

CITY OF ALBUQUERQUE



September 15, 2014

Scott Eddings, P.E.
Huitt-Zollars
6501 Americas Parkway NE
Albuquerque, New Mexico 87110

**RE: Winrock Redevelopment Dave and Busters
Grading and Drainage Plan
Engineers Stamp Date 9/10/14 (J19D038)**

Dear Mr. Eddings,

Based upon the information provided in your submittal received 9-12-14, the above referenced plan is approved for Building Permit and Grading Permit with the following condition and comment:

- 1) There appears to be a curb across the new access to the road along the west property boundary. This seems to be a drafting error that needs correction.
- 2) If the road along the west property boundary becomes public in the future, a valley gutter will be required at the west access

PO Box 1293

Please attach a copy of this approved plan in the construction sets when submitting for a building permit.

Albuquerque

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

New Mexico 87103

If you have any questions, you can contact me at 924-3695.

www.cabq.gov

Sincerely,

Rita Harmon, P.E.

Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf Addressee via Email, Monica Ortiz

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: Winrock Redevelopment Dave and Busters-Site ZONE MAP: J-19-Z
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Parcel C-2A Winrock Center Addition
CITY ADDRESS: _____

ENGINEERING FIRM: Huitt-Zollars CONTACT: Scott Eddings
ADDRESS: 6501 Americas Parkway NE PHONE: 892-5141
CITY, STATE: ABQ, NM ZIP CODE: 87110

OWNER: Winrock Partners, LLC CONTACT: Darin Sand
ADDRESS: 100 South Ave NE, Suite 100 PHONE: 881-0100
CITY, STATE: ABQ, NM ZIP CODE: 87109

ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

<p>TYPE OF SUBMITTAL:</p> <p>_____ DRAINAGE REPORT</p> <p>_____ DRAINAGE PLAN 1st SUBMITTAL</p> <p><input checked="" type="checkbox"/> DRAINAGE PLAN RESUBMITTAL</p> <p>_____ CONCEPTUAL G & D PLAN</p> <p><input checked="" type="checkbox"/> GRADING PLAN</p> <p>_____ EROSION CONTROL PLAN</p> <p>_____ ENGINEER'S CERT (HYDROLOGY)</p> <p>_____ CLOMR/LOMR</p> <p>_____ TRAFFIC CIRCULATION LAYOUT</p> <p>_____ ENGINEER'S CERT (TCL)</p> <p>_____ ENGINEER'S CERT (DRB SITE PLAN)</p> <p>_____ OTHER (SPECIFY) _____</p>	<p>CHECK TYPE OF APPROVAL SOUGHT:</p> <p>_____ SIA/FINANCIAL GUARANTEE RELEASE _____</p> <p>_____ PRELIMINARY PLAT APPROVAL</p> <p>_____ S. DEV. PLAN FOR SUB'D APPROVAL</p> <p>_____ S. DEV. FOR BLDG. PERMIT APPROVAL</p> <p>_____ SECTOR PLAN APPROVAL</p> <p>_____ FINAL PLAT APPROVAL</p> <p>_____ FOUNDATION PERMIT APPROVAL</p> <p><input checked="" type="checkbox"/> BUILDING PERMIT APPROVAL</p> <p>_____ CERTIFICATE OF OCCUPANCY (PERM)</p> <p>_____ CERTIFICATE OF OCCUPANCY (TEMP)</p> <p>_____ GRADING PERMIT APPROVAL</p> <p>_____ PAVING PERMIT APPROVAL</p> <p>_____ WORK ORDER APPROVAL</p> <p>_____ OTHER (SPECIFY) _____</p>
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WAS A PRE-DESIGN CONFERENCE ATTENDED:

_____ YES
_____ NO
_____ COPY PROVIDED

DATE SUBMITTED: 9-12-14 BY: Scott Eddings

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



September 8, 2014

Scott Eddings, P.E.
Huitt-Zollars
6501 Americas Parkway NE
Albuquerque, New Mexico 87110

RE: **Winrock Redevelopment Dave and Busters**
Grading and Drainage Plan
Engineers Stamp Date 8/14/14 (J19D038)

