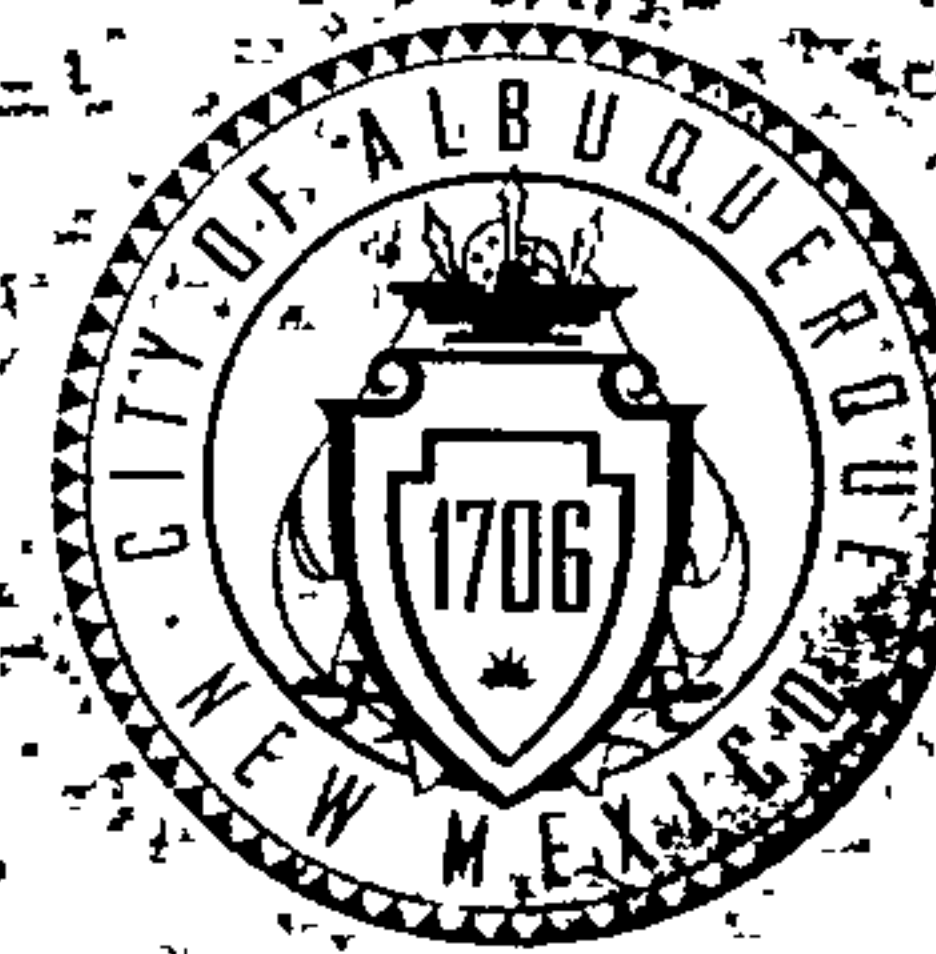


# CITY OF ALBUQUERQUE



January 10, 2013

Van Gilbert, R.A.  
Van H. Gilbert Architect PC  
2428 Baylor Dr. SE  
Albuquerque, NM 87106

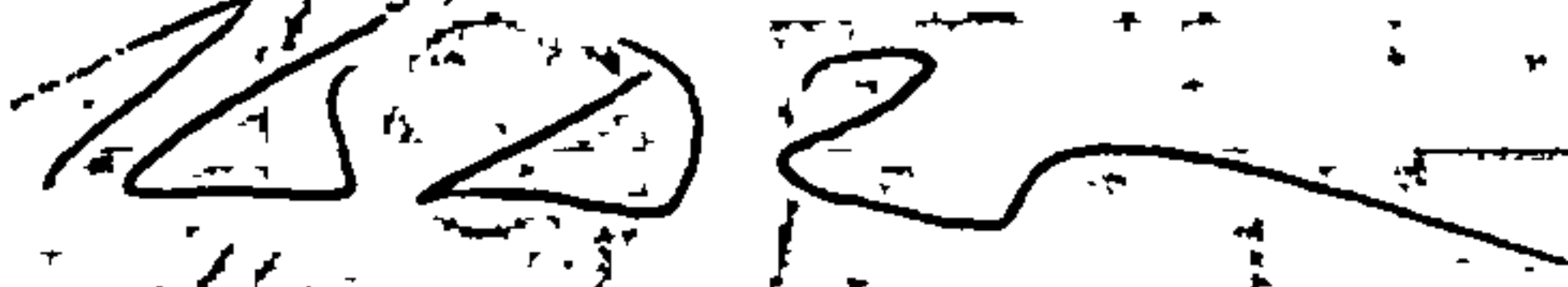
Re: **Garcia Volkswagen, 8201 Lomas Blvd NE**  
**Permanent Certificate of Occupancy - Transportation Development**  
**Architect's Stamp dated 07-05-12 (J19-D003)**  
**Certification dated 01-08-13**

Dear Mr. Gilbert,

Based upon the information provided in your submittal received 01-09-13, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, you can contact me at 924-3991.

Sincerely,

  
Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: CO Clerk  
File

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV 02/2012)

PROJECT TITLE: UPTOWN V.W. ZONE MAP: 519-D003  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: \_\_\_\_\_  
CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_  
EMAIL: \_\_\_\_\_

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: VAN GILBERT CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_  
EMAIL: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

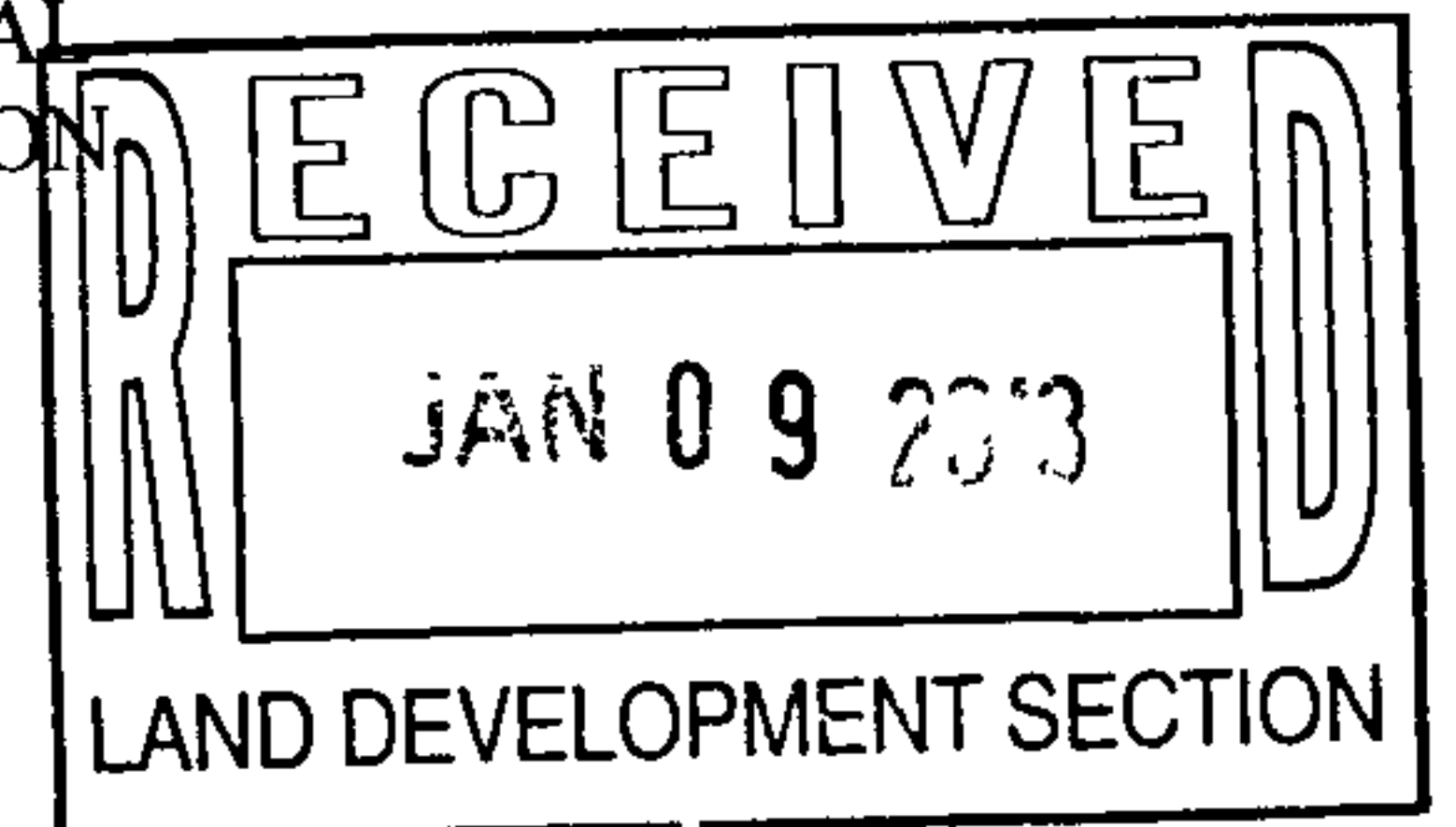
CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

TYPE OF SUBMITTAL:  
\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
\_\_\_\_ DRAINAGE PLAN RESUBMITTAL  
\_\_\_\_ CONCEPTUAL G & D PLAN  
\_\_\_\_ GRADING PLAN  
\_\_\_\_ EROSION CONTROL PLAN  
\_\_\_\_ ENGINEER'S CERT (HYDROLOGY)  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ TRAFFIC CIRCULATION LAYOUT  
X ENGINEER'S CERT (TCL)  
\_\_\_\_ ENGINEER'S CERT (DRB SITE PLAN)  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

CHECK TYPE OF APPROVAL SOUGHT:  
\_\_\_\_ SIA/FINANCIAL GUARANTEE RELEASE  
\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_ S. DEV. PLAN FOR SUB'D APPROVAL  
\_\_\_\_ S. DEV. FOR BLDG. PERMIT APPROVAL  
\_\_\_\_ SECTOR PLAN APPROVAL  
\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_ BUILDING PERMIT APPROVAL  
X CERTIFICATE OF OCCUPANCY (PERM)  
\_\_\_\_ CERTIFICATE OF OCCUPANCY (TEMP)  
\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_ GRADING CERTIFICATION  
\_\_\_\_ OTHER (SPECIFY) SO-19 \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
\_\_\_\_ YES  
\_\_\_\_ NO  
\_\_\_\_ COPY PROVIDED

DATE SUBMITTED: 1-9-13 BY: ROB HELMICK 220-5105



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1 **Conceptual Grading and Drainage Plan** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2 **Drainage Plans** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3 **Drainage Report** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more

# Van H. Gilbert Architect • PC

January 8, 2013

Ms. Kristal Metro, P.E.  
City of Albuquerque  
Planning Department  
Transportation Development Division  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87103

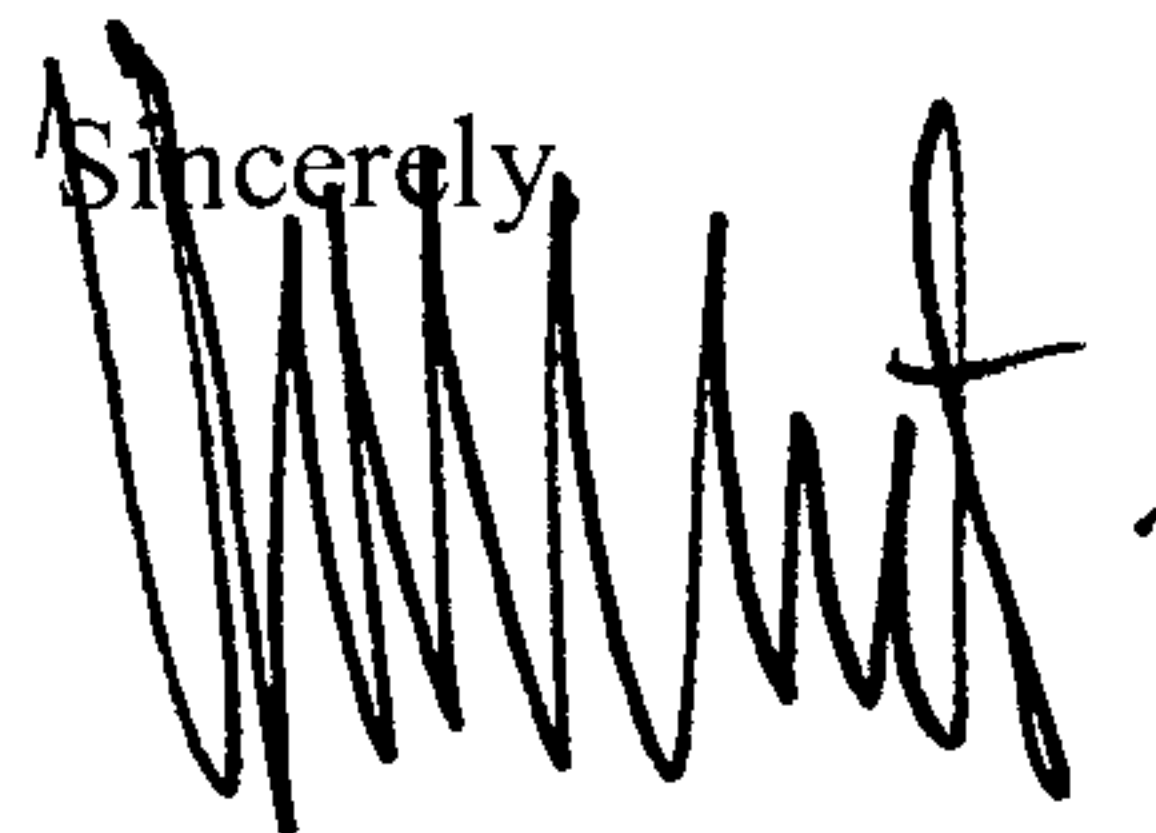
Re: Uptown Volkswagen, 8201 Lomas Blvd NE, Traffic Circulation Layout  
Architect's Stamp dated 07-05-12 (J19-D003)

Dear Ms. Metro:

I, Van H. Gilbert, of the firm Van H. Gilbert Architect PC, Hereby certify that the above referenced Project is in Substantial Compliance with and in accordance with the design intent of the Traffic Circulation Layout approved plan dated 07-05-12.

