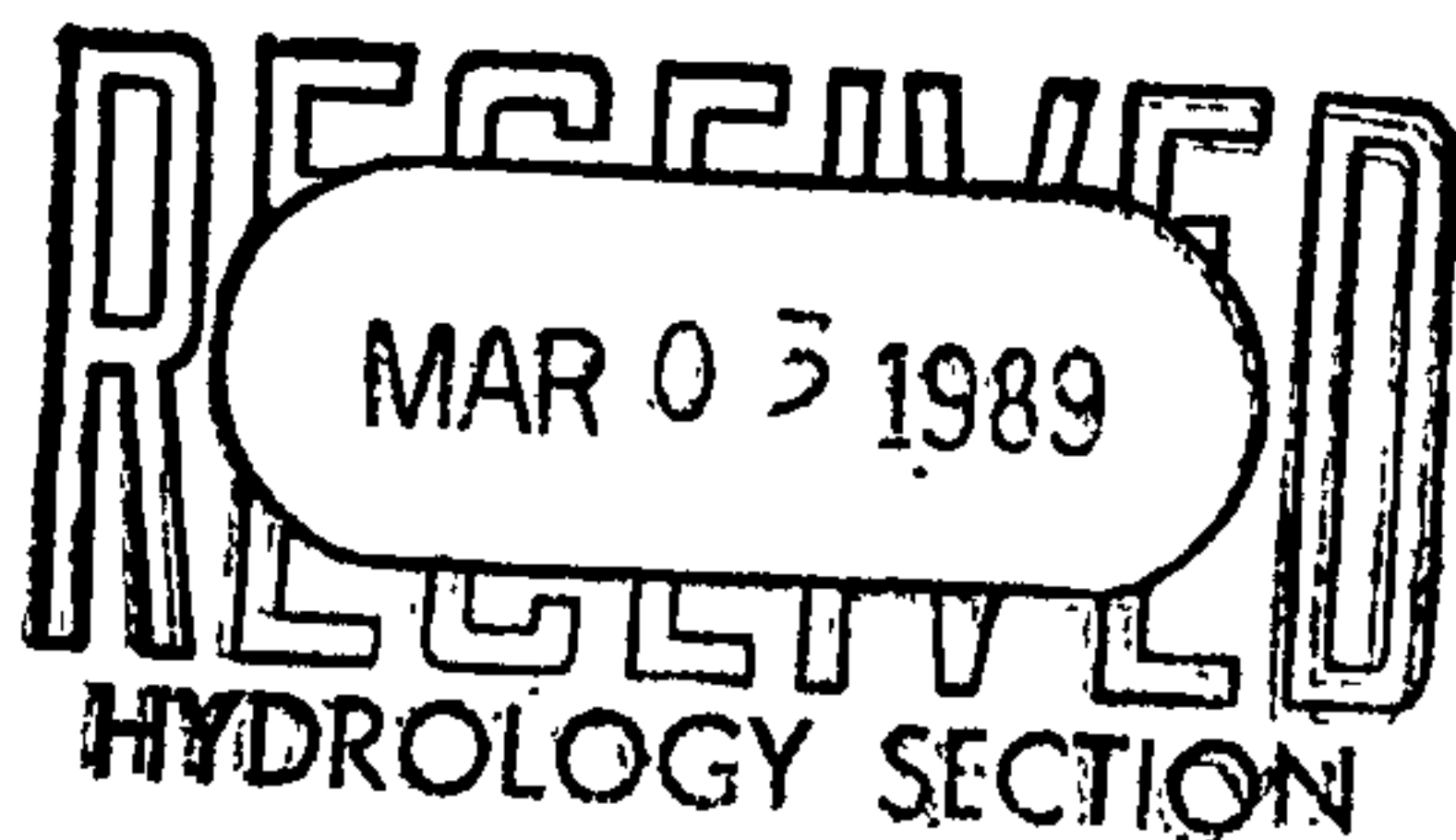
## DRAINAGE INFORMATION SHEET

11255

PROJECT TITLE: KEN JOHNS SUZUKI ZONE ATLAS/DRNG. FILE #: J19-D3  
LEGAL DESCRIPTION: LOTS 5-11, PORTION OF 12, LOTS 14-17 PORT OF 13 BLK 23  
CITY ADDRESS: EAST END ADD'N 8201 LOMAS NE  
ENGINEERING FIRM: ESPEY HUSTON CONTACT: D. LORENZ  
ADDRESS: 317 COMMERCIAL NE PHONE: 242 1909  
OWNER: KEN JOHNS CONTACT: K. JOHNS  
ADDRESS: 2155 LOUISIANA # 4000 PHONE: 888-5415  
ARCHITECT: DE LA TORRE RAINHART CONTACT: IKE BENTON  
ADDRESS: 700 LOMAS NE # 200 PHONE: 842 9500  
SURVEYOR: NA CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CONTRACTOR: NA CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

## PRE-DESIGN MEETING:

☒ YES  
☐ NO  
☒ COPY OF CONFERENCE RECAP  
SHEET PROVIDED



DRB NO. \_\_\_\_\_  
EPC NO. \_\_\_\_\_  
PROJ. NO. \_\_\_\_\_

## TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION

## CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE DEVELOPMENT PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY APPROVAL  
☐ ROUGH GRADING PERMIT APPROVAL  
☐ GRADING/PAVING PERMIT APPROVAL  
☐ OTHER \_\_\_\_\_ (SPECIFY)

ATTN: BARBARA

DATE SUBMITTED:

3-3-88

BY:

DENNIS LORENZ



FILE COPY



KEN SCHULTZ  
MAYOR

# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 16, 1988

Dennis Lorenz, P.E.  
Espey, Huston & Associates, Inc.  
317 Commercial Street, NE  
Albuquerque, New Mexico 87102

RE: REVISED DRAINAGE PLAN FOR AN ADDITION & PAVING  
KEN JOHN'S SUZUKI (J-19/D3) REVISION DATED NOVEMBER 21, 1988

Dear Mr. Lorenz:

Based on the information provided on your resubmittal of December 9, 1988, the above referenced plan is approved for Building Permit.

