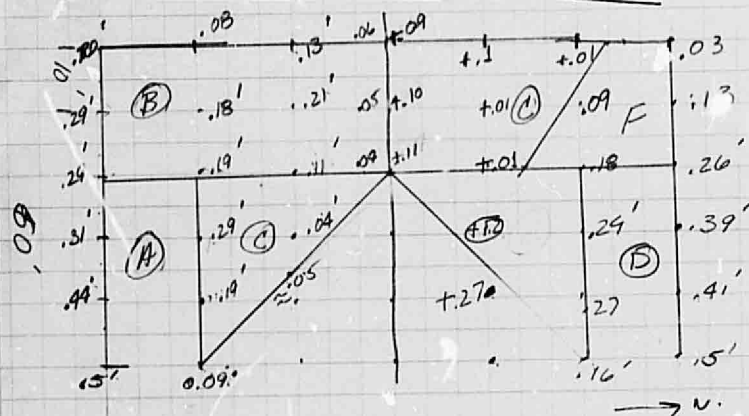


8004 & 8003 Constitution Pl. 5/19/03
11-16-79



using 29.08' as max height of water in pond 1

28.93' as max height of water in pond 2

note that when water reaches 29.02' in pond 1
it will overflow to pond 2 $\therefore$ pond 1 capacity
Pond 1, 3 Areas A, B, C is inflated.

$$\text{approx. vol.} = \text{avg depth} \times \text{surface area.}$$

$$A = .287 \times (15' \times 30') = 129.38 \text{ ft}^3$$

$$B = 0.153 \times \{20' + 45'\} = 137.25$$

$$C = .125 \times \frac{(30 \times 30)}{2} = \frac{56.25 \text{ ft}^2}{322.9 \text{ ft}^3}$$