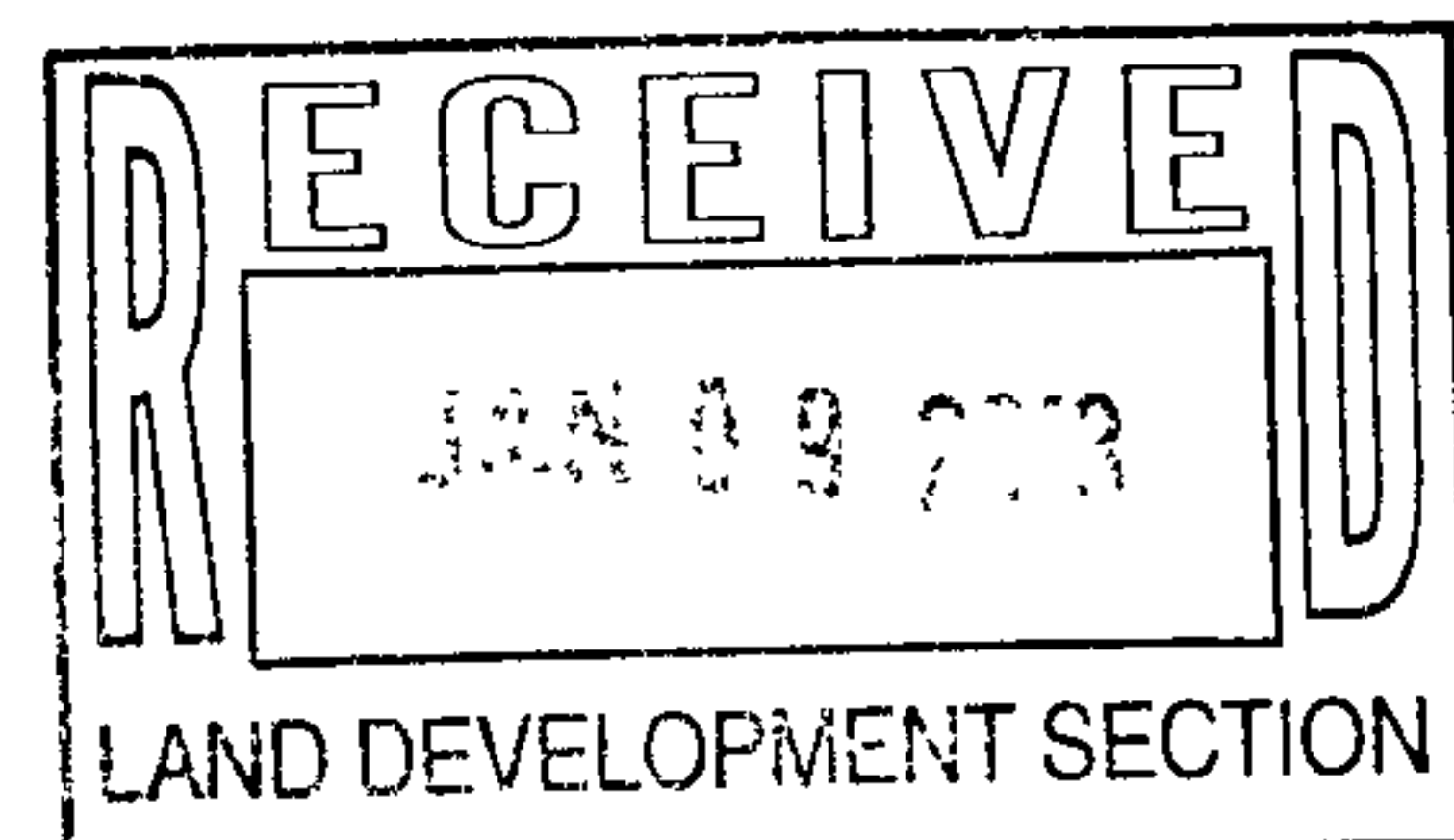
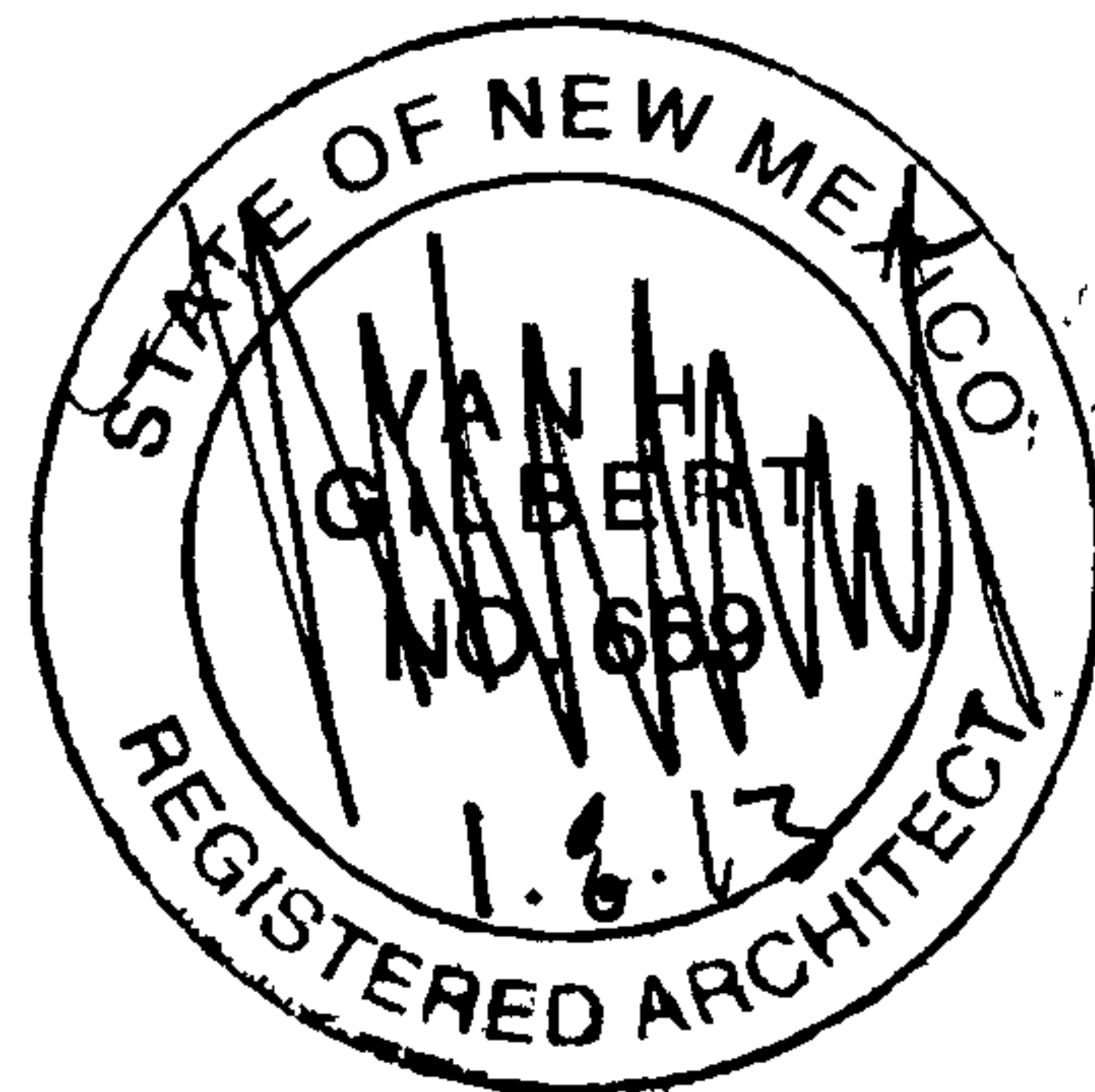
The only remaining item not in substantial compliance is the Owner's temporary sales trailer, which is located on the northeast side of the site. As soon as a Certificate of Occupancy is received, the sales personnel will move into the building and the trailer will be removed.

Should you have any questions or comments, please do not hesitate to call.

Sincerely,  


Van H. Gilbert, FAIA

VHG:aem





# CITY OF ALBUQUERQUE



January 8, 2013

Reza Afaghpour, P.E.  
**SBS Construction and Engineering**  
P.O. Box 10264  
Albuquerque, NM 87184

[aecllc@aol.com](mailto:aecllc@aol.com)

**Re: Garcia's Volkswagen, 8201 Lomas Blvd NE,  
Request for Permanent C.O. –Accepted  
Engineer's Stamp dated: 06-26-12, (J19/D003)  
Certification dated: 01-07-12**

Dear Mr. Afaghpour,

Based upon the information provided in the Certification received 01-08-13, the above referenced Certification is acceptable for a release of a Permanent Certificate of Occupancy by Hydrology.

Hydrology is asking for an electronic copy, in .pdf format, of this certification for our records. This certification can be e-mailed to me at: [ccherne@cabq.gov](mailto:ccherne@cabq.gov) or [tsims@cabq.gov](mailto:tsims@cabq.gov).

If you have any questions, you can contact me at 924-3986.

Sincerely,

Curtis A. Cherne, P.E.  
Principal Engineer—Hydrology Section  
Development and Building Services

C: CO Clerk—Katrina Sigala  
File  
Addressee via e-mail

# DRAINAGE INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: GARCIA VOLKSWAGEN ZONE ATLAS/DRG. FILE #: J19/D003  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 17-A-1, BLOCK 23, EAST END ADDITION  
CITY ADDRESS: 8201 LOMAS BLVD., NE

ENGINEERING FIRM: SBS CONSTRUCTION AND ENG., LLC CONTACT: Shawn Biazar  
ADDRESS: PO BOX 10264 PHONE: (505) 804-5013, AECLLC@AOL.COM  
CITY, STATE: Albuquerque, NM ZIP CODE: 87184

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

\_\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_\_ DRAINAGE PLAN 1ST SUBMITTAL, REQUIRES TCL OR EQUAL  
\_\_\_\_\_ CONCEPTUAL GRADING & DRAINAGE PLAN  
\_\_\_\_\_ GRADING PLAN  
\_\_\_\_\_ EROSION CONTROL PLAN  
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)  
\_\_\_\_\_ CLOMR / LOMR  
\_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_\_ ENGINEER'S CERTIFICATION (TCL)  
\_\_\_\_\_ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)  
\_\_\_\_\_ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

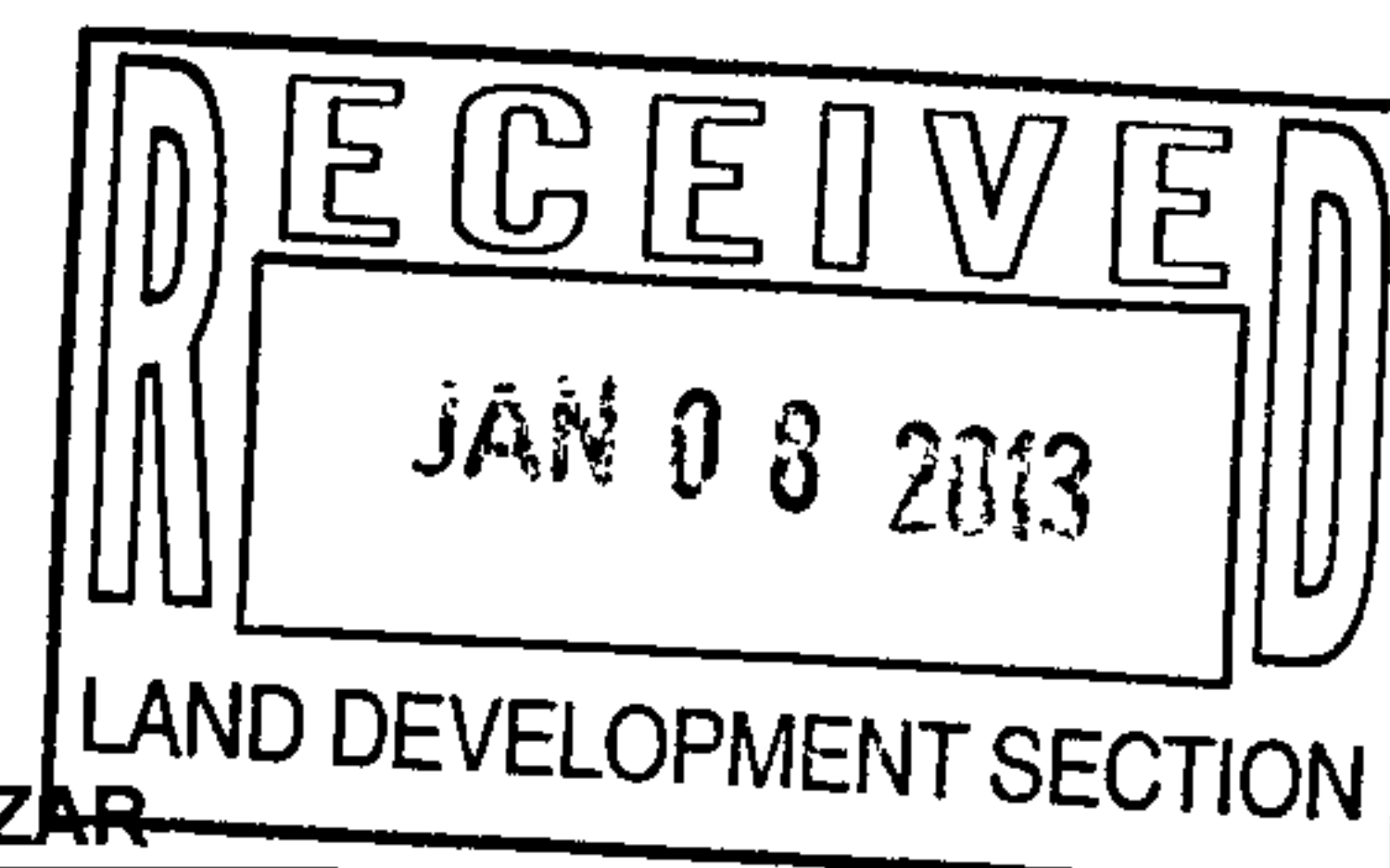
\_\_\_\_\_ SIA / FINANCIAL GUARANTEE RELEASE  
\_\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_\_ S. DEV. PLAN FOR SUB'D. APPROVAL  
\_\_\_\_\_ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_\_ SECTOR PLAN APPROVAL  
\_\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_\_ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (PERM.)  
\_\_\_\_\_ CERTIFICATE OF OCCUPANCY (TEMP.)  
\_\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_\_ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

\_\_\_\_\_ YES  
☒ NO  
\_\_\_\_\_ COPY PROVIDED

DATE SUBMITTED: 1/8/2013

BY: SHAWN BIAZAR



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5)
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more

# CITY OF ALBUQUERQUE



June 29, 2012

Fred C. Arfman, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St NE  
Albuquerque, NM 87108

**Re: GARCIA VOLKSWAGEN  
Grading and Drainage Plan  
Engineer's Stamp Date 6/26/2012 (J19/D003)**

Dear Mr. Arfman,

Based upon the information provided in your submittal received 6/27/2012, the grading and Drainage Plan is approved for Building Permit.