Please attach a copy of this plan to the construction sets prior to sign-off by Hydrology.

Also, before the Certificate of Occupancy is released, we will need concurrence of Work Order release for the tie-in of the 18" R.C.P.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

*Bernie J. Montoya*  
Bernie J. Montoya, C.E.  
Engineering Assistant

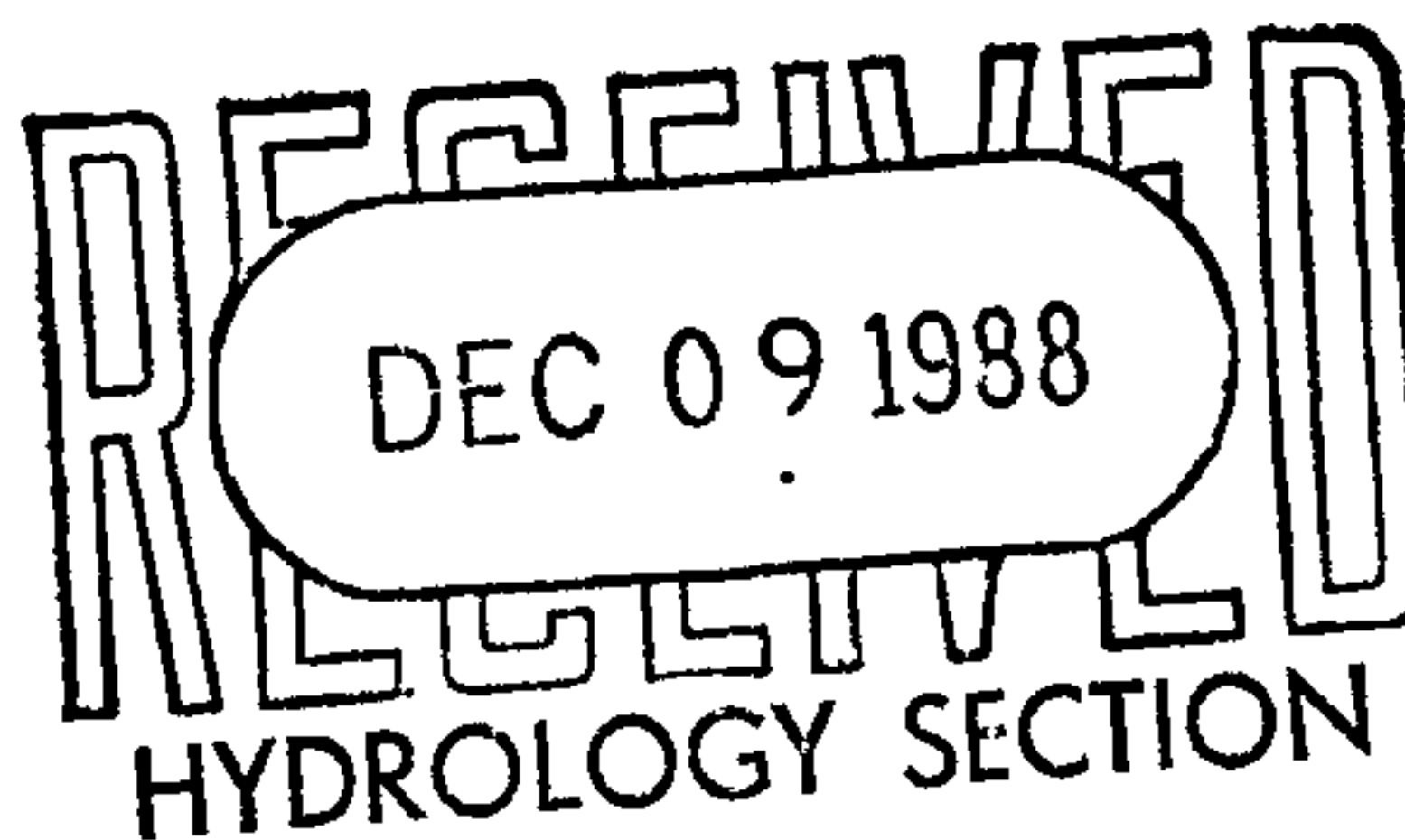
BJM/bsj  
(WP+16)