$$322.9 \text{ ft}^3$$

Pond 2

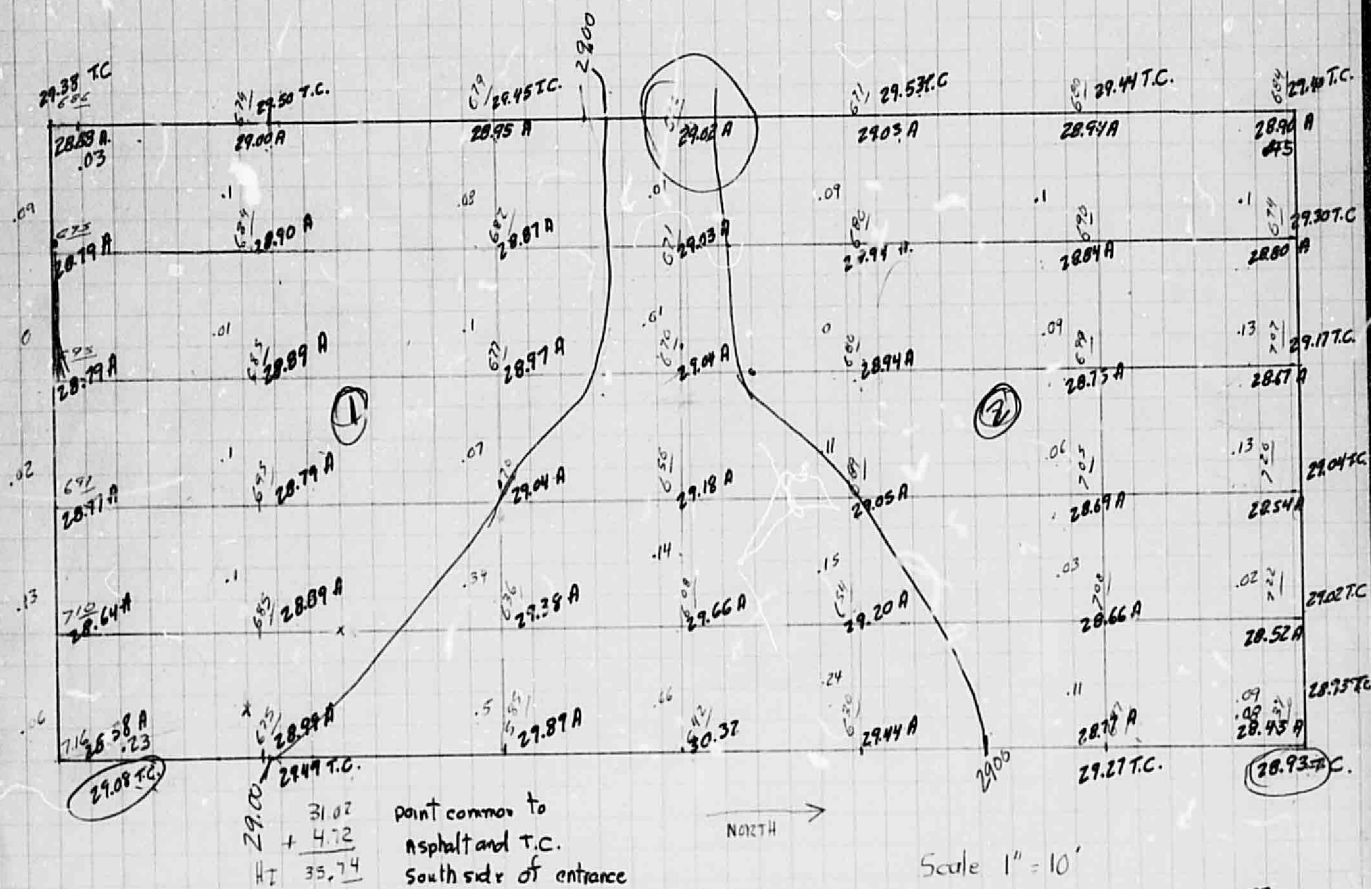
$C = -0$ - pending capacity

$$D = .31' \times (15 \times 30) = 138.38 \text{ ft}^3$$

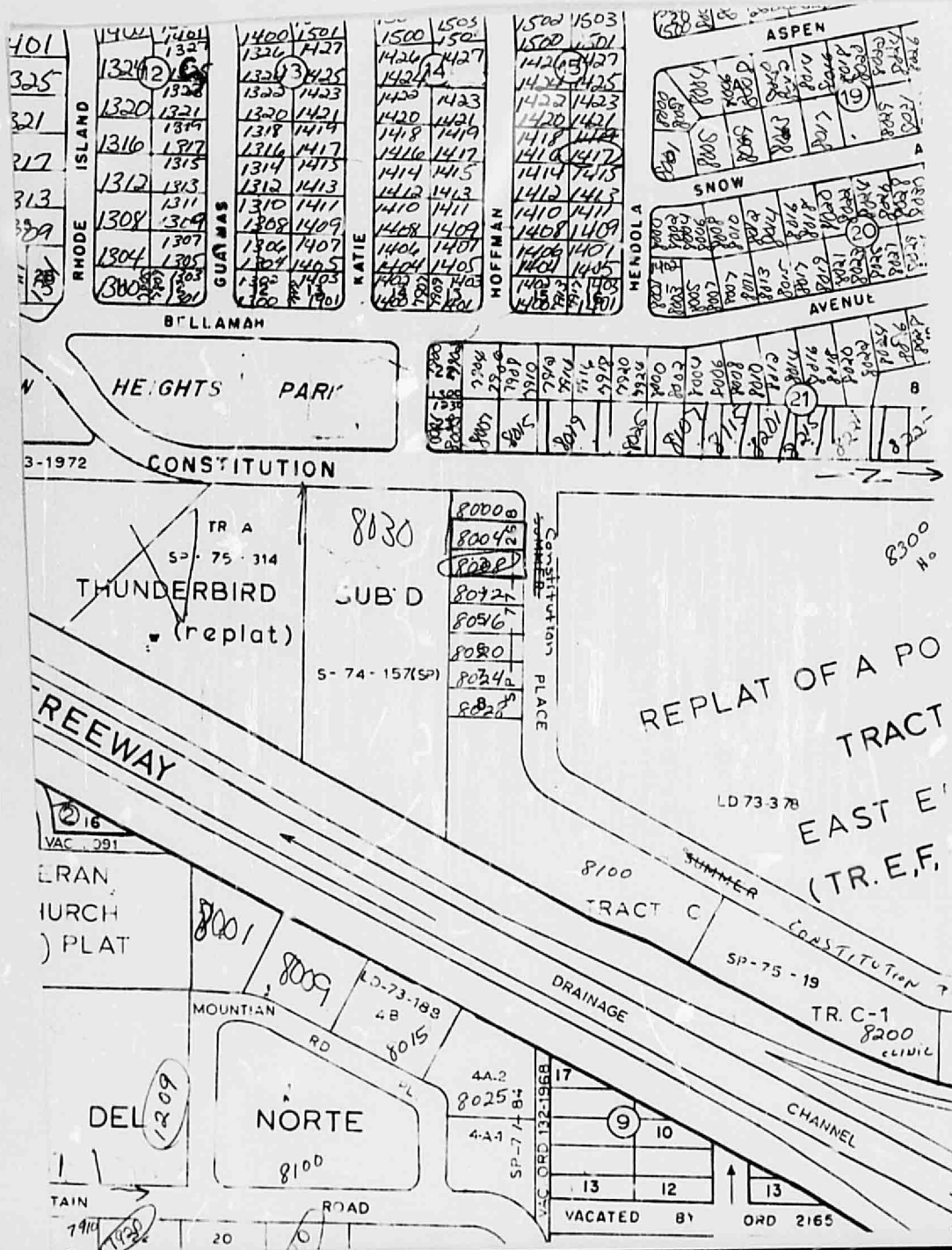
$E = \text{minimal pooling capacity}$

$$F = .1 \times \left(\frac{40+8}{2} \right) 20 = 47.31 \text{ ft}^3$$

$$= 4200 \text{ ft}^3$$



8004 & 8003 CONSTITUTION PLACE N.E. 11-⁰⁷~~06~~79



 Springer



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

MAYOR
David Rusk

December 13, 1979

Dr. Curtis Robinson, MD
8004 Constitution N. E.
Albuquerque, New Mexico 87110

Re: 8004-8008 Constitution Place N. E.

Dear Dr. Robinson:

In light of the revised grading plan submitted to me by Mr. Tobias of Flatow, Moore, Bryan & Associates, and which was approved by the City, I requested my inspectors to survey the above referenced site to verify compliance with said plans. The survey could only verify approximately one-third of the required ponding volume.

As I informed you earlier, compliance with the approved grading plan is mandatory. If compliance with the approved plan is not feasible, we will accept a revised grading plan adhering to City drainage requirements.

If you should have any questions, please do not hesitate to contact my office.

Sincerely,

Fred Aguirre
Fred Aguirre
Civil Engineer
Engineering Division

FA:pep

copy: Richard Heller, City Engineer
Bruno Congeliano, Asst. City Engineer-Hydrology
Drainage File
Tobias Flatow, Flatow, Moore, Bryan & Associates

AN EQUAL OPPORTUNITY EMPLOYER



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

D. J. Aguirre

October 22, 1979

Doctor Curtis Robinson, MD
8004 Constitution Place NE
Albuquerque, New Mexico

Reference: 8004, 8008 Constitution Place NE

Dear Doctor Robinson:

I have been informed that the grading for the above referenced lot was done contrary to the grading plan approved by the City. This action is in violation of City policies, and of the conditions under which approval was granted for construction.

This letter is to advise you that compliance with the approved grading plan is mandatory.