PO Box 1293 Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.


Albuquerque Albuquerque's MS4 Permit became effective March 1<sup>st</sup>, 2012. Grading and Drainage Plans and Drainage Reports will have to comply with the requirements of the new permit (<http://www.cabq.gov/planning/landcoord/Hydrology.html>).

NM 87103

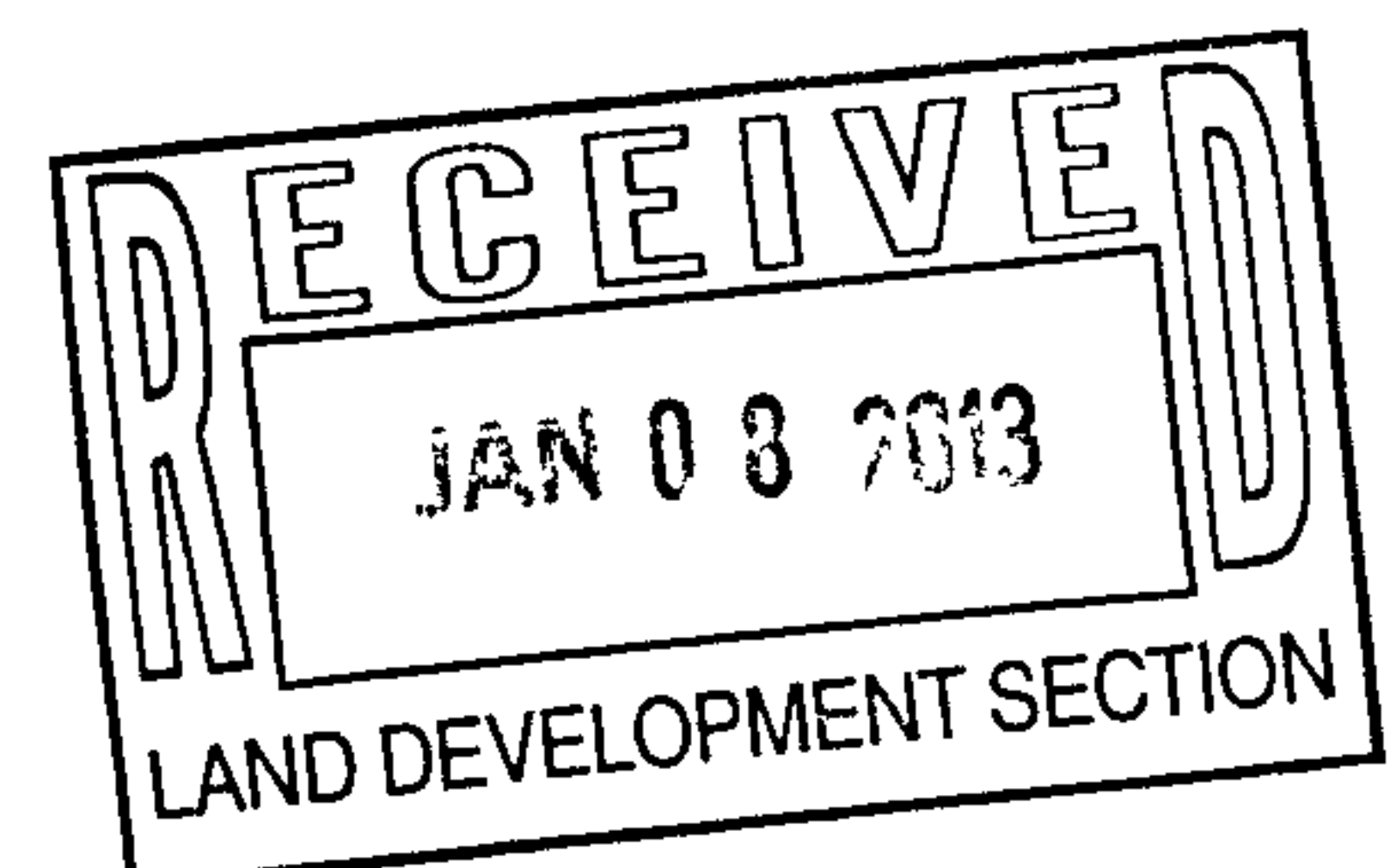
If you have any questions, you can contact me at 924-3695.

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

  
Shahab Biazar, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: e-mail



# CITY OF ALBUQUERQUE



August 10, 2012

Van Gilbert, R.A.  
Van H. Gilbert Architect PC  
2428 Baylor Dr. SE  
Albuquerque, NM 87106

Re: Uptown Volkswagen, 8201 Lomas Blvd NE, Traffic Circulation Layout  
Architect's Stamp dated 07-05-12 (J19-D003)

Dear Mr. Gilbert,

The TCL submittal received 07-09-12 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: File

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV 02/2012)

PROJECT TITLE: UPTOWN VOLKSWAGEN ZONE MAP: 5-19-1000  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 17-A-1 BLOCK 23 EAST END ADDITION  
CITY ADDRESS: 8201 LOMAS BLVD ABQ NM

ENGINEERING FIRM: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_  
EMAIL: \_\_\_\_\_

OWNER: GARCIA AUTOMOTIVE GROUP CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: Van H. Gilbert Architect PC CONTACT: STANLEY SELAZAN  
ADDRESS: 2425 BALCON DA SE PHONE: 247-9955  
CITY, STATE: ABQ NM ZIP CODE: 87106  
EMAIL: SSALAZAN@VHGARCHITECT.COM

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

TYPE OF SUBMITTAL:  
☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER (SPECIFY) \_\_\_\_\_

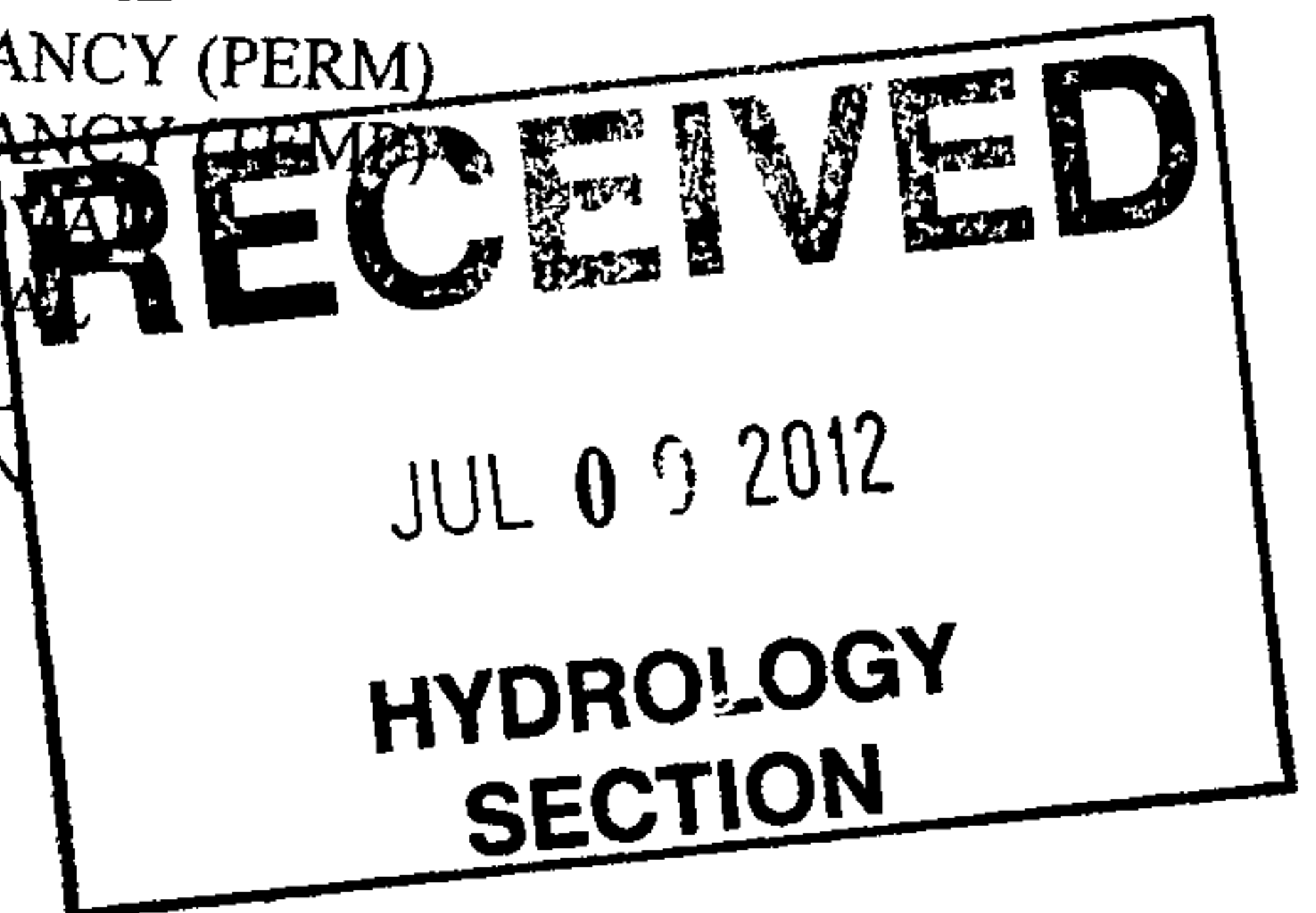
CHECK TYPE OF APPROVAL SOUGHT:  
☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ GRADING CERTIFICATION  
☐ OTHER (SPECIFY) SO-19 \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
☐ YES  
☒ NO  
☐ COPY PROVIDED

DATE SUBMITTED: 7-9-2012 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following.

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





# CITY OF ALBUQUERQUE



June 29, 2012

Fred C. Arfman, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St NE  
Albuquerque, NM 87108

**Re: GARCIA VOLKSWAGEN  
Grading and Drainage Plan  
Engineer's Stamp Date 6/26/2012 (J19/D003)**

Dear Mr. Arfman,

Based upon the information provided in your submittal received 6/27/2012, the grading and Drainage Plan is approved for Building Permit.

PO Box 1293

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

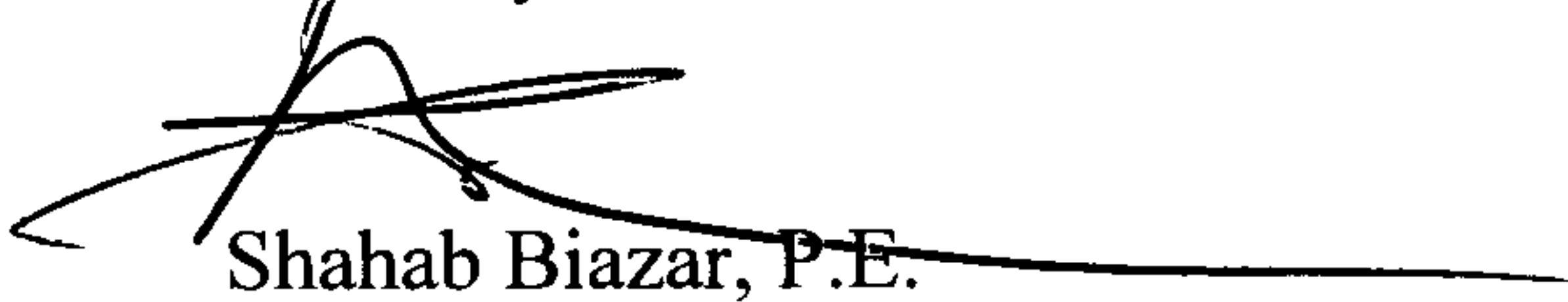
Albuquerque's MS4 Permit became effective March 1<sup>st</sup>, 2012. Grading and Drainage Plans and Drainage Reports will have to comply with the requirements of the new permit (<http://www.cabq.gov/planning/landcoord/Hydrology.html>).

NM 87103

If you have any questions, you can contact me at 924-3695.

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

  
Shahab Biazar, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: e-mail

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(Rev. 12/05)

PROJECT TITLE: Garcia Volkswagon - Building Addition ZONE MAP/DRG.FILE# J-19 / D003  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Lot 17A1, Block 23, East End Addition, Albuquerque, NM  
CITY ADDRESS: 8201 Lomas Blvd. NE

ENGINEERING FIRM: ISAACSON AND ARFMAN CONTACT: Fred Arfman  
ADDRESS: 128 MONROE N.E. PHONE: 268-8828  
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87108

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: Van H. Gilbert Architects CONTACT: Michael Borowski, AIA  
ADDRESS: 2428 Baylor Dr. SE PHONE: 247-9955  
CITY, STATE: Albuquerque, NM ZIP CODE: 87106

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

**TYPE OF SUBMITTAL:**

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☒ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER/ARCHITECT CERT (TCL)  
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)  
☐ ENGINEER/ARCHITECT CERT (AA)  
☐ OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) \_\_\_\_\_

**WAS A PRE-DESIGN CONFERENCE ATTENDED:**

- ☐ YES  
☐ NO  
☐ COPY PROVIDED

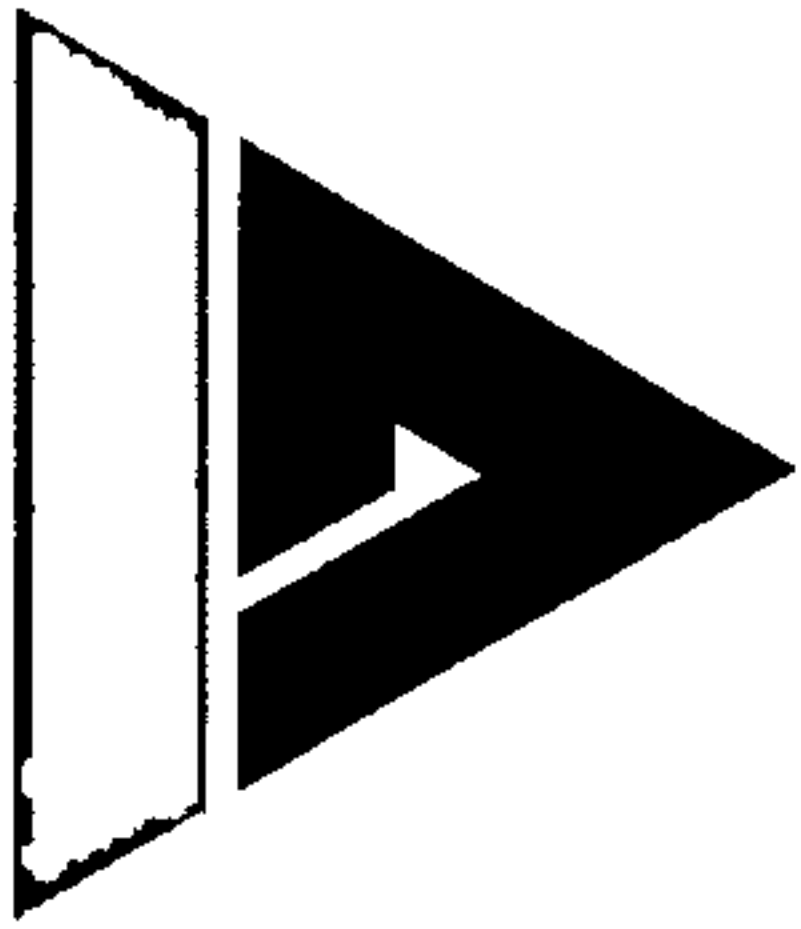
DEC 27  
JUN 27 2012

SUBMITTED BY: Fred Arfman  
Isaacson & Arfman, P.A.