## DRAINAGE INFORMATION SHEET

11255

PROJECT TITLE: KEN JOHNS SUZUKI ZONE ATLAS/DRNG. FILE #: J19-D3  
LEGAL DESCRIPTION: LOTS 5-11, PORTION OF 12, LOTS 14-17 PART OF 13 BLK 23  
CITY ADDRESS: EAST END ADD'N 8201 LOMAS NE  
ENGINEERING FIRM: ESPEY HUSTON CONTACT: D. LORENZ  
ADDRESS: 317 COMMERCIAL NE PHONE: 242 1909  
OWNER: KEN JOHNS CONTACT: K. JOHNS  
ADDRESS: 2155 LOUISIANA # 4000 PHONE: 888-5415  
ARCHITECT: DE LA TORRE RAINHART CONTACT: IKE BENTON  
ADDRESS: 700 LOMAS NE # 200 PHONE: 842 9500  
SURVEYOR: NA CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CONTRACTOR: NA CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

## PRE-DESIGN MEETING:

☒ YES☐ NO☒ COPY OF CONFERENCE RECAP  
SHEET PROVIDED

DRB NO. \_\_\_\_\_

EPC NO. \_\_\_\_\_

PROJ. NO. \_\_\_\_\_

## TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT☒ DRAINAGE PLAN☐ CONCEPTUAL GRADING & DRAINAGE PLAN☐ GRADING PLAN☐ EROSION CONTROL PLAN☐ ENGINEER'S CERTIFICATION

## CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☐ SITE DEVELOPMENT PLAN APPROVAL☐ FINAL PLAT APPROVAL☒ BUILDING PERMIT APPROVAL☐ FOUNDATION PERMIT APPROVAL☐ CERTIFICATE OF OCCUPANCY APPROVAL☐ ROUGH GRADING PERMIT APPROVAL☐ GRADING/PAVING PERMIT APPROVAL☐ OTHER \_\_\_\_\_ (SPECIFY)

DATE SUBMITTED: 12-9-88  
BY: DENNIS LORENZ

FILE COPY



KEN SCHULTZ  
MAYOR

# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 1, 1988

Dennis Lorenz, P.E.  
Espey, Huston & Associates, Inc.  
317 Commercial Street, NE  
Albuquerque, New Mexico 87102

RE: DRAINAGE PLAN FOR AN ADDITION & PAVING FOR KEN JOHN'S SUZUKI  
(J-19/D3) RECEIVED OCTOBER 28, 1988

Dear Mr. Lorenz:

Based on the information provided on your submittal of October 28, 1988,  
the above referenced drainage plan is approved for building permit.

Please be advised that the final approval will not be granted until:

1. Easements or replat for drainage across lot lines;
2. first review by D.R.C. for the proposed 18" storm drain tap to Utah Street.

If I can be of further assistance, please feel free to call me at  
768-2650.

Cordially,

*Bernie J. Montoya*  
Bernie J. Montoya, C.E.  
Engineering Assistant

BJM/bsj  
(WP+16)