Dear Mr. Eddings,

Based upon the information provided in your submittal received 8-19-14, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Regarding the parking islands on the southwest corner: It is not clear whether new parking islands are being built or if striping only. Contour lines extend though these islands, but a return curb would typically be required. - *Noted for future work, SE 9.12.14*
2. Detail all proposed islands along on south side of roadway/driveway showing spot Flowline Elevations. ✓
3. Show a valley gutter and flowline elevations at the new curb returns at the new access. Label streets. - *Project will require reconfigure area in the future, SE 9.12.14*
4. The Flowline Elevations on the parking islands are offset. It appears that the drafting layers are not correctly aligned. ✓
5. I understand that the parking and traffic circulation were amended through an administrative amendment, but there seems to be a discontinuous pedestrian path though the parking island along at the south side of the new access.
6. If the Site Plan is being amended, do the drainage basins delineated on Site Plan SDP-6 (stamp date 10-3-13) still apply to this new condition? *Additional information included, SE 9/12/14*
7. A new ESC Plan will be needed with this amendment to the G&D plan. *- Construction is nearly complete. SE 9/12/14*

If you have any questions, you can contact me at 924-3695.

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf Addressee via Email



An aerial photograph of downtown Albuquerque, New Mexico. The city center is labeled "City of Albuquerque, NM 87102". To the left, the "New Mexico State Capitol" is visible. Various streets are labeled, including "W. Central Ave.", "Central Ave.", "San Mateo Blvd.", and "I-40". Several areas are designated as "ZONE A" and "ZONE X". A large number "18" is prominently displayed in the center of the map. An arrow points from the word "SITE" at the top right towards the central area of the map.

FIRM PANEL 35001C0352G

BASIN 101

[illegible][illegible][illegible]

PER THE FEMA MAP NUMBER 35001 C0352G DATED
SEPTEMBER 26, 2008 SHOWS THE SITE IS NOT
LOCATED WITHIN A FLOOD HAZARD ZONE AREA.

I PERSONALLY INSPECTED THIS SITE AND NO GRADING,
FILLING, OR EXCAVATION HAS OCCURRED SINCE THE
PREPARATION OF THE TOPOGRAPHY SHOWN ON THIS PLAN.

SUMMARY

BASIN ID	LANDTREATMENTS				DISCHARGE (CFS)
	A	B	C	D	
001	0%	3%	6%	91%	21.79
100	0%	11%	6%	83%	14.44
101	0%	11%	6%	83%	3.77
102	0%	0%	0%	100%	3.01