DATE: June 26, 2012

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



# Isaacson & Arfman, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE (Ret.) & LS (Ret.) \* Fred C. Arfman, PE \* Åsa Nilsson-Weber, PE*

Shahab Biazar, P.E.  
Senior Engineer, Planning Department  
City of Albuquerque  
Development and Building Services

**RE: GARCIA VOLKSWAGEN (J19/D003)**


Dear Mr. Biazar,

Attached with this letter is a copy of the revised Drainage and Grading submittal for your review. Revisions include general adjustments based on site plan changes and clarifications. The following bulleted items are in response to your review comments dated June 21, 2012 on a point-by-point basis:

1. Based on the construction documents for the existing car wash, the car wash area drains to the sanitary sewer system. See attached Exhibit A for the SAS design from the original plan set.
2. All runoff from the surrounding car wash site is to be captured within the site storm drain system. The current private storm drain system collects on-site stormwater for routing to the public storm drain system in Utah Street (see Exhibit B for original plan set Grading & Drainage Plan). This system is to be expanded with the construction of the proposed trench drain on the east side and the proposed inlets on the south side to reduce birdbaths and improve positive.
3. Note and detail added to sheet CG-501 regarding tack welding at existing sidewalk culvert plates. The covers currently extend from the back of curb to past the property line to the curb openings.
4. Grade elevations on each side of east retaining wall are provided. This new retaining wall ties to an existing retaining wall (note added to plan) which continues to the east. Structural design including footing depths is provided on sheet S202 (by others).
5. The limits of the proposed stemwall have been clarified. Building sections on sheet S-201 detail the foundation footing and stemwall elevations. The area directly east of the building will be concrete walk with curb and gutter to carry stormwater. Detail provided on architectural AS-101.
6. Ramp elevations are provided on the grading plan. The structural design of this ramp is covered elsewhere in the plan set including stemwall, retaining wall, top of footing, etc.
7. The main entrance to the building has been noted on the plan 'entrance'.
8. The 4" perforated pipe on the south side of the building is part of the architectural rock basin running the full length of the building. This area is detailed on the architectural building sections and is now referenced on our plans.

Please don't hesitate to contact me at 268-8828 with any questions.

Sincerely,  
ISAACSON & ARFMAN P.A.

  
Frederick C. Arfman, PE



# EXHIBIT A

Sanitary sewer connection excerpt from original car wash mechanical plan set dated 08-23-95.

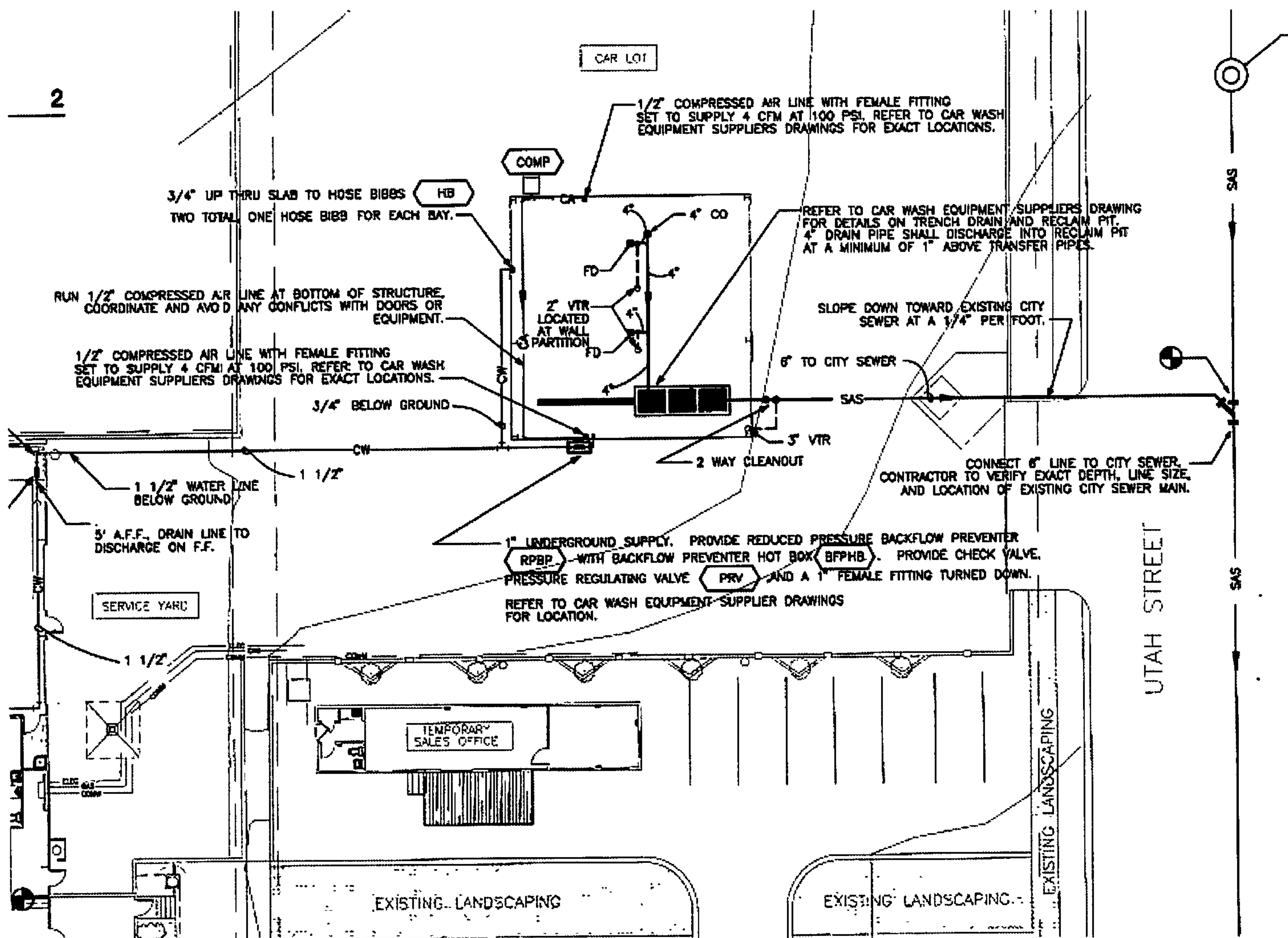
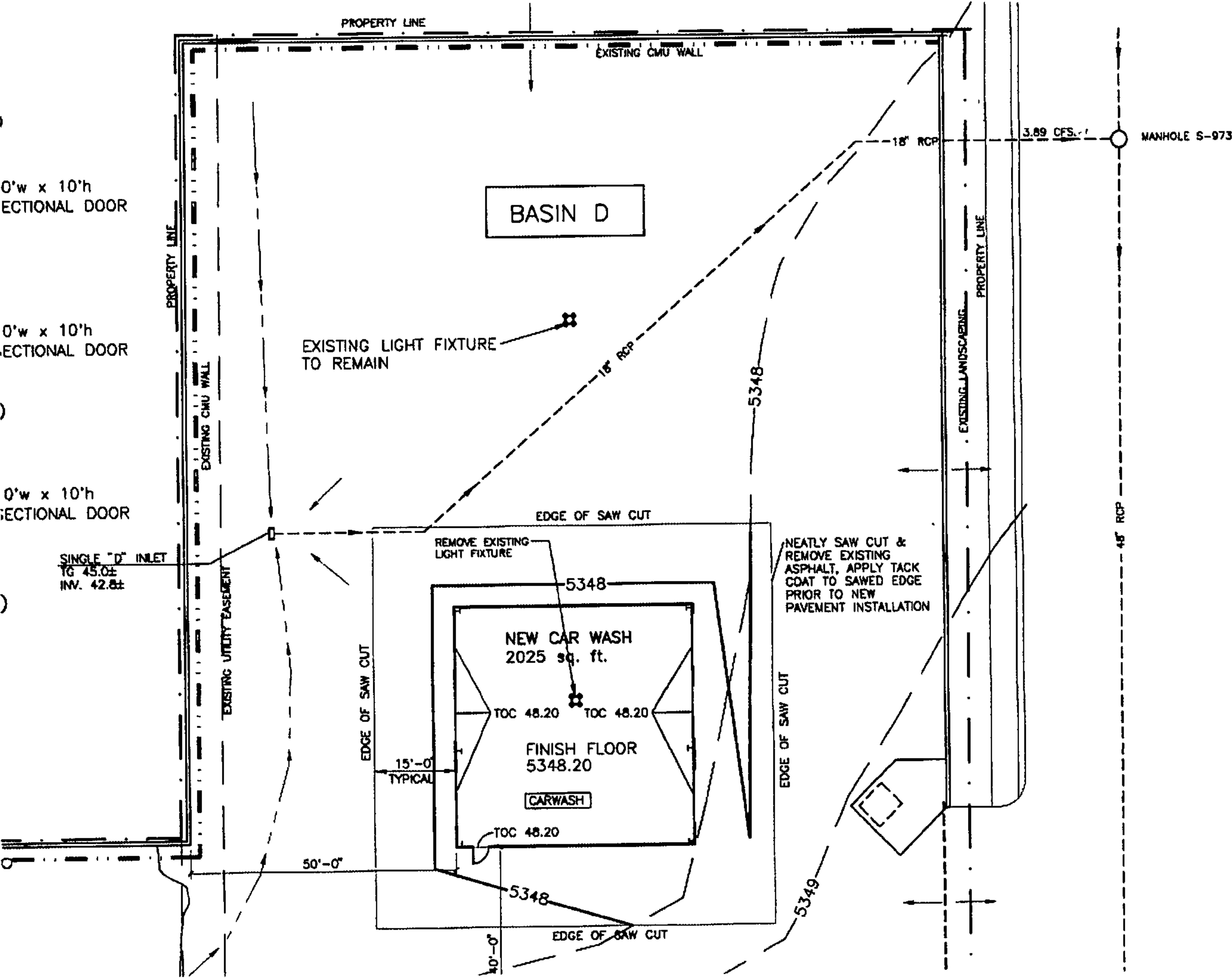


EXHIBIT B

Grading and Drainage Plan excerpt from original car wash plan set dated 08-23-95.



# CITY OF ALBUQUERQUE



June 21, 2012

Fred C. Arfman, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St NE  
Albuquerque, NM 87108

**Re: GARCIA VOLKSWAGEN  
Grading and Drainage Plan  
Engineer's Stamp Date 6/13/2012 (J19/D003)**

Dear Mr. Arfman,

Based upon the information provided in your submittal received 6/14/2012, the following comments have to be addressed prior to an approval for Building Permits:

- The runoff from the existing Car Wash should drain to the sanitary sewer system. Please coordinate this connection with ABCWUA.
- Other runoff should be diverted away from the Car Wash and into the storm drain system.
- Please include a note that the existing sidewalk culvert plates to be tack welded at the bolts. Do the plates extend from the back of the curb to the property line?
- Note Number 7 calls out for a retaining wall on the east side of the building. Please provide top of footing and top of wall elevations. There is a 3.6' grade difference at the north end of this wall. Will the wall continue to the east?
- Clearly show the limits of the proposed stem wall on the east side of the building. Are there proposed curbing on the east side of the building.
- A ramp is being proposed on the west side of the building. Please show the limits of the stem wall and retaining wall (including top of footing and top of retaining wall) on both sides of the ramp.
- Show the location of the main entrance on the plan.
- What is the purpose of the 4" perforated pipe on the south side of the building?

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: e-mail



**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(Rev. 12/05)

PROJECT TITLE: Garcia Volkswagon - Building Addition ZONE MAP/DRG.FILE# J-19 1003  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Lot 17A1, Block 23, East End Addition, Albuquerque, NM  
CITY ADDRESS: 8201 Lomas Blvd. NE

ENGINEERING FIRM: ISAACSON AND ARFMAN  
ADDRESS: 128 MONROE N.E.  
CITY, STATE: ALBUQUERQUE, NM

CONTACT: Fred Arfman  
PHONE: 268-8828  
ZIP CODE: 87108

OWNER: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

ARCHITECT: Van H. Gilbert Architects  
ADDRESS: 2428 Baylor Dr. SE  
CITY, STATE: Albuquerque, NM

CONTACT: Michael Borowski, AIA  
PHONE: 247-9955  
ZIP CODE: 87106

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

**TYPE OF SUBMITTAL:**

- ☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER/ARCHITECT CERT (TCL)  
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)  
☐ ENGINEER/ARCHITECT CERT (AA)  
☐ OTHER (SPECIFY) \_\_\_\_\_

**WAS A PRE-DESIGN CONFERENCE ATTENDED:**

- ☐ YES  
☐ NO  
☐ COPY PROVIDED

SUBMITTED BY: Fred Arfman  
Isaacson & Arfman, P.A.