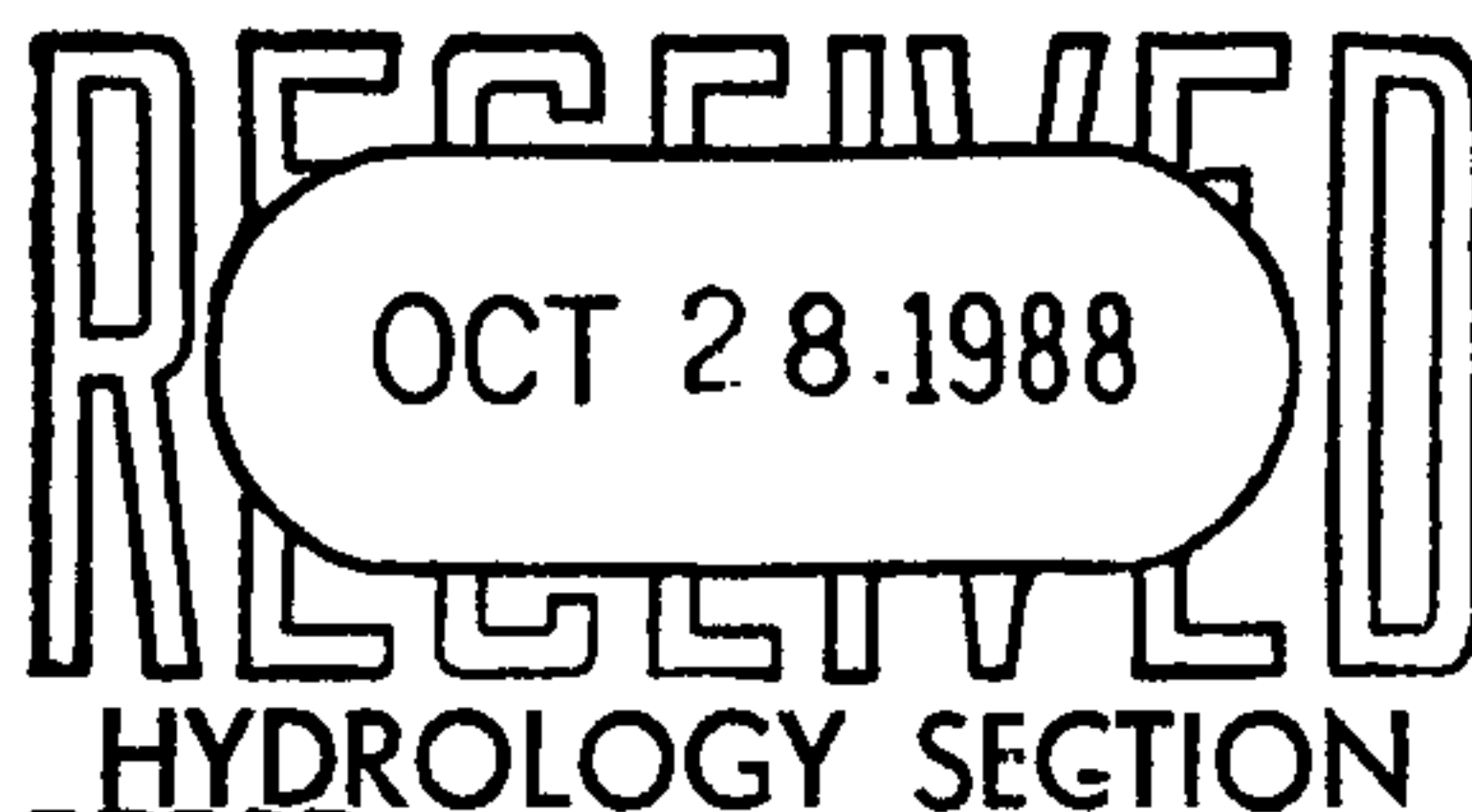


## DRAINAGE INFORMATION SHEET

11255

PROJECT TITLE: KEN JOHNS SUZUKI ZONE ATLAS/DRNG. FILE #: J19-D3  
LEGAL DESCRIPTION: LOTS 5-11, PORTION OF 12, LOTS 14-17 PART OF 13 BLK 23  
CITY ADDRESS: EAST END ADD'N 8201 LOMAS NE  
ENGINEERING FIRM: ESPEY HUSTON CONTACT: D. LORENZ  
ADDRESS: 317 COMMERCIAL NE PHONE: 242 1909  
OWNER: KEN JOHNS CONTACT: K. JOHNS  
ADDRESS: 2155 LOUISIANA # 4000 PHONE: 888-5415  
ARCHITECT: DE LA TORRE RAINHART CONTACT: IKE BENTON  
ADDRESS: 700 LOMAS NE # 200 PHONE: 842 9500  
SURVEYOR: NA CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CONTRACTOR: NA CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

## PRE-DESIGN MEETING:

☒ YES☐ NO☒ COPY OF CONFERENCE RECAP SHEET PROVIDED

DRB NO. \_\_\_\_\_

EPC NO. \_\_\_\_\_

PROJ. NO. \_\_\_\_\_

## TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT☒ DRAINAGE PLAN☐ CONCEPTUAL GRADING & DRAINAGE PLAN☐ GRADING PLAN☐ EROSION CONTROL PLAN☐ ENGINEER'S CERTIFICATION

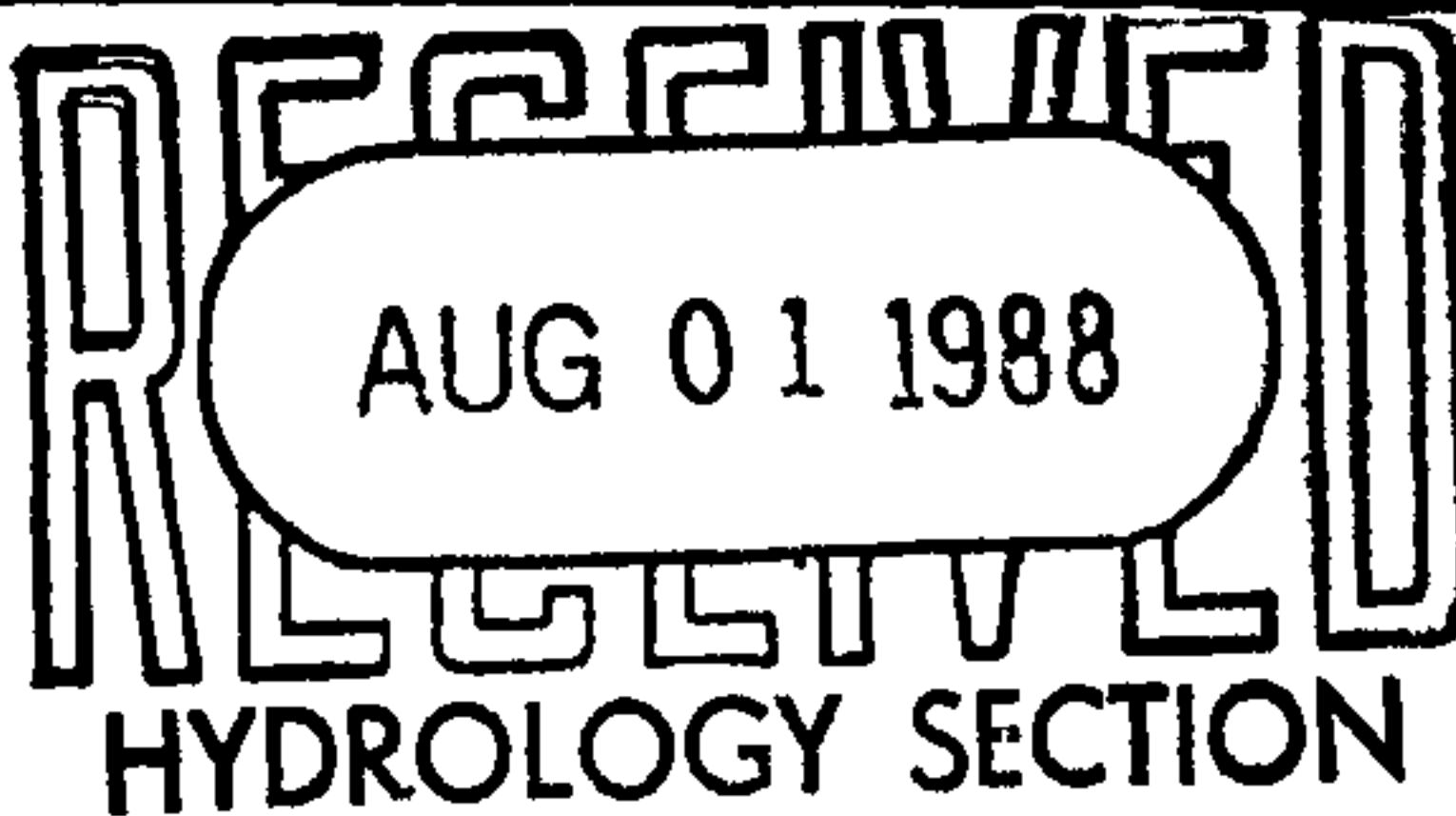
## CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☐ SITE DEVELOPMENT PLAN APPROVAL☐ FINAL PLAT APPROVAL☒ BUILDING PERMIT APPROVAL☐ FOUNDATION PERMIT APPROVAL☐ CERTIFICATE OF OCCUPANCY APPROVAL☐ ROUGH GRADING PERMIT APPROVAL☐ GRADING/PAVING PERMIT APPROVAL☐ OTHER \_\_\_\_\_ (SPECIFY)DATE SUBMITTED: 8-1-88BY: DENNIS LORENZ