SITE SURFACE RUNOFF ONTO INDIAN SCHOOL

DEVELOPED SURFACE DISCHARGE POST CONSTRUCTION IS APPROX. 18.2 CFS

CURRENT SURFACE DISCHARGE TO INDIAN SCHOOL IS APPROX. 21.8 CFS

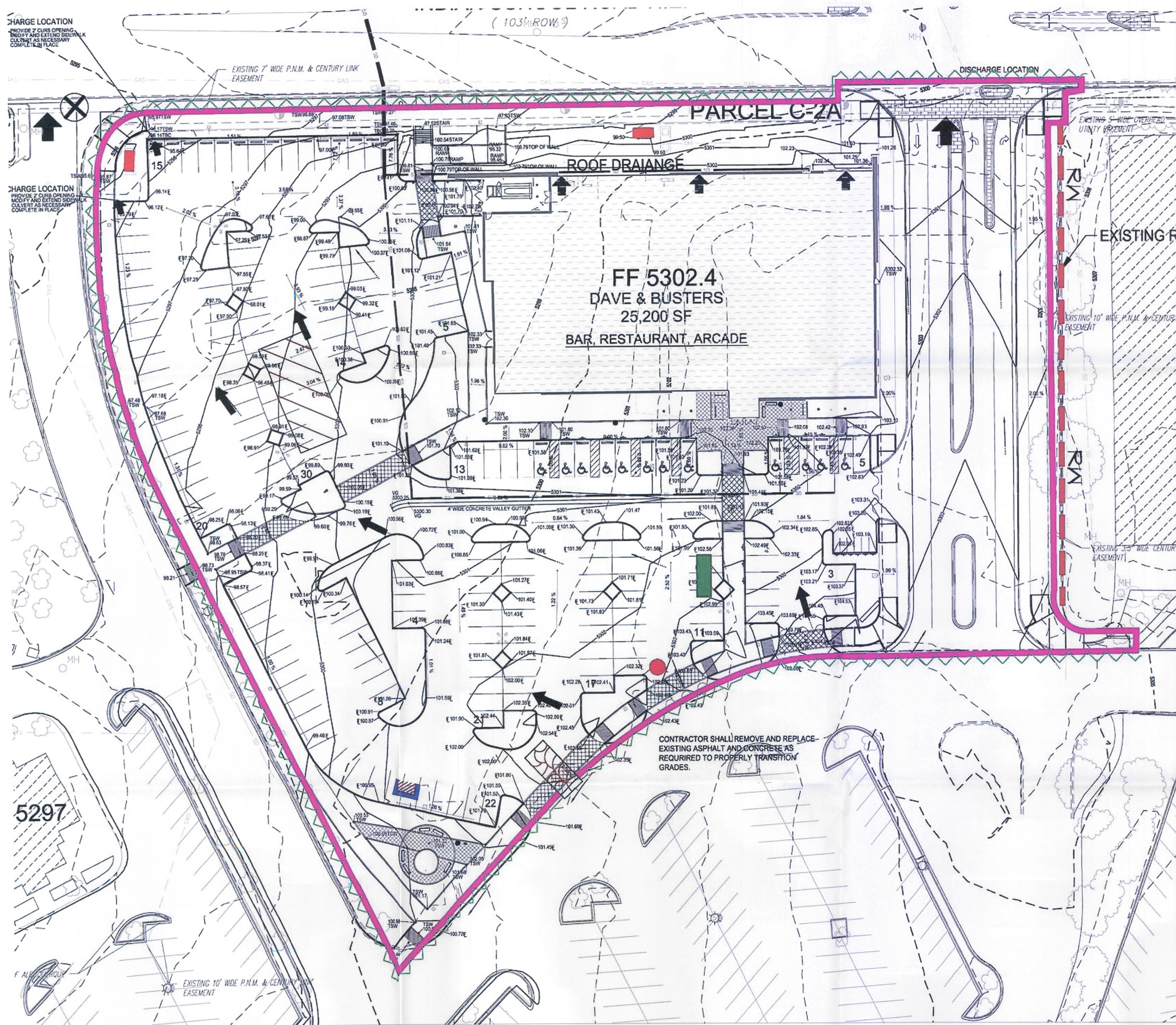
SITE DEVELOPMENT WILL BE SIMILAR TO EXISTING CONDITIONS. THE TOTAL SITE AREA IS APPROXIMATELY 4.5 ACRES WITH THE FOLLOWING ESTIMATED LAND TREATMENTS:

A: 0%	B: 3%	C: 6%	D: 91%
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THE PROPOSED SITE PLAN INCREASES THE LANDSCAPE AREAS BY APPROXIMATELY 15,000 SQUARE FEET WITH THE SAME REDUCTION IN ASPHALT PAVEMENT. THE ESTIMATED LAND TREATMENTS FOR THE SITE PLAN ARE AS FOLLOWS:

A: 0%	B: 11%	C: 6%	D: 83%
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HUITT-ZOLLARS
Huitt-Zollars, Inc. Rio Rancho
333 Rio Rancho Drive NE, Suite 101
Rio Rancho, New Mexico 87124
Phone (505) 892-5141 Fax (505) 892-3259



LEGEND

CONTROLS

- PROJECT BOUNDARY / DISTURBED AREA
- STABILIZED CONSTRUCTION ENTRANCE
- STAGING AREA
- SILT FENCE
- RETAINING WALL
- ROLL - OFF
- CONCRETE WASHOUT
- CHEMICAL TOILET
- PROPOSED INLET PROTECTION
- FLOW
- OUTFALL

NOTES

- INSTALL AFTER GRUBBING
- INSTALL DURING CLEAR AND GRUBBING
- INSTALL BEFORE FIRST CEMENT LOAD
- STAKE DOWN IF USED.



NOTES

MAP IS NOT TO SCALE

RECEIVING WATERS
Rio Grande
3.5 Miles to SE

IMPAIRMENTS

E.Coli, Pathogens, Dissolved Oxygen,
PCB's, Temperature, Fish Consumption Advisory



Erosion Control Plan

FLOOD ZONE

PER THE FEMA MAP NUMBER
SEPTEMBER 26, 2008 SHOWS
LOCATED WITHIN A FLOOD HA

ENGINEER'S CERT

GRADING AND DRAINAGE PLAN

A1

SCALE 1"=20'

0 10' 20' 40'

Dave & Busters

DATE: February 5, 2014