**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) \_\_\_\_\_

JUN 14 2012

**HYDROLOGY  
SECTION**

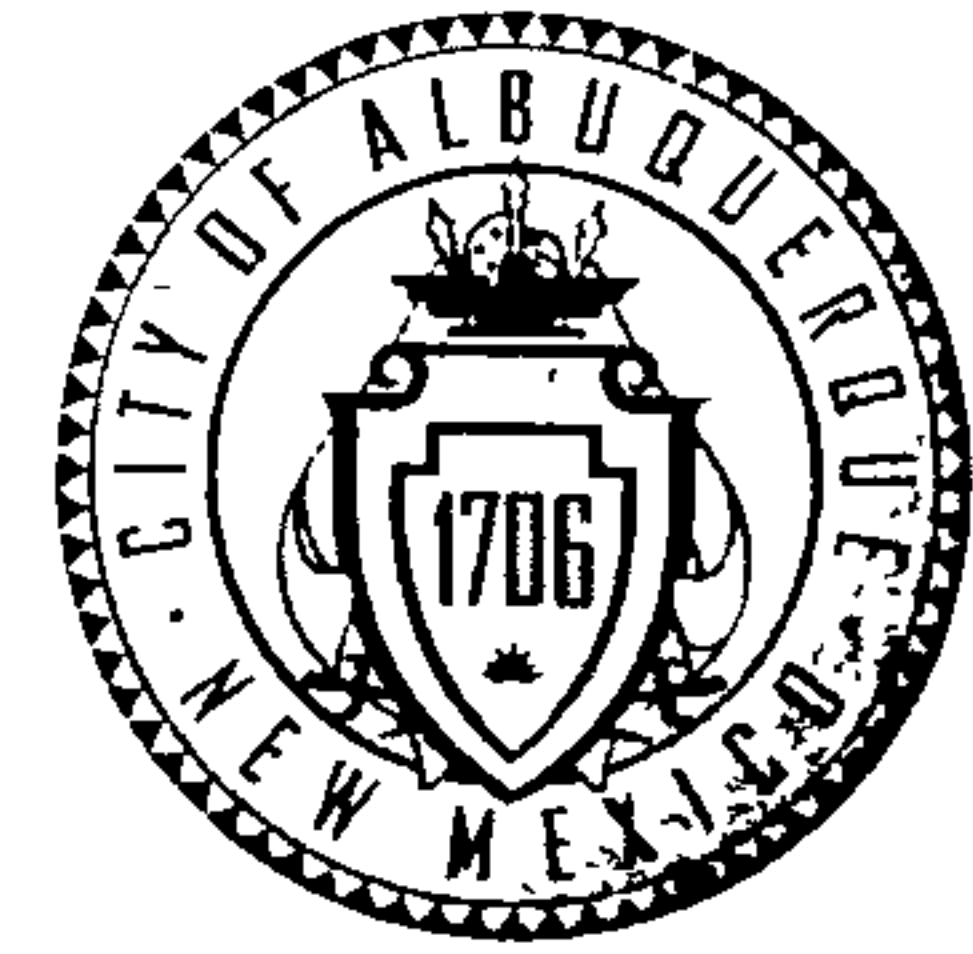
Paid \$50.00

DATE: June 13, 2012

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

# CITY OF ALBUQUERQUE



June 28, 2012

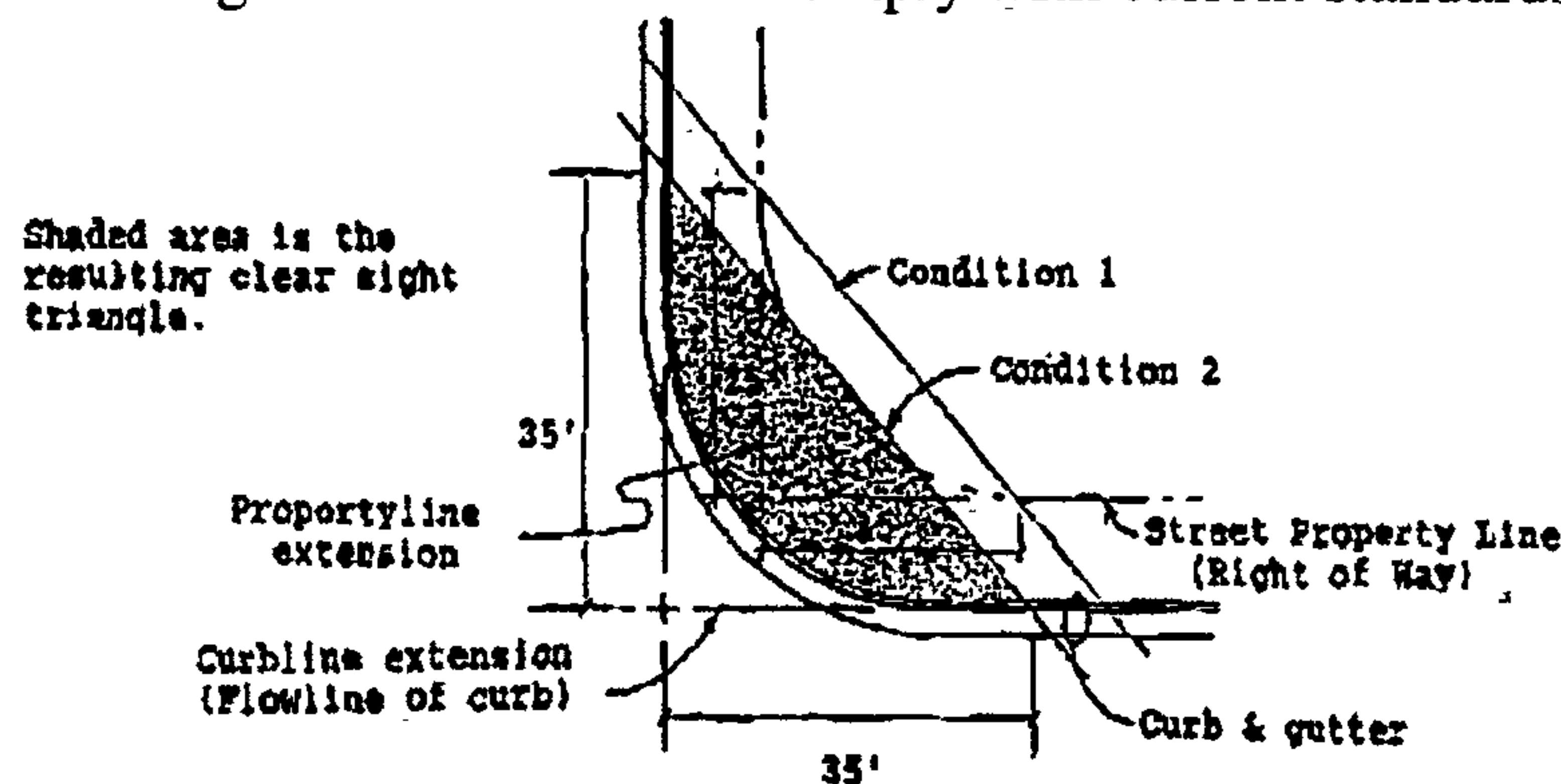
Van H. Gilbert, R.A.  
VHGA  
2428 Baylor Dr. SE  
Albuquerque, NM 87106

**Re: Uptown Volkswagen, 8201 Lomas Blvd. NE, Traffic Circulation Layout  
Architect's Stamp dated 06-16-12 (J-19/D003)**

Dear Mr. Gilbert,

Based upon the information provided in your submittal received 06-20-12, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List radii for all curves shown; for passenger vehicles, the minimum end island radius is 15 feet.
2. Please list the width and length for all parking spaces.
3. The proposed plan states that 37 parking stalls are provided; however, only 26 customer parking stalls can be identified. Please clarify.
4. Define width of the existing sidewalk.
5. Clearly show all ramps and provide details.
6. List the width of all drivepads.
7. The vehicle display located at the east and west corners of site may interfere with the sight distance of the intersection. Please provide a sight distance exhibit (see the *Development Process Manual*, Chapter 23, Part B, Section 5.a). All existing intersections must comply with current standards.



8. Provide a copy of solid waste approval.
9. Clearly define the ADA accessible pedestrian pathway from the ADA parking stalls. Define all slopes and provide details.

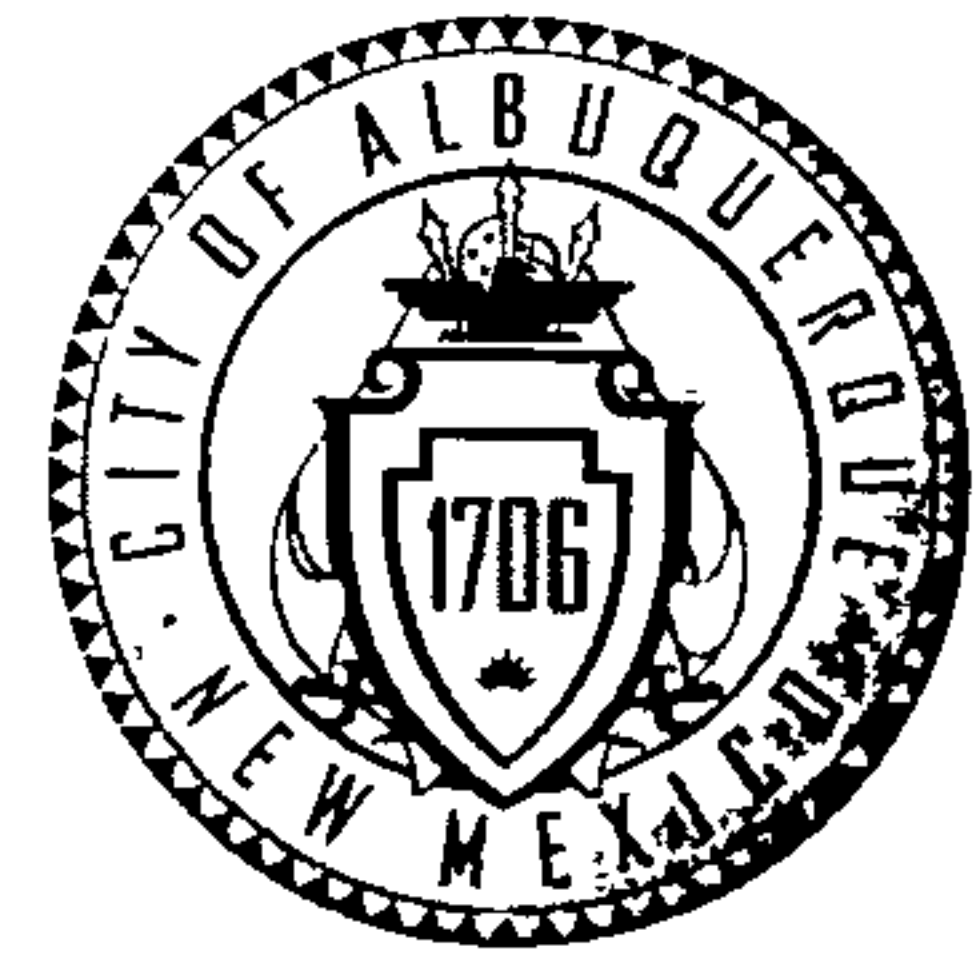
PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

# CITY OF ALBUQUERQUE



10. The entire site must be shown on the plan.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: File

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV 02/2012)

PROJECT TITLE: UPTOWN VOLKSWAGEN ZONE MAP: J-19 / D003  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 17-A-1, BLOCK 23 EAST END ADDITION  
CITY ADDRESS: 8201 LOMAS BLVD NE 87110

ENGINEERING FIRM: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_  
EMAIL: \_\_\_\_\_

OWNER: GARCIA AUTOMOTIVE GROUP  
8301 LOMAS BLVD CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: ALBUQ. NM ZIP CODE: 87110

ARCHITECT: VAN H. GILBERT ARCHITECT PC CONTACT: STANLEY J. AZAN  
ADDRESS: 2428 BAYLOR DR. SE PHONE: 247-9955  
CITY, STATE: ALBUQ. NM ZIP CODE: 87106  
EMAIL: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: HELMICK ENTERPRISES CONTACT: ROB HELMICK  
ADDRESS: P.O. Box 91927 PHONE: 220-5105  
CITY, STATE: ALBUQ. NM ZIP CODE: 87199

**TYPE OF SUBMITTAL:**

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>ST</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ GRADING CERTIFICATION  
☐ OTHER (SPECIFY) SO-19 \_\_\_\_\_

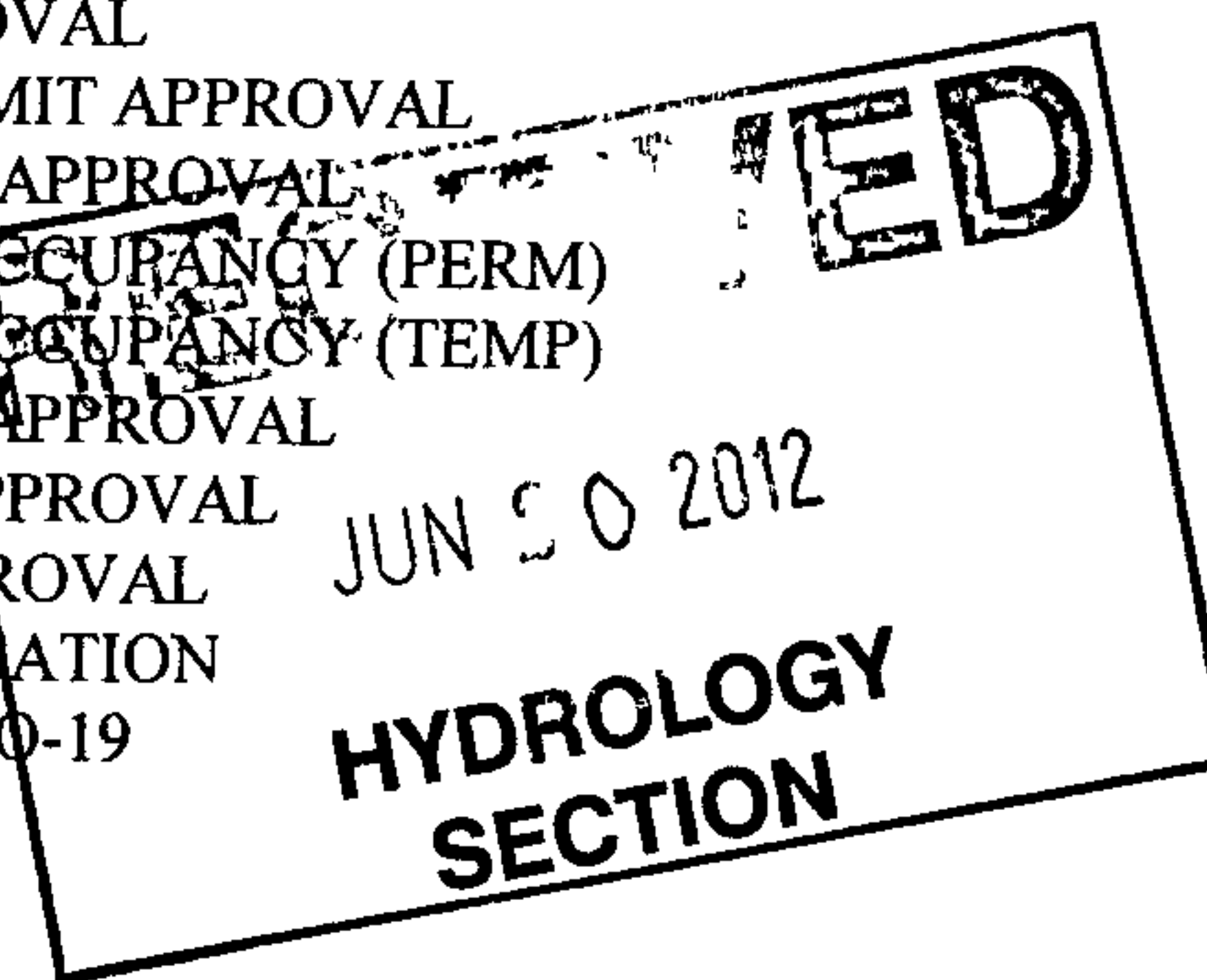
WAS A PRE-DESIGN CONFERENCE ATTENDED:

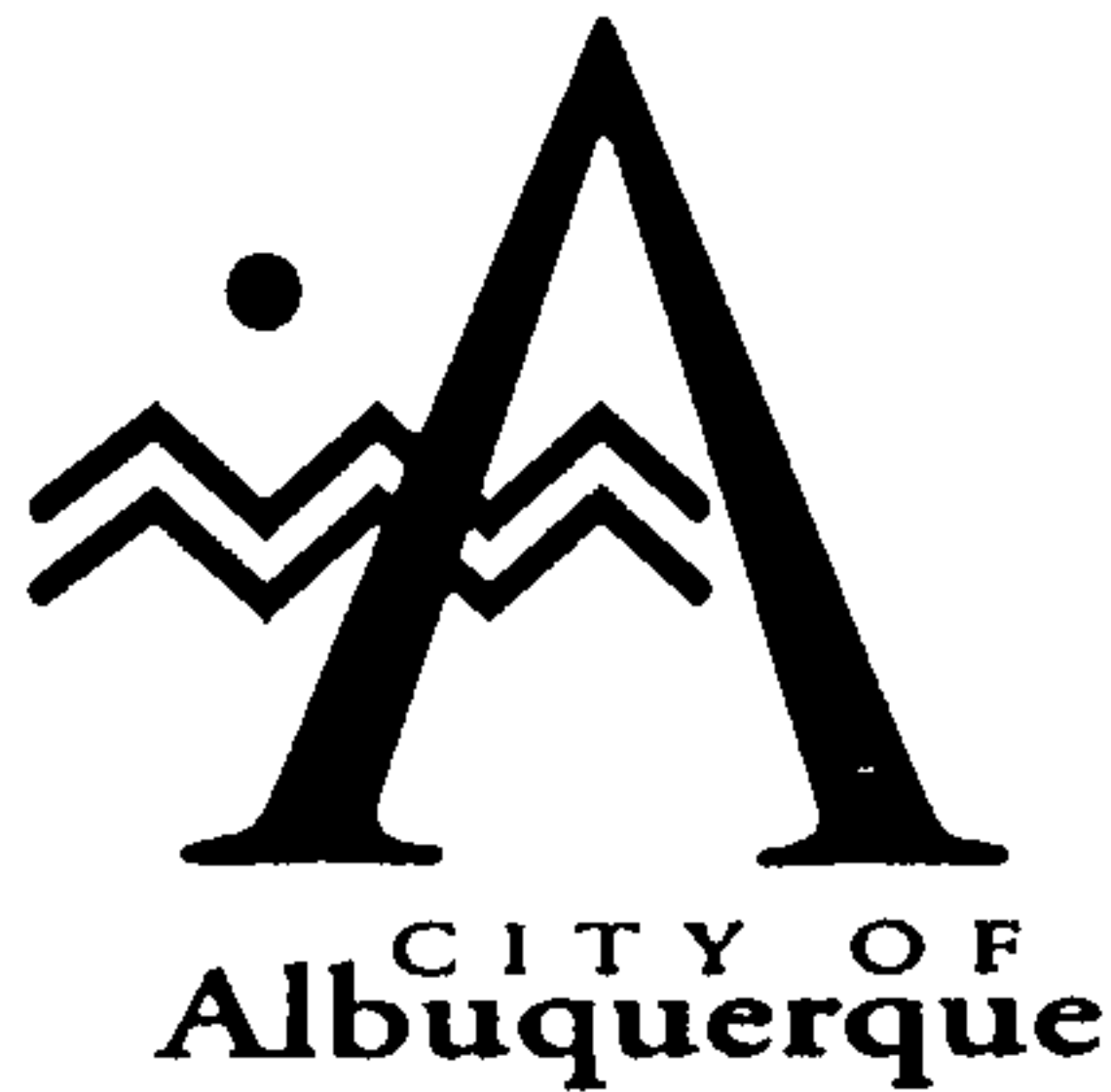
- ☐ YES  
☒ NO  
☐ COPY PROVIDED

DATE SUBMITTED: 6-20-2012 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





Martin J. Chávez, Mayor

November 12, 1997

John MacKenzie  
D. Mark Goodwin & Associates  
P.O. Box 90606  
Albuquerque, New Mexico 87199

RE: ENGINEER CERTIFICATION FOR GARCIA HONDA (J13-D3) CERTIFICATION  
STATEMENT DATED 10/16/97


Dear Mr. MacKenzie:

Based on the information provided on your October 17, 1997 submittal, Engineer Certification for the above referenced site is acceptable.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia  
File

Sincerely

  
Bernie J. Montoya CE  
Associate Engineer



# DRAINAGE INFORMATION SHEET

PROJECT TITLE: Garcia Honda Grading & Drainage ZONE ATLAS/DRNG, FILE#: J-19 -03  
 DRB#: \_\_\_\_\_ EPC# \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_  
 LEGAL DESCRIPTION: 17-A-1, 17-A2, Block 23 East End Addition  
 CITY ADDRESS: 8201 Lomas Blvd NE

ENGINEERING FIRM:	Mark Goodwin & Associates, PA	CONTACT:	Roger Martinez, Jr.
ADDRESS:	P.O. Box 90606 Albuquerque, NM 87199	PHONE:	(505) 828-2200
OWNER:	Garcia Honda / Infiniti	CONTACT:	Ken Duck
ADDRESS:	8201 Lomas Blvd NE Albuquerque, NM 87102	PHONE:	(505) 247-1529
ARCHITECT:	SLNB, Inc.	CONTACT:	Ken Duck
ADDRESS:	1620 Central Ave. SE Albuquerque, NM 87106	PHONE:	(505) 247-1529
SURVEYOR:	Albuquerque Surveying Co. Inc.	CONTACT:	V.J.
ADDRESS:	2119 Menaul Blvd NE Albuquerque, NM 87107	PHONE:	(505) 884-2306
CONTACTOR:	_____	CONTACT:	_____
ADDRESS:	_____	PHONE:	_____

**TYPE OF SUBMITTAL:**

☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL  
☒ ENGINEER'S CERTIFICATION  
☐ OTHER

**PRE-DESIGN MEETING:**

☐ YES  
☒ NO  
☐ COPY PROVIDED

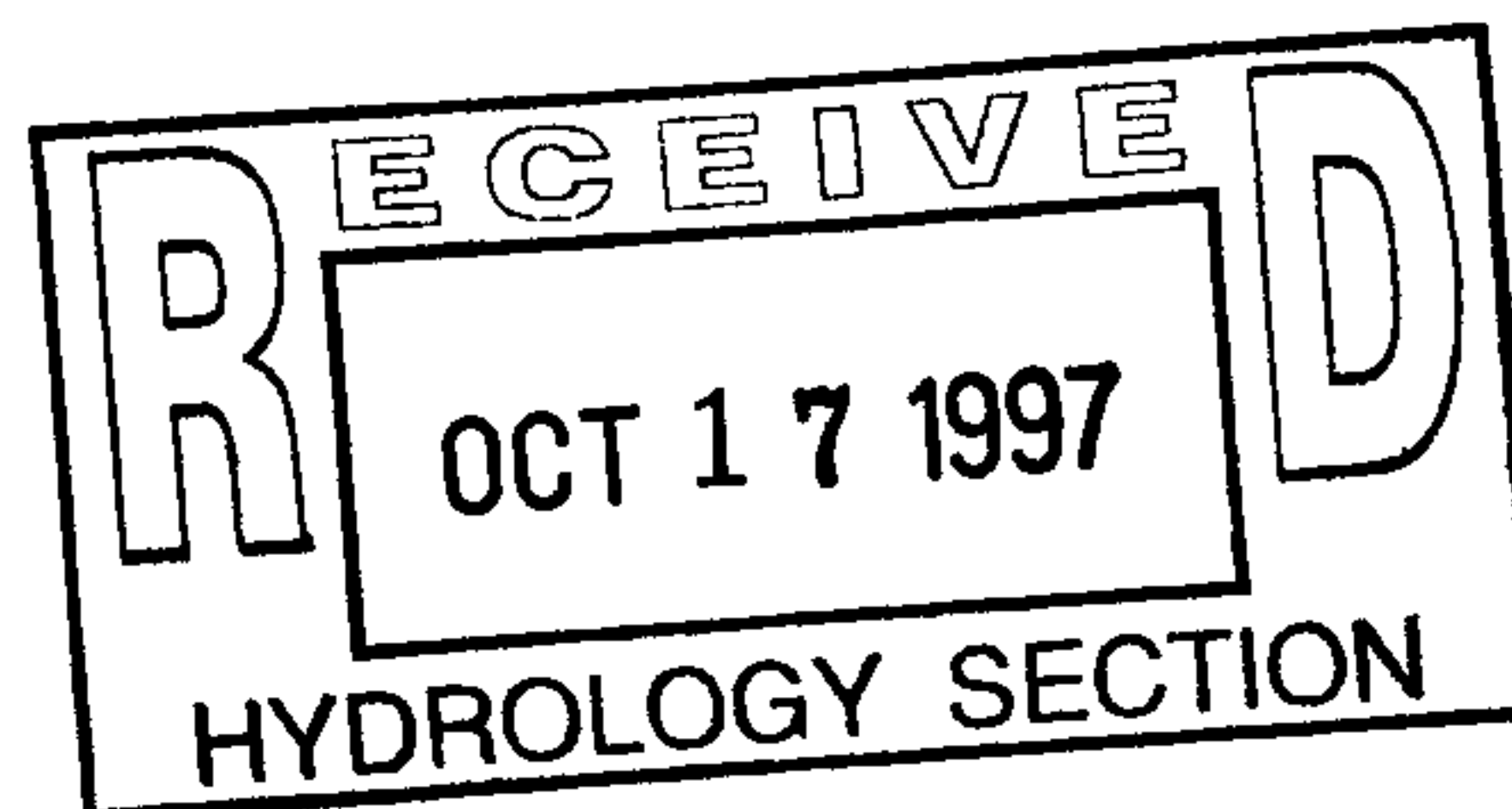
**CHECK TYPE OF APPROVAL SOUGHT:**

☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATION OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS  
☐ OTHER

DATE SUBMITTED: 17 Oct 97

BY: \_\_\_\_\_

Roger Martinez, Jr.







CITY OF  
Albuquerque  
Public Works Department  
July 2, 1997

Martin J. Chávez, Mayor

Robert E. Gurulé, Director

Roger Martinez  
Mark Goodwin & Assoc.  
P.O. Box 90606  
Albuquerque, NM 87199

**RE: GARCIA HONDA (J19-D3). GRADING PLAN SUBMITTAL FOR BUILDING PERMIT  
APPROVAL. ENGINEER'S STAMP DATED JUNE 24, 1997.**


Dear Mr. Martinez:

Based on the information provided on your June 25, 1997 submittal, the  
above referenced project is approved for Building Permit.

An Engineer's Certification will be required prior to Certificate of  
Occupancy approval.

If I can be of further assistance, please feel free to contact me at  
924-3984.

Sincerely,



Lisa Ann Manwill, P.E.  
Engineering Assoc./Hyd.

c: Andrew Garcia  
File

Good for You, Albuquerque!

P.O. Box 1293, Albuquerque, New Mexico 87103



# DRAINAGE INFORMATION SHEET

PROJECT TITLE: Garcia Honda Grading & Drainage ZONE ATLAS/DRNG, FILE#: J-19 / D003  
DRB#: \_\_\_\_\_ EPC# \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_  
LEGAL DESCRIPTION: 17-A-1 ; 17-A2, Block 23 East End Addition  
CITY ADDRESS: 8201 Lomas Blvd NE

ENGINEERING FIRM:	<u>Mark Goodwin &amp; Associates, PA</u>	CONTACT:	<u>Roger Martinez, Jr.</u>
ADDRESS:	<u>P O Box 90606 Albuquerque, NM 87199</u>	PHONE:	<u>(505) 828-2200</u>
OWNER:	<u>Garcia Honda / Infiniti</u>	CONTACT:	<u>Ken Duck</u>
ADDRESS:	<u>8201 Lomas Blvd NE Albuquerque, NM 87102</u>	PHONE:	<u>(505) 247-1529</u>
ARCHITECT:	<u>SLNB, Inc.</u>	CONTACT:	<u>Ken Duck</u>
ADDRESS:	<u>1620 Central Ave. SE Albuquerque, NM 87106</u>	PHONE:	<u>(505) 247-1529</u>
SURVEYOR:	<u>Albuquerque Surveying Co Inc</u>	CONTACT:	<u>V J.</u>
ADDRESS:	<u>2119 Menaul Blvd NE Albuquerque, NM 87107</u>	PHONE:	<u>(505) 884-2306</u>
CONTACTOR:	_____	CONTACT:	_____
ADDRESS:	_____	PHONE:	_____

## TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL  
☐ ENGINEER'S CERTIFICATION  
☐ OTHER

## PRE-DESIGN MEETING:


☐ YES  
☒ NO  
☐ COPY PROVIDED

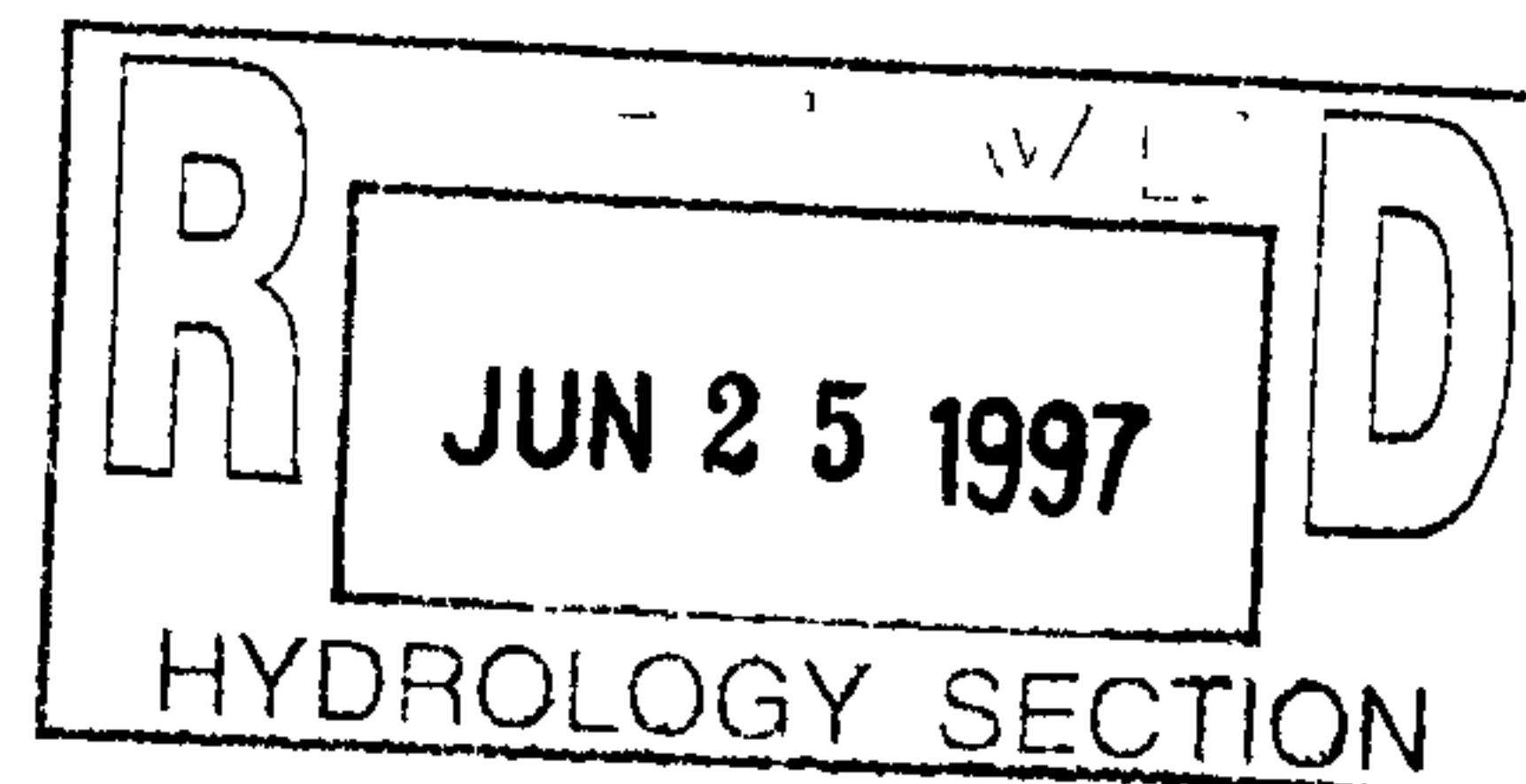
## CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S DEV PLAN FOR BLDG PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☒ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATION OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ S A D DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS  
☐ OTHER

*OK FOR FOUNDATION*

DATE SUBMITTED: June 24, 1997

BY   
Roger Martinez, Jr.



## DRAINAGE INFORMATION

PROJECT TITLE: GARCIA INFINITI CARWASH ZONE ATLAS/DRNG. FILE #: J19 / 03  
DRB#: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_  
LEGAL DESCRIPTION: LOTS5-17, BLOCK 23, EAST END ADDITION  
CITY ADDRESS: 8201 LOMAS NE  
ENGINEERING FIRM: Chavez-Grieves CCNTACT: Joe Kelley  
ADDRESS: 5639 Jefferson NE PHONE: 344-4080  
OWNER: Garcia Infinti CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
ARCHITECT: FMSM CCNTACT: Kevin Koernig  
ADDRESS: \_\_\_\_\_ PHONE: 766-6610  
SURVEYOR: n/a CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CONTRACTOR: TO BE DETERMINED CCNTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

### TYPE OF SUBMITTAL:

☒ DRAINAGE REPORT  
☒ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
☒ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION  
☐ OTHER

### PRE-DESIGN MEETING:

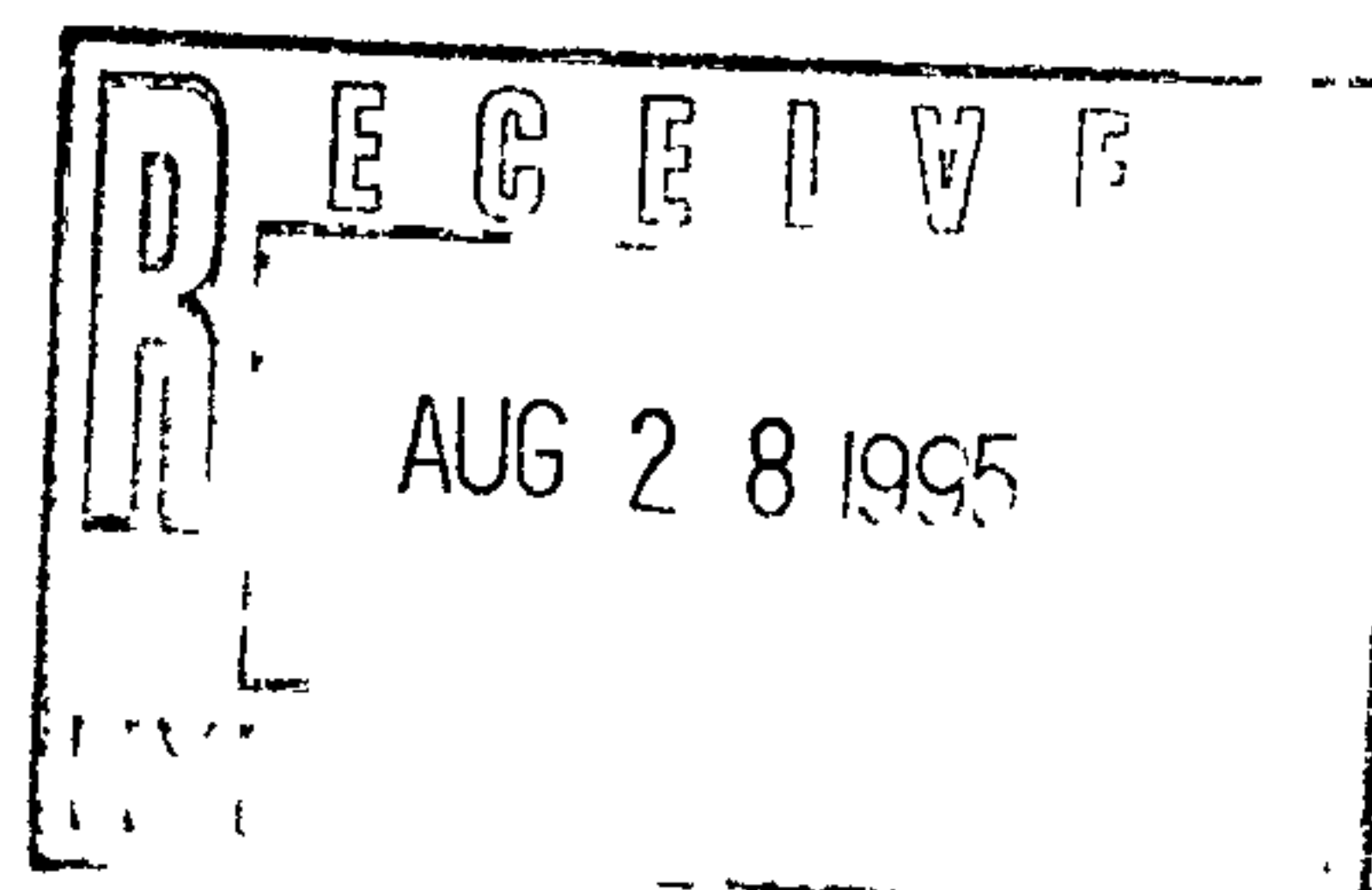
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☒ NO  
☐ COPY PROVIDED

### CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PRMT. APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY APPROVAL  
☒ GRADING PERMIT APPROVAL  
☒ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS  
☐ OTHER \_\_\_\_\_ (SPECIFY)

DATE SUBMITTED: August 25, 1995

BY: Joe Kelley, P.E.







# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 8, 1995

Joe Kelley  
Chavez-Grievess Consulting Engineers, Inc.  
5639 Jefferson NE  
Albuquerque, NM 87109

RE: DRAINAGE PLAN FOR GARCIA INFINITI CAR WASH (J19-D3)  
ENGINEER'S STAMP DATED 8/25/95.

Dear Mr. Kelley:

Based on the information provided on your August 28, 1995  
submittal, the above referenced site is approved for Building  
Permit.

Please attach a copy of this approved plan to construction sets  
prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer  
Certification per the D.P.M. checklist will be required.

If I can be of further assistance, please feel free to contact me  
at 768-2667.

