

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

MAYOR
KEN SCHULTZ

CHIEF
ADMINISTRATIVE OFFICER
GENE ROMO

DEPUTY CAO
PUBLIC SERVICES
FRANK MARTINEZ

DEPUTY CAO
PLANNING/DEVELOPMENT
BILL MUELLER

December 29, 1987

Bob Hasaka
Bradbury & Stamm
P.O. Box 25027
Albuquerque, N.M. 87125

RE: PRIVATE DRAINAGE EASEMENT AND RECIPROCAL ACCESS EASEMENT
FOR KASEMAN PRESBYTERIAN HOSPITAL AMBULATORY BEHAVIOR CENTER
(J19-D43) RECEIVED 12/23/87

Dear Mr. Hasaka:

Based on the additional information provided on December 23, 1987, Certificate of Occupancy release from Hydrology is approved.

If I can be of further assistance, please feel free to contact me at 768-2650.

Sincerely,

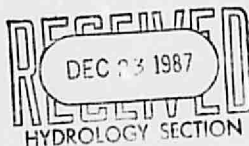
Bernie J. Montoya, C.E.
Engineering Assistant/Hydrology
Public Works Department

BJM:ld

Arch. WP+ (ID 326)

AN EQUAL OPPORTUNITY EMPLOYER

87127408



601797

DECLARATION OF PRIVATE DRAINAGE
EASEMENT AND RECIPROCAL ACCESS EASEMENT

THIS DECLARATION of private drainage easement and reciprocal access easement is made and executed this 2ND day of August, 1987 by SOUTHWEST COMMUNITY HEALTH SERVICES, a New Mexico non-profit corporation (hereinafter referred to as the "Declarant").

WHEREAS, the Declarant owns fee title to two adjacent tracts of real estate within the City of Albuquerque, New Mexico, hereinafter referred to as the "Hospital Tract" (described in Exhibit "A" attached hereto) and the "Office Tract" (described in Exhibit "B" attached hereto); and

WHEREAS, the Declarant desires to develop and use the Hospital Tract and the Office Tract as an integrated medical complex; and

WHEREAS, to facilitate the use and development of the Hospital Tract and Office Tract as an integrated medical complex, the Declarant desires to create a private drainage easement and reciprocal access easement between the two tracts.

NOW, THEREFORE, the Declarant hereby declares, grants and establishes a private drainage easement and reciprocal access easement as follows:

1. A private surface drainage easement shall extend over and across the surface of that portion of the asphalt paved areas on the Hospital Tract northwest of "Basin 'C'" (as Basin "C" is shown on the Grading and Drainage Plan attached hereto as Exhibit "C"). Said asphalted areas shall be hereinafter referred to as the "Drainage Easement." The Drainage Easement may be used for the drainage of storm and drainage waters originating in "Basin 'C'", but not from any other areas within the Office Tract. All real estate within the Drainage Easement which is no longer asphalt paved after construction of a building, structure or landscaping in the Drainage Easement shall be released from the terms of this Drainage Easement for so long as it remains without asphalt paving.

2. A private reciprocal access easement shall extend over and across the surface of all the asphalt paved areas accessible to and intended for general vehicular ingress and

gress in the Hospital Tract and the Office Tract. Said asphalt areas shall hereinafter be referred to as the "Access Easement." The Access Easement shall be used for vehicular and pedestrian access for the benefit of only those entities entitled to use the Hospital Tract or the Office Tract and their employees, agents and invitees. All real estate which is no longer asphalt paved upon construction of a building, other structure or landscaping in the Access Easement shall be released from the terms of the Access Easement for so long as it remains without asphalt paving.

3. The owner of the Hospital Tract, as to the Drainage Easement and that portion of the Access Easement in the Hospital Tract, and the owner of the Office Tract, as to that portion of the Access Easement in the Office Tract, may use the Drainage Easement and Access Easement for any purpose which does not interfere with the drainage and reciprocal access rights granted hereunder.

4. The owner of the real estate comprising the Drainage Easement shall maintain it at such owner's sole cost and expense. The owner of the real estate on which each portion of the Access Easement is located shall maintain the portion of the Access Easement located on its real estate at its sole cost and expense. Both the Drainage Easement and the Access Easement shall be maintained in compliance with any ordinances or regulations of any governmental authority applicable to them.