If compliance with the approved grading plan is not feasible, submit a revised grading plan adhering to the City drainage requirements to my office for review.

If you have any questions, please don't hesitate to contact my office.

Very truly yours,

Fred J. Aguirre

Fred Aguirre
Civil Engineer

FA/lc

cc: Richard Heller, City Engineer
Bruno Conegliano, Asst. City Engineer-Hydrology
Drainage File

MUNICIPAL DEVELOPMENT DEPARTMENT

CONSTITUTION

SHEFFALD

LOT

CONSTITUTION AVENUE NE.

PART IV

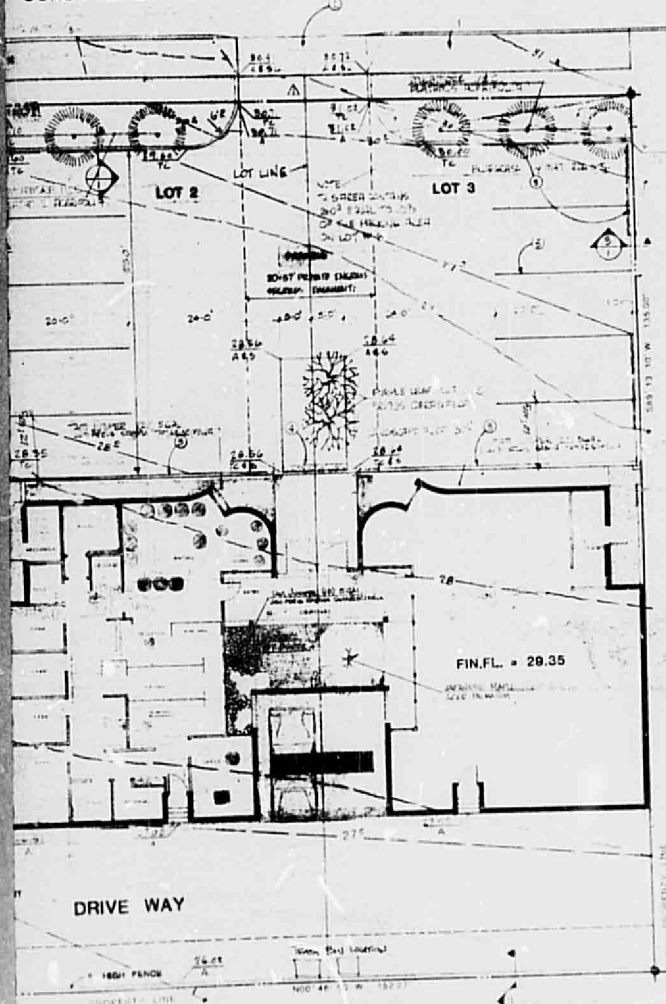
DRIVE

UTILITY EASEMENTS

6. 100% FC

PAYEE
ALABAMA
THE CITY OF
STANDARD.

CONSTITUTION PLACE NE.



LOCATION PLAN



STORM DRAINAGE RETENTION POND CASE
POND AREA REQUIRED: 2042.1011 2042.1
POND AREA PROVIDED: 2042.1011 2042.1

1. OCCUPANCY GROUP: B-2 (USE ZONE: B-2)
2. EXISTING PARKING: 110 SP.
3. TYPE OF CONSTRUCTION: T
4. ALLOWABLE AREA: 110,000 SQ. FT.
5. ACTUAL AREA: 110,000 SQ. FT.
6. TOTAL AREA: 110,000 SQ. FT.
7. DATE REQUIRED: 2.08.2002
8. ALLOWABLE OCCUPANT LOAD