Sincerely,

Bernie J. Montoya, CE  
Engineering Associate

BJM/dl

c: Andrew Garcia  
File



5639 JEFFERSON STREET NE • ALBUQUERQUE, NEW MEXICO 87109 • PHONE (505) 344-4080 • FAX (505) 343-8759

# **GRADING AND DRAINAGE PLAN**

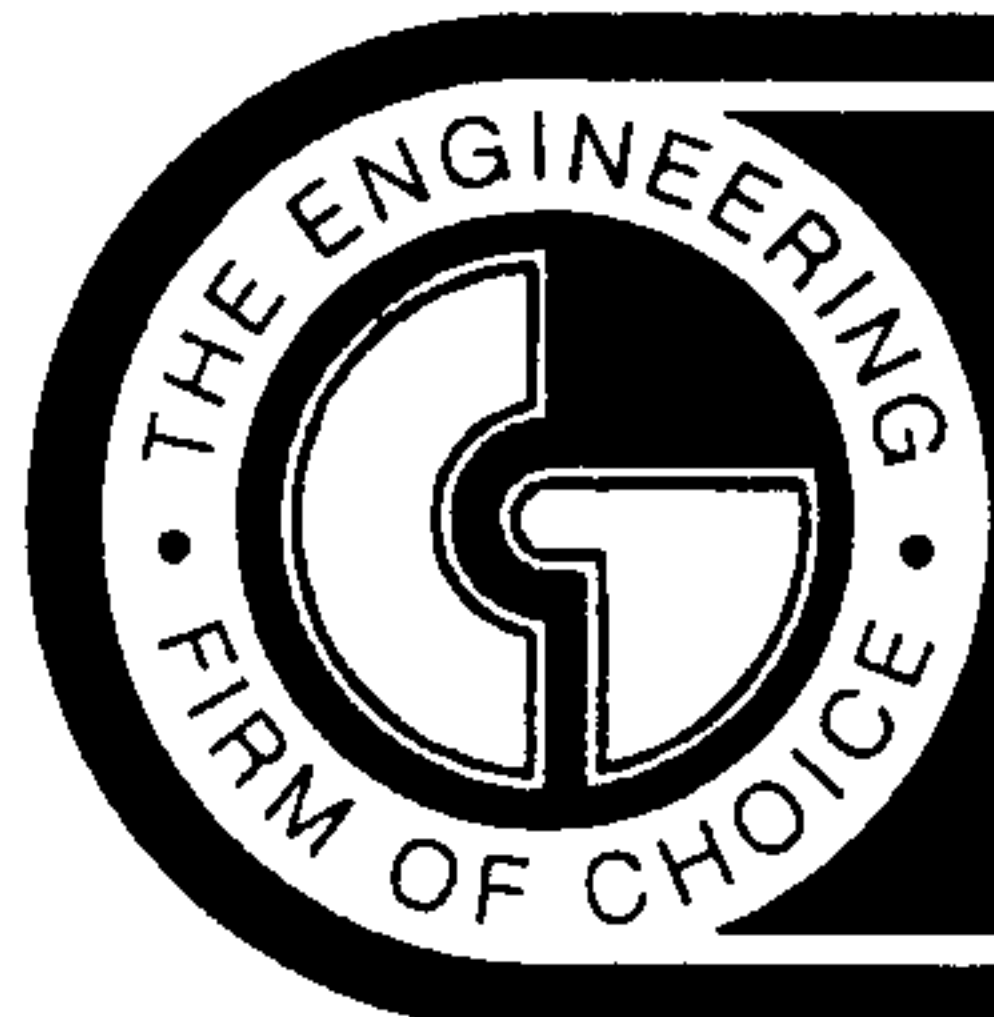
## **FOR**

### **GARCIA INFINITI**

### **CAR WASH ADDITION**

***ALBUQUERQUE, NEW MEXICO***

**AUGUST, 1995**



# CHAVEZ • GRIEVES

## CONSULTING ENGINEERS, INC.

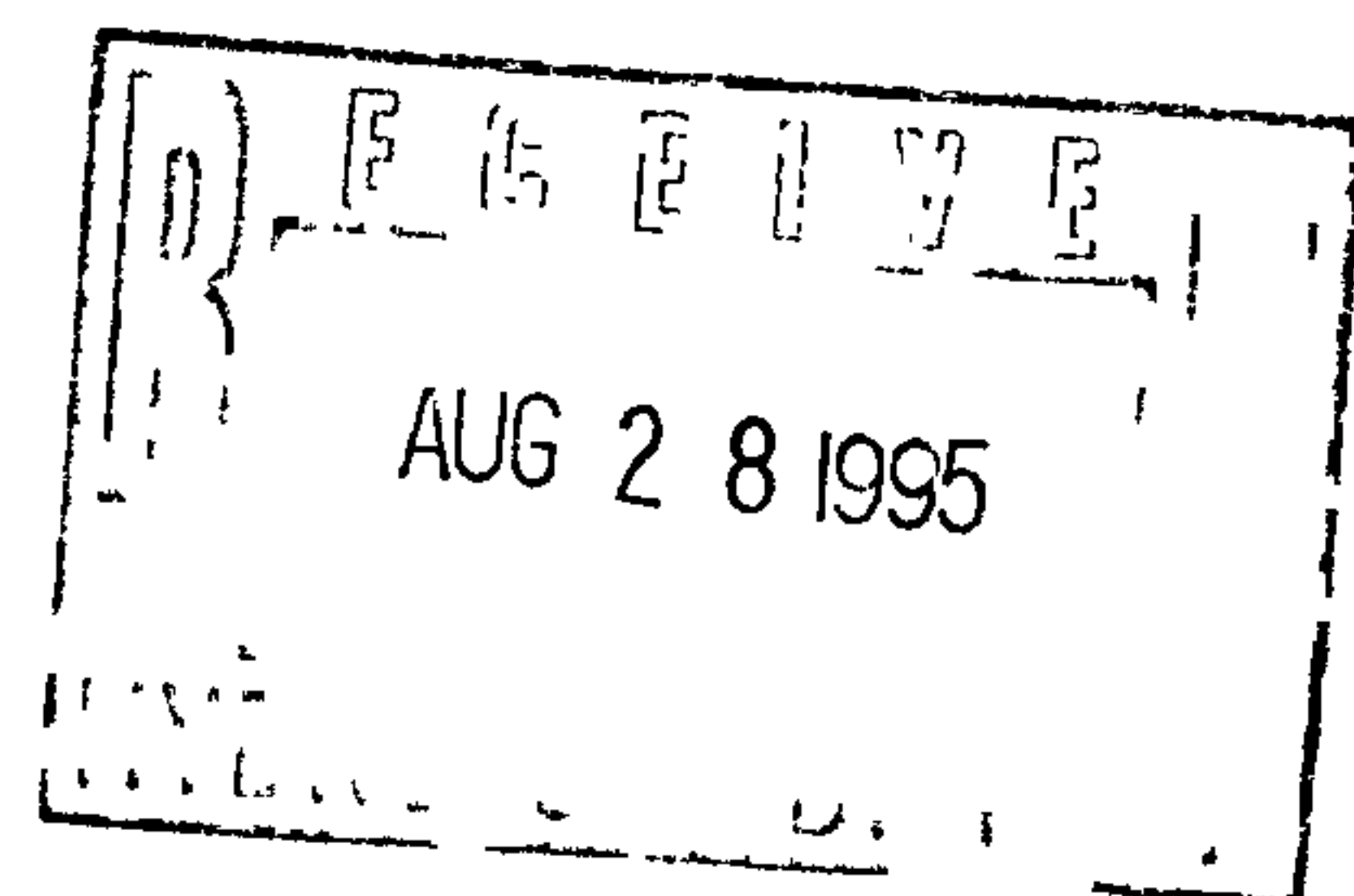
5639 JEFFERSON STREET NE • ALBUQUERQUE, NEW MEXICO 87109 • PHONE (505) 344-4080 • FAX (505) 343-8759

### GRADING AND DRAINAGE PLAN

GARCIA INFINITI

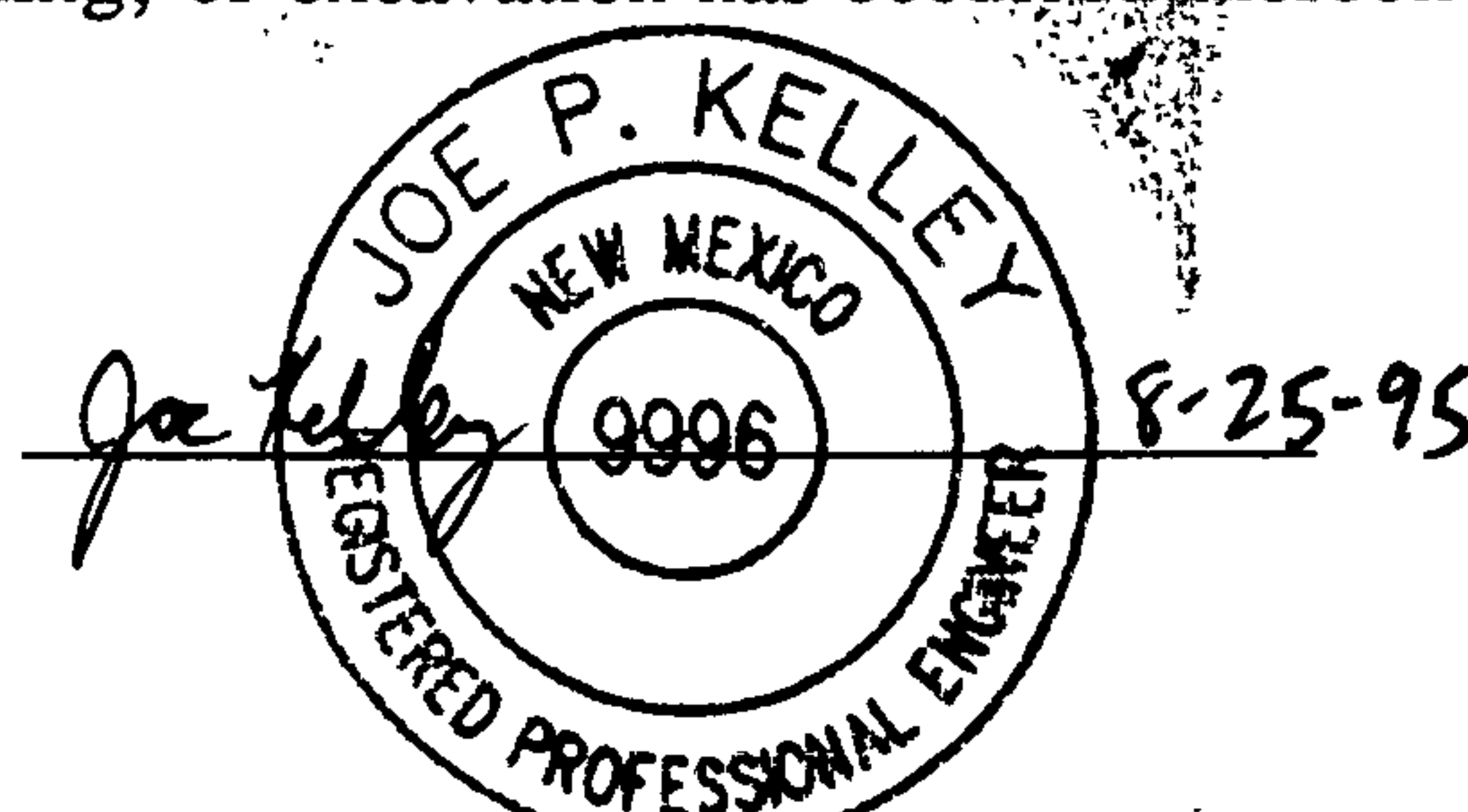
CAR WASH ADDITION

August 1995



#### ENGINEER'S STATEMENT

I certify that I am a Registered Professional Engineer in the State of New Mexico and that this report was prepared by me or under my supervision. I have personally inspected this land, and it appears that no grading, filling, or excavation has occurred thereon since the existing contour map was prepared.



*Celebrating 15 Years of Engineering Leadership*



## **LOCATION**

This site is located in Albuquerque's northeast heights on Lomas between Texas and Utah. It is the site of an existing car dealership.

## **LEGAL DESCRIPTION**

Lots 5-11 and 14-17, Block 23, East End Addition, and portions of Lots 12 and 13, Block 23, East End Addition of the City of Albuquerque.

## **ZONING AND SURROUNDING DEVELOPMENT**

The site is zoned C-2, and has been developed in accordance with this designation. The paved surfaces of fully-developed City streets abut the site on the south, east, and west. Other businesses and apartments abut the site on its north side. It is in a business district on Lomas, which is lined with commercial developments on both sides of the street adjacent to the site.

## **FLOOD HAZARD ZONES**

As shown by Panel 3500020030 of the National Flood Insurance Rate Maps for the City of Albuquerque, dated October 14, 1983, the site is not in or adjacent to a designated flood hazard zone.

## **RELATED REPORTS AND ESTABLISHMENT OF TOPOGRAPHY**

A drainage report for this site was submitted to City Hydrology on 3/12/87. The report was for Ken Johns Suzuki at 8201 Lomas Avenue, NE, file number J-19/D-3, submitted by FMBSM Architects. A copy of that report could not be found in the City records, but the original drainage plan was obtained from the original preparer's records.

The topography from the original plan was used as a base for the topography of this plan. The original topography was supplemented by data gathered in a field visit by Chavez-Grieves Consulting Engineers, Inc. on August 18, 1995.

## **EXISTING SITE CONDITIONS AND DRAINAGE PATTERN**

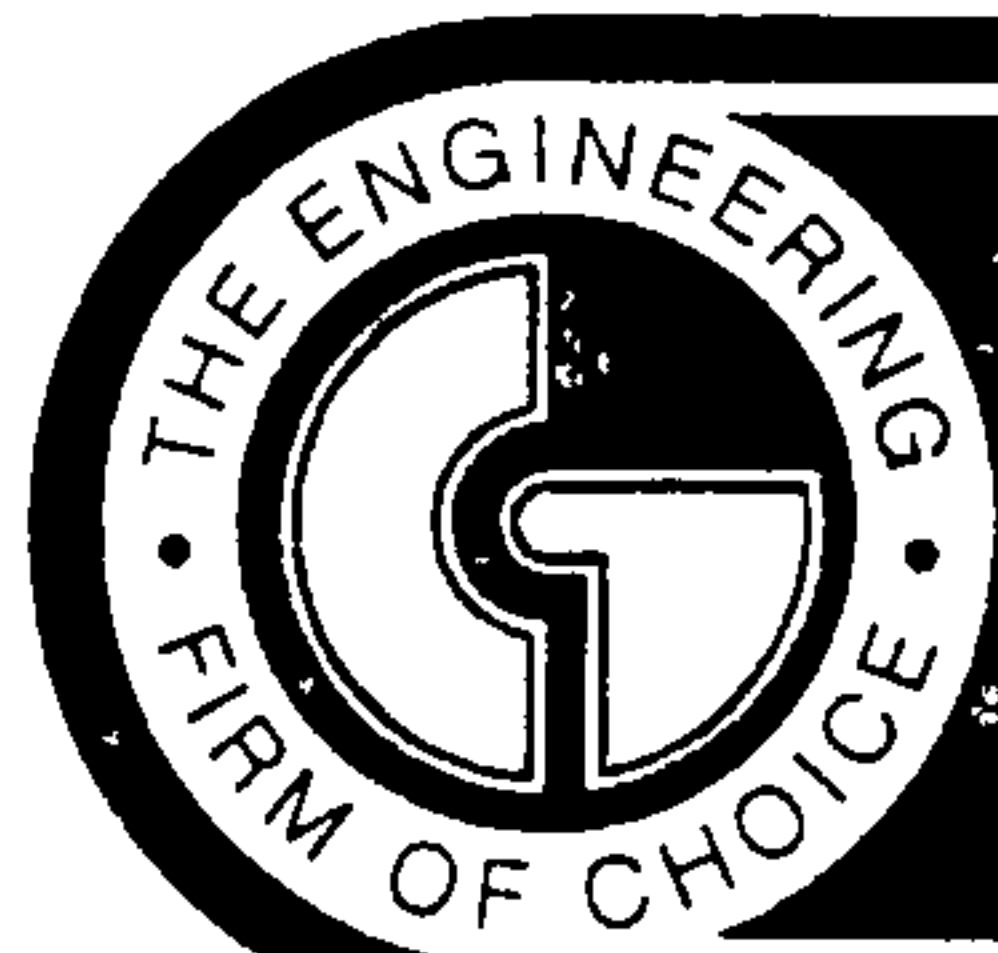
The site is an existing car dealership. It is nearly all roof and pavement surfaces, with a small portion of landscaping. Basins A, B, and C slope to the west at about 2%, and discharge directly to the paved surfaces of Texas Street. Basin D is surrounded by a CMU wall that acts as a water block between adjacent properties. No storm runoff passes through the wall in either direction. The collection point for the basin is an existing type D inlet at the low point. The inlet discharges directly to the 48" storm drain in Utah Street on the east via an 18" RCP.

## **PROPOSED SITE CONDITIONS AND DRAINAGE PATTERN**

The proposed drainage pattern is the same as the existing pattern. The only difference between existing and developed conditions will be that a building will be constructed in an existing asphalt parking lot in Basin D.

## **HYDROLOGY**

The runoff calculations and design have been done in accordance with Section 22.2 of the Development Process Manual of the City of Albuquerque, January 1993. The new building addition makes no change in the amount of runoff from the site. The site is in compliance with City Hydrology requirements for site development in the City of Albuquerque.



# CHAVEZ • GRIEVES

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### RUNOFF CALCULATIONS - SIMPLIFIED PROCEDURE

By: Joe Kelly  
Project: Car Wash for Garcia Infiniti Dealership

Date: August 21, 1995  
Zone Atlas: J-19

This procedure is in accordance with the City of Albuquerque Development Process Manual, Volume 2, Section 22.2, "Hydrology", peak discharge rate for small watersheds less than forty acres in size.

Precipitation Zone from Figure A-1: 3  
Land treatment descriptions are in Table A-4.

#### 1. RUNOFF RATE COMPUTATION

Use Equation a-10:  $Q_p = Q_{PA} A_A + Q_{PB} A_B + Q_{PC} A_C + Q_{PD} A_D$

Values of  $Q_{pi}$  are from Table A-9, and are in CFS/acre. Area values are in acres.

BASIN	$Q_{PA}$	$A_A$	$Q_{PB}$	$A_B$	$Q_{PC}$	$A_C$	$Q_{PD}$	$A_D$	$Q_p$
EXISTING BASIN RATE OF RUNOFF (CFS)									
A	1.87	-	2.60	0.06	3.45	-	5.02	0.98	5.08
B	1.87	-	2.60	-	3.45	-	5.02	0.17	0.83
C	1.87	-	2.60	0.003	3.45	-	5.02	0.03	0.16
D	1.87	-	2.60	-	3.45	-	5.02	0.78	3.89
DEVELOPED BASIN RATE OF RUNOFF (CFS)									
A	1.87	-	2.60	0.06	3.45	-	5.02	0.98	5.08
B	1.87	-	2.60	-	3.45	-	5.02	0.17	0.83
C	1.87	-	2.60	0.003	3.45	-	5.02	0.03	0.16
D	1.87	-	2.60	-	3.45	-	5.02	0.78	3.89



## 2. RUNOFF VOLUME COMPUTATION

Use Equation a-5 to compute weighted excess precipitation:

$$\text{Weighted } E = "E" = (E_A A_A + E_B A_B + E_C A_C + E_D A_D) / (A_A + A_B + A_C + A_D)$$

$$(A_A + A_B + A_C + A_D) = \sum A_i$$

Use Equation a-6 to compute the volume:

$$V_{360} = "E" \times (A_A + A_B + A_C + A_D) \times 3630 \text{ feet}^3/\text{acre} \cdot \text{inch}$$

Values of  $E_i$  are from Table A-8, and are in inches. Area values are in acres.

[illegible]