5. The Drainage Easement and the Access Easement shall be perpetual unless they shall no longer be necessary for development and use of the Hospital Tract and the Office Tract as an integrated medical complex as determined by the Declarant and the City of Albuquerque Development Review Board of other appropriate City of Albuquerque administrative authority. Upon a determination of non-necessity as described in the preceeding sentence, the Drainage Easement and/or the Access Easement and the rights therein granted in this Declaration shall cease and revert back to the Declarant, or its successors and assigns as to each of the Hospital Tract and the Office Tract.

6. This Declaration shall run with the land and shall be binding upon the Declarant, its successors-in-interest, and its assigns as to the Hospital Tract and the Office Tract.

IN WITNESS WHEREOF, the Declarant sets its hand on the date first written above.

DECLARANT:

SOUTHWEST COMMUNITY HEALTH SERVICES,
a New Mexico non-profit corporation,

By Richard Barr
Richard Barr, President

00799

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

The foregoing document was acknowledged before me this
2nd day of August, 1987 by Richard Barr, President of Southwest
Community Health Services, a New Mexico non-profit corporation, on
behalf of said corporation.

Patricia Burnworth
NOTARY PUBLIC

My Commission Expires:

8-24-90

007800

EXHIBIT "A"
HOSPITAL TRACT

Tract "1" as such tract is shown and described on the Replat of Tracts "E", "F" and a portion of Tract "A", East End Addition, Albuquerque, New Mexico, filed in the Office of the County Clerk of Bernalillo County, New Mexico on July 24, 1973, at Volume C9, Folio 93.

EXHIBIT "B"

OFFICE TRACT

60-801

A CERTAIN PARCEL OF LAND BEING IDENTIFIED AS AN EASTERLY PORTION OF TRACT "A" OF THE REPLAT OF A PORTION OF THE EAST END ADDITION, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON FEBRUARY 28, 1964 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING, FOR A TIE, AT THE NORTHEAST CORNER OF SAID TRACT "A", OF SAID EAST END ADDITION, AND BEING FURTHER IDENTIFIED AS THE POINT OF INTERSECTION OF THE SOUTHERLY RIGHT-OF-WAY LINE OF CONSTITUTION AVE., N.E. WITH THE WESTERLY RIGHT OF WAY LINE OF WYOMING BLVD., N.E. THENCE RUNNING S 00 47' 00" E, 200.00 FEET DISTANCE ALONG SAID WESTERLY R/W LINE OF WYOMING BLVD., N.E. TO THE NORTHEAST CORNER AND REAL PLACE OF BEGINNING OF THE PARCEL HEREIN DESCRIBED; THENCE, S 00 47' 00" E., 250.24 FEET DISTANCE CONTINUING ALONG SAID WESTERLY W LINE OF WYOMING BLVD., N.E. TO THE SOUTHEAST CORNER OF THE PARCEL HEREIN DESCRIBED; THENCE, S 89 19' 00" W, 200.00 FEET DISTANCE TO THE SOUTHWEST CORNER OF THE PARCEL HEREIN DESCRIBED; THENCE, N 00 47' 00", 250.80 FEET DISTANCE TO THE NORTHWEST CORNER OF THE PARCEL HEREIN DESCRIBED; THENCE, N 89 28' 40" E, 200.00 FEET DISTANCE TO THE NORTHEAST CORNER AND PLACE OF BEGINNING OF THE PARCEL HEREIN DESCRIBED AND CONTAINING 50,104 SQUARE FEET (1.150 ACRE) MORE OR LESS.

STATE OF NEW MEXICO
COUNTY OF BERNALILLO
FILED FOR RECORD

07 DEC 10 PM 3:50

MS 569A 797-802

CLERK OF RECORDS
GLADYS M. DAVIS

Charles R. [Signature]

**BRADBURY & STAMM
CONSTRUCTION COMPANY, INC.**
1217 First Street Northwest
P. O. Box 25027
ALBUQUERQUE, NEW MEXICO 87125-0027

(505) 765-1200

LETTER OF TRANSMITTAL

J19/D43

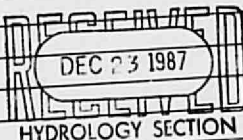
TO City of Albuquerque
Utility Development Division
Hydrology Section

DATE 12/23/87	JOB NO.
ATTENTION Mr. Bernie Montoya, C.E.	
RE: Declaration of Private Drainage Easement and Reciprocal Access Easement---Drainage Plan for Kase- man Presbyterian Hospital Ambula- tory Behavior Center ---	

WE ARE SENDING YOU ☒ Attached ☐ Under separate cover via _____ the following items:

- ☐ Shop drawings ☐ Prints ☐ Plans ☐ Samples ☐ Specifications
☐ Copy of letter ☐ Change order ☒ recorded copy of easement document

COPIES	DATE	NO.	DESCRIPTION
1	10/2/87		Declaration of Private Drainage Easement and Reciprocal Access Easement.