PROPERTY DESCRIPTION
LOTS 1 THRU 4 REPLAT OF TRACT 107
PORTION OF TRACT 107 OF THE EAST

- NEW CONC. SIDEWALK
- NEW CONC. SIDEWALK
- GRAVEL AREA
- NEW ASPHALT PAVEMENT
- TOP OF CURB ELEVATION
- FINISH ASPHALT PAVEMENT
- FINISH SIDEWALK ELEVATION
- FINISH CONC. SLAB
- EXISTING CONTOUR
- FINISH ELEVATIONS
- TOTAL PARKING SPACES

ARCHITECT'S CODE INTERPRETATION

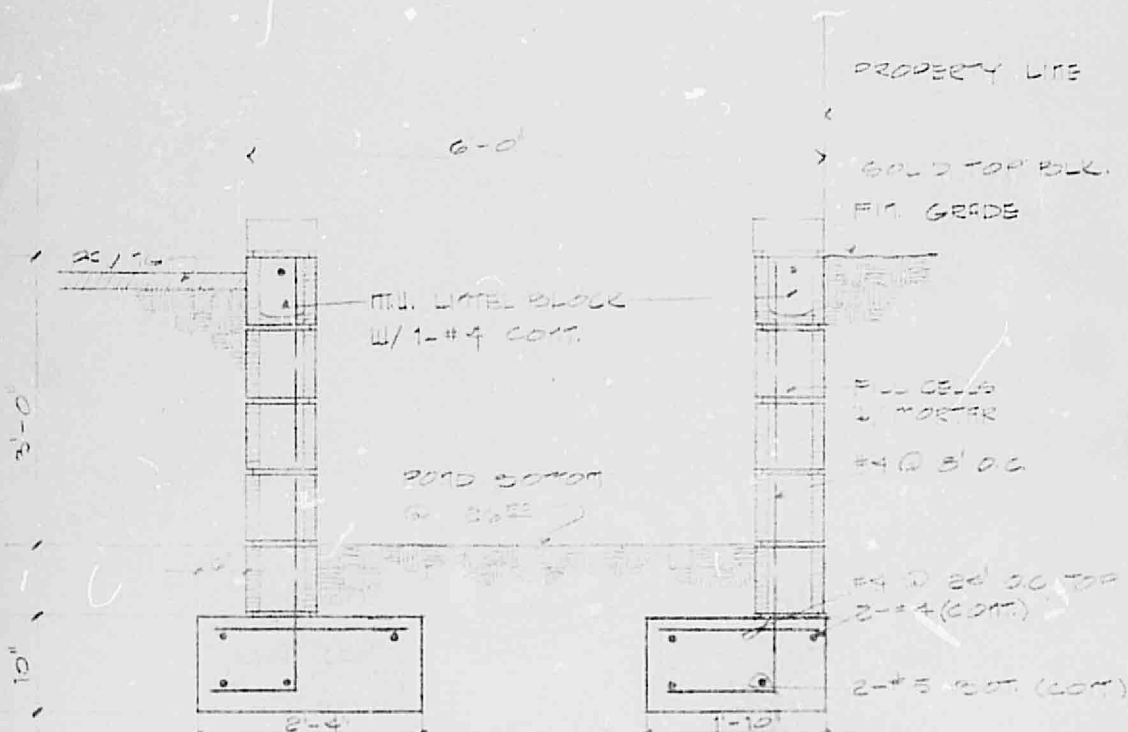
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7. DATE REQUIRED: 2.08.2002
8. ALLOWABLE OCCUPANT LOAD

110,000	110,000
110,000	110,000
110,000	110,000
110,000	110,000
110,000	110,000

SITE PLAN

1. SITE PLAN
2. EXISTING ELEVATIONS
3. FINISH PLAN
4. SECTIONS & DETAILS
5. FOUNDATION PLAN
6. ROOF FRAMES PLAN
7. HEATING VENTILATION & AIR CONDITIONING
8. PLUMBING

