



VICINITY MAP
SCALE: 1" = 800'

GRADING AND DRAINAGE PLAN

The Grading and Drainage Plan shown herein identifies and details the improvements required to manage developed stormwater from the Kaseman Presbyterian Hospital Ambulatory Behavior Center. The Plan shows: 1) Vicinity Map; 2) Existing and