THESE ARE TRANSMITTED as checked below:

- ☒ For approval ☐ Approved as submitted ☐ Resubmit _____ copies for approval
☐ For your use ☐ Approved as noted ☐ Submit _____ copies for distribution
☐ As requested ☐ Returned for corrections ☐ Return _____ corrected prints
☐ For review and comment ☐ _____ 19____ ☐ PRINTS RETURNED AFTER LOAN TO US
☐ FOR BIDS DUE _____

REMARKS Reference your letter of July 16, 1987..... Attached is the filed
copy of the easement document for access and drainage from Tract A
towards Tract 1. Please send me a copy of your approval and release
of Certificate of Occupany.

COPY TO _____

SIGNED: Bob Hasaka

If enclosures are not as noted, kindly notify us at once.

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Karl Schultz
Mayor

UTILITY DEVELOPMENT DIVISION
HYDROLOGY SECTION
(505) 768-2650

July 16, 1987

Dennis A. Lorenz, P.E.
Espey, Huston & Associates, Inc.
317 Commercial Street, NE
Albuquerque, New Mexico 87102

RE: DRAINAGE PLAN FOR KASEMAN PRESBYTERIAN HOSPITAL AMBULATORY
BEHAVIOR CENTER (J-19/D43) ENGINEER'S STAMP DATED JULY 14, 1987

Dear Dennis:

Based on the information provided on your submittal of July 14, 1987, the above referenced plan is approved for Building Permit.

Please be advised that prior to Certificate of Occupancy release, we will need a filed copy of the easement document for access and drainage from Tract A towards Tract 1.

Please attach a copy of this plan to the construction sets prior to sign-off by Hydrology.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya
Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj

PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

Walter Nickerson, P.E., City Engineer

Telephone (505) 768-2500

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DRAINAGE INFORMATION SHEET

PROJECT TITLE: KASEMAN PRESBYTERIAN HOSPITAL
 LEGAL DESCRIPTION: AMBULATORY BEHAVIOR CENTER ZONE ATLAS/DWG. FILE # J19/D43
 CITY ADDRESS: N 20 ' 54 00' E 200' TR 'A' REPLAT TR 'A' EAST END ADDN
 CITY ADDRESS: 1325 WYOMING BLVD NE
 ENGINEERING FIRM: ESPEY HUSTON & ASSOC CONTACT: D. LORENZ
 ADDRESS: 317 COMMERCIAL NE PHONE: 242-1909
 OWNER: KASEMAN PRESBYTERIAN HOSPITAL CONTACT: —
 ADDRESS: 8300 CONSTITUTION NE PHONE: 291-2000
 ARCHITECT: DE LA TORRE RAINHART CONTACT: IKE BENTON
 ADDRESS: TWO WOODWARD CTR # 700 PHONE: 842 9500
 SURVEYOR: ESPEY HUSTON CONTACT: T. ALDRICH
 ADDRESS: SAME PHONE: 242-1909
 CONTRACTOR: NONE CONTACT: —
 ADDRESS: — PHONE: —

PRE-DESIGN MEETINGS:

☒ YES
☐ NO

☐ COPY OF CONFERENCE
☐ SHEET PROVIDED

RECEIVED
 JUL 14 1987
 RECEIVED
 HYDROLOGY SECTION

DRD NO. —
 EPC NO. —
 PROJ. NO. —

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE DEVELOPMENT PLAN APPROVAL
☒ FINAL PLAT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ ROUGH GRADING PERMIT APPROVAL
☐ GRADING/PAVING PERMIT APPROVAL
☐ OTHER — (SPECIFY)

DATE SUBMITTED: 7-14-87
 BY: D. LORENZ