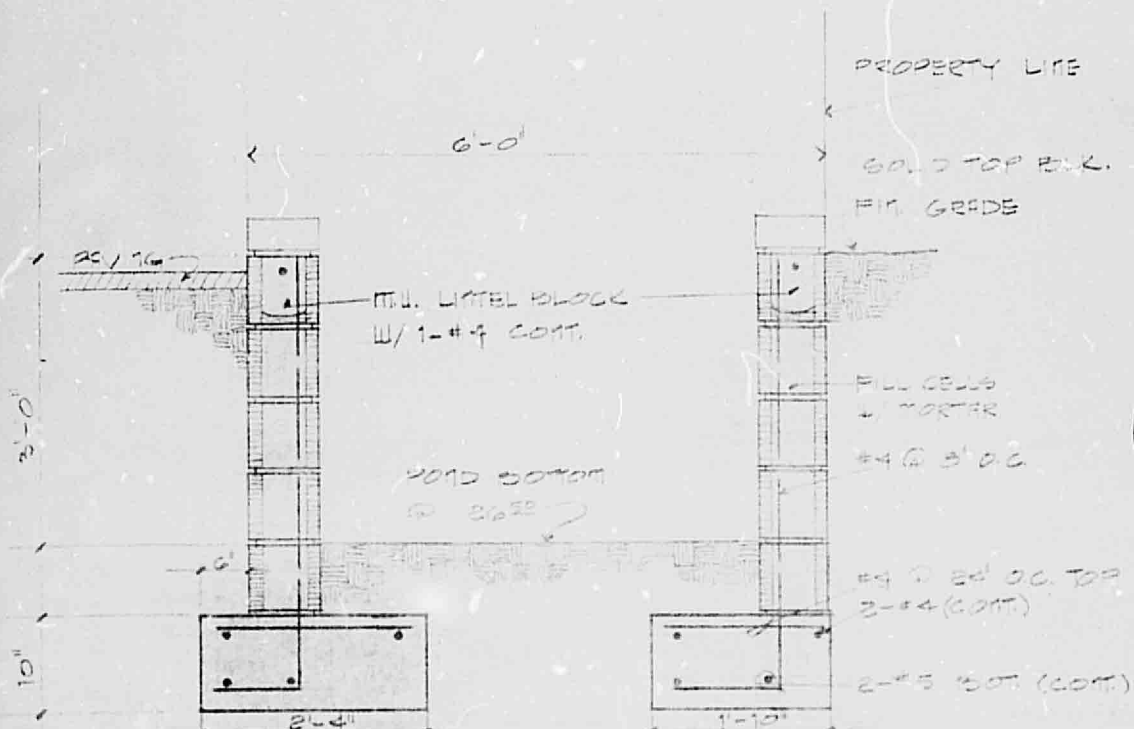




SECTION 9-2

SEE DRG PAGE PLATE - SITE PLAN

VOL = 652 FT³



SECTION A-A

SEE DRAINAGE PLANT - SITE PLAN

VOL. 652 AT 3



FIELD REPORT

PROJECT NO.	PROJECT DESCRIPTION	OBSERVER	DATE OBSERVED
	Medical Office Facility	William R. Pecore	10-2-78
OTHERS PRESENT:			J19/D36

Reason for Field Check:

For the drainage of this medical Bldg.

Description of Field Check Performed:

Going by the plan we have three ponding areas. The first two in the front of the Bldg. and the second one in the back (East side) of the Bldg.

Findings or Conclusions:

I found that the two ponding areas in the front they are not bad at all because there is no ponding area because where the ponding area is supposed to be is covered by asphalt so the water is just going to drain in the parking lot all the time. Now in the end in the East side of the Bldg. a driveway is right in the middle of it with a cover of asphalt, so we also going to have water ponding in there because there won't be no way for the water to drain.

Follow-up Action required:

A follow-up will be need to see what they have done with this problem. I express the problem to my supervisor and he told me that there is nothing we can do.

Date of Field Report to:

CITY:

Albuquerque

AMAFCA:

OBSERVER

William R. Pecore