## DRAINAGE INFORMATION 5 T

PROJECT TITLE: KEN JOHNS SUZUKI ZONE ATLAS/DRNG. FILE #: J19-D3  
 LEGAL DESCRIPTION: LOTS 5-11, PORTION OF 12, LOTS 14-17 PORT OF 13 BLK 23  
 CITY ADDRESS: EAST END ADD'N 8201 LOMAS NE  
 ENGINEERING FIRM: ESPEY HUSTON CONTACT: D. LORENZ  
 ADDRESS: 317 COMMERCIAL NE PHONE: 242 1909  
 OWNER: KEN JOHNS CONTACT: K. JOHNS  
 ADDRESS: 2155 LOUISIANA #4000 PHONE: 888-5415  
 ARCHITECT: DE LA TORRE RAINHART CONTACT: IKE BENTON  
 ADDRESS: 700 LOMAS NE #200 PHONE: 842 9500  
 SURVEYOR: NA CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CONTRACTOR: NA CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

## PRE-DESIGN MEETING:

☒ YES☐ NO☒ COPY OF CONFERENCE RECAP  
SHEET PROVIDED

DRB NO. \_\_\_\_\_

EPC NO. \_\_\_\_\_

PROJ. NO. \_\_\_\_\_

## TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT☒ DRAINAGE PLAN☐ CONCEPTUAL GRADING & DRAINAGE PLAN☐ GRADING PLAN☐ EROSION CONTROL PLAN☐ ENGINEER'S CERTIFICATION

## CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☐ SITE DEVELOPMENT PLAN APPROVAL☐ FINAL PLAT APPROVAL☒ BUILDING PERMIT APPROVAL☐ FOUNDATION PERMIT APPROVAL☐ CERTIFICATE OF OCCUPANCY APPROVAL☐ ROUGH GRADING PERMIT APPROVAL☐ GRADING/PAVING PERMIT APPROVAL☐ OTHER \_\_\_\_\_ (SPECIFY)

DATE SUBMITTED:

8-1-88

BY:

DENNIS LORENZ

CITY OF ALBUQUERQUE  
MUNICIPAL DEVELOPMENT DEPARTMENT  
ENGINEERING DIVISION/DESIGN HYDROLOGY SECTION

CONFERENCE RECAP

DRAINAGE FILE/ZONE ATLAS PAGE NO.: J 19-D<sup>3</sup> DATE: 6/10/88 @ 10:00

PLANNING DIVISION NOS: EPC: \_\_\_\_\_ DRB: \_\_\_\_\_

SUBJECT: KRM 1000 - EDR

STREET ADDRESS (IF KNOWN): \_\_\_\_\_

SUBDIVISION NAME: Lots 11, 12, 13, 14, 15, 16, 17  
from Lot 13 - Block 23, East End Addition  
APPROVAL REQUESTED:

\_\_\_\_ PRELIMINARY PLAT

\_\_\_\_ SITE DEVELOPMENT PLAN

\_\_\_\_ OTHER

\_\_\_\_ FINAL PLAT

X BUILDING PERMIT

\_\_\_\_ ROUGH GRADING

WHO  
ATTENDANCE: Dennis L. Hargis  
Roger G. Gorman

REPRESENTING  
Energy Hutton & Assoc.  
Hydrology Section

FINDINGS:

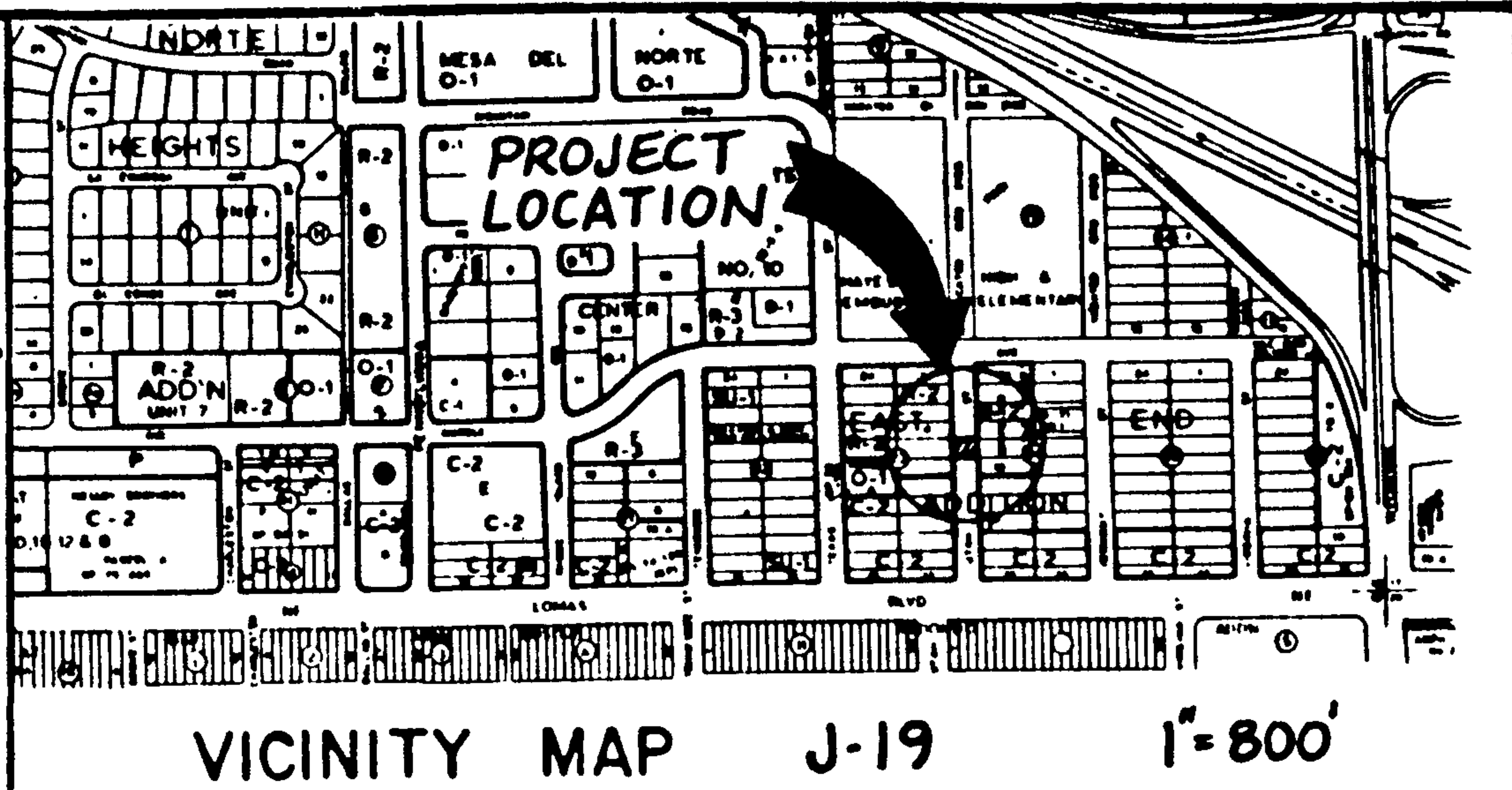
- APPROVED DRAINAGE PLAN FOR THE PROPOSED BUILDING PERMIT (2.0, ADDITION OF APPROXIMATELY 3200 SF AND GRADING PLAN OF THE UNDRAIN DRAINAGE)
  - FREE DISCHARGE APPROVAL FOR THE PROPOSED DRAINAGE Scheme OF ROUTING NEW DRAINAGE FROM THE 48" SD IN UTCH SIDE.
  - WORK ORDER REQUIRED FOR THE PROPOSED CONNECTION TO THE 48" STORM MAIN
  - DRAINAGE ACROSS PRIVATE PROPERTY TO THE WEST WILL REQUIRE PRIVATE AGREEMENT FROM THE DOWNSTREAM OWNERS. THE DRAINAGE RATE WILL BE DETERMINED BY DOWNSTREAM CONDITIONS.
  - ON-SITE EXAMINATION WITHIN THE SUBJECT LOTS NOT REQUIRED FOR THE OWNERSHIP SITES. HOWEVER, REVIEW OF REPLETION TO BE MADE.
- The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: [Signature]  
TITLE: \_\_\_\_\_  
DATE: 6/10/88

SIGNED: [Signature]  
TITLE: \_\_\_\_\_  
DATE: 6-10-88

\*\*NOTE\*\* PLEASE PROVIDE A COPY OF THIS RECAP WITH THE DRAINAGE SUBMITTAL





## NOTICE TO CONTRACTOR

1. All work detailed on these plans to be performed under contract shall, except as otherwise stated or provided for hereon, be constructed in accordance with the City of Albuquerque Standard Specifications for Public Works Construction 1987.
2. Two (2) working days prior to any excavation, contractor must contact Line Locating Service, 765-1234, for location of existing utilities.
3. Prior to construction, the contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer or surveyor so that the conflict can be resolved with minimum amount of delay.
4. Two (2) working days prior to construction, contractor shall obtain a Barricading Plan and Permit through Traffic Engineer Division at 768-2788.

## THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- |                                     |   |
|-------------------------------------|---|
| <input type="checkbox"/>            | All utilities and utility service lines shall be installed prior to paving.   |
| <input checked="" type="checkbox"/> | Backfill compaction shall be according to specified street use.   |
| <input checked="" type="checkbox"/> | Tack coat requirements shall be determined by the City Engineer.  |
| <input type="checkbox"/>            | Sidewalks and wheelchair ramps within the curb returns shall be constructed wherever a new curb returned is constructed.                      |
| <input type="checkbox"/>            | If curb is depressed for a drivepod or a handicap ramp, the drivepod or ramp shall be constructed prior to acceptance of the curb and gutter. |
| <input checked="" type="checkbox"/> | All storm drainage facilities shall be completed prior to final acceptance.   |

### PROJECT BENCHMARK

ACS brass disc 1.5 in. in diameter set in drilled hole in top of curb stamped '4-J19, 1975, ACS'. Station is located 43.3 feet west of the centerline of Wyoming blvd. and 51.8 feet north of the centerline of Lomas Blvd. Elevation = 5362.15 Feet MSLD

### TEMPORARY BENCHMARK

Cross scribed on top of curb at the west northwest return of Lomas Blvd. and Utah St. Elevation = 5350.48 Feet

APPROVED FOR RECORD DRAWINGS

ASST. CITY ENGINEER FIELD

DATE

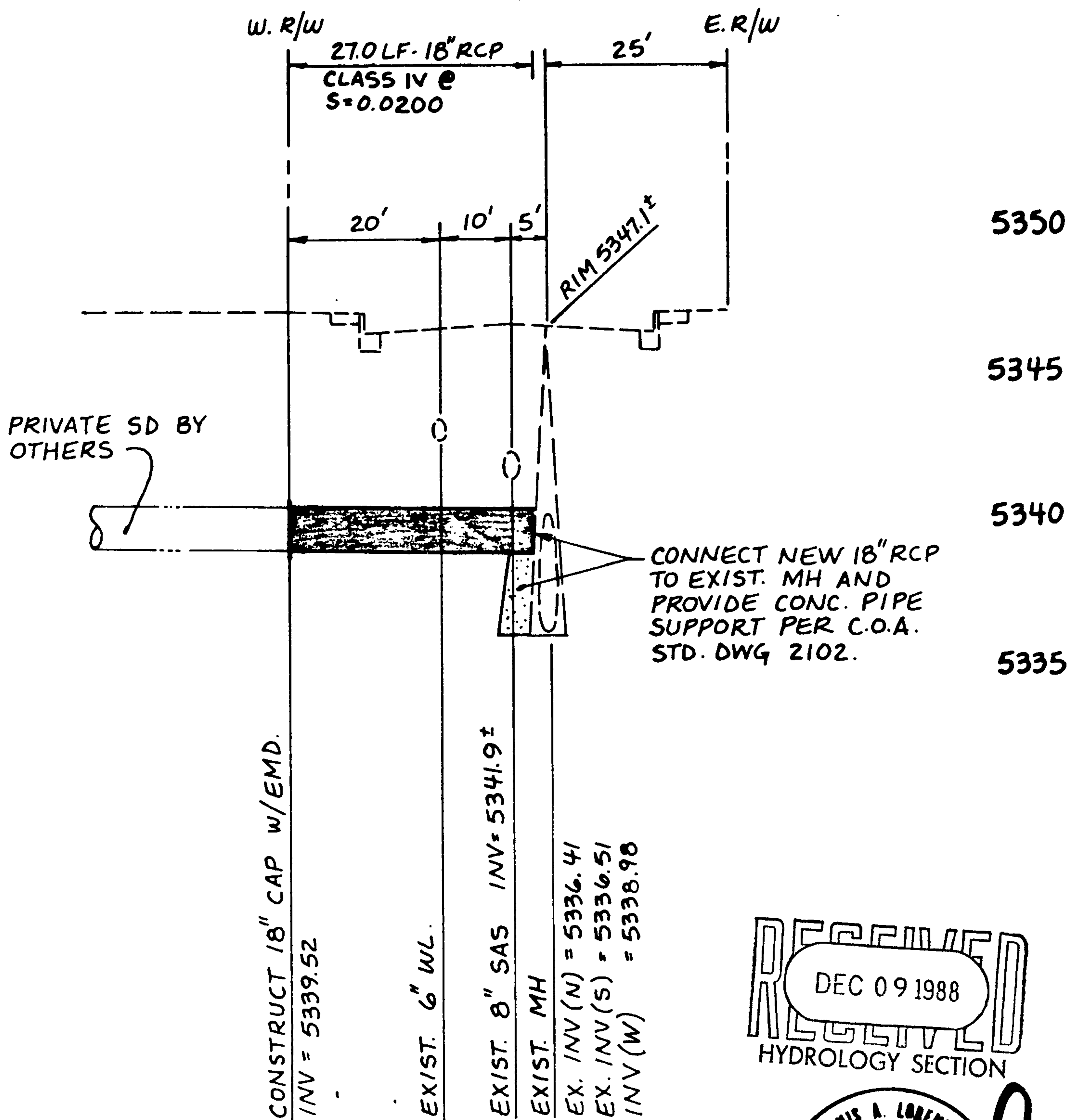
APPROVED FOR CONSTRUCTION

ACE ENGINEER

DATE

## CITY OF ALBUQUERQUE

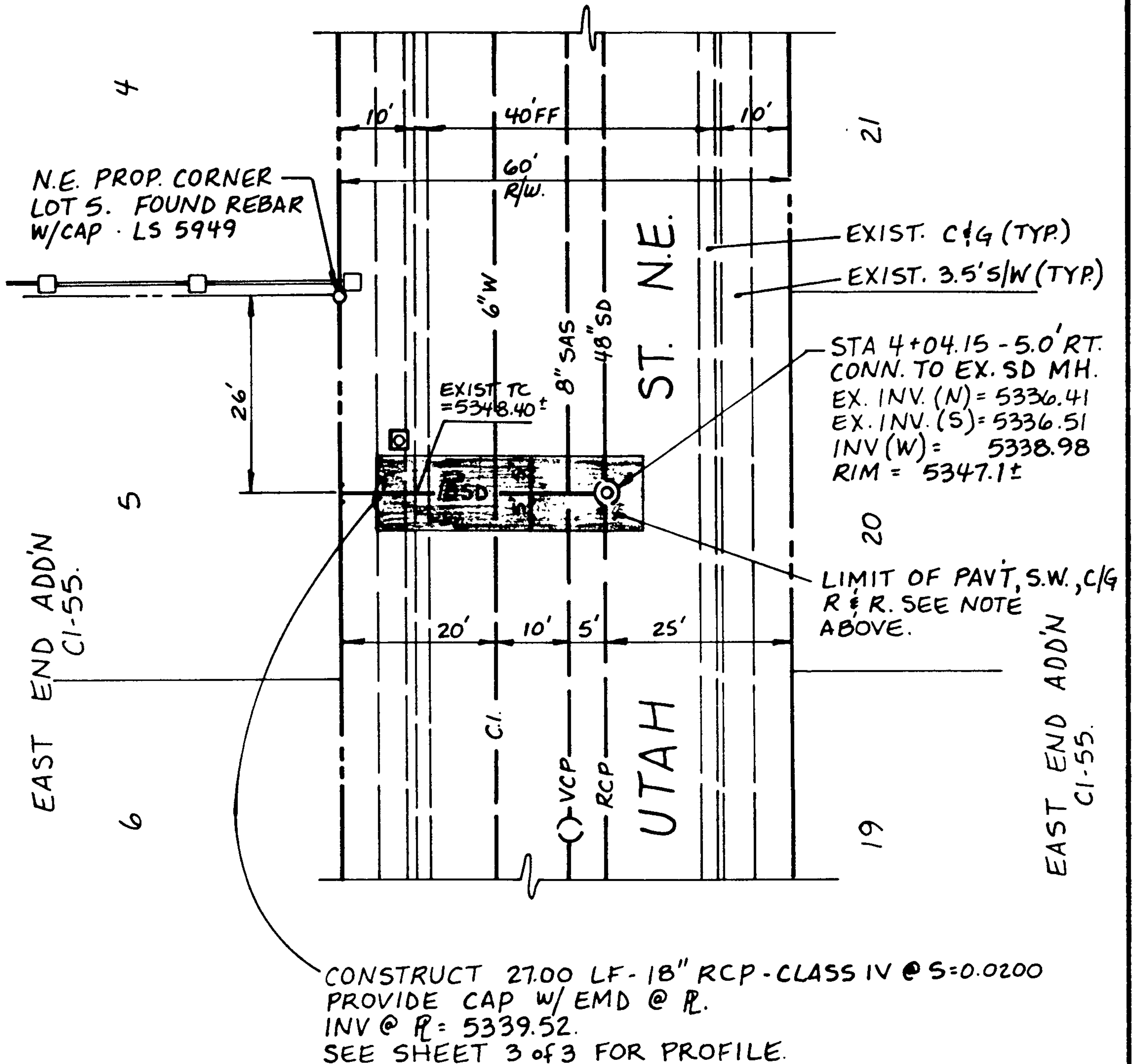
APPROVALS	ENGINEER	DATE	TITLE:
D.R.C. CHAIRPERSON			KEN JOHN'S SUZUKI STORM SEWER STUBOUT
TRANS. DEV.			
UTILITY DEV.	PE:SC	8/12/88	
TRANS. & FIELD DEPT.			
	Ken John	8/12/88	PROJECT NO. 3554
			MAP NO J-19 11/1/88



## CITY OF ALBUQUERQUE



NOTE:  
REMOVAL & REPLACEMENT OF SIDEWALK,  
CURB & GUTTER, AND PAVEMENT SHALL  
BE PER C.O.A. STD DWGS. 2430 & 2465.



SCALE: 1"=20'

NOTE: & LOMAS BLVD = STA 0+00.00 UTAH ST.  
& MARBLE AVE = STA 6+60.15 UTAH ST.

## CITY OF ALBUQUERQUE

APPROVALS	ENGINEER	DATE	TITLE:
D.R.C. CHAIRPERSON			KEN JOHN'S SUZUKI STORM SEWER STUBOUT PLAN
TRANS. DEV.			
UTILITY DEV.			
APPROVED		11.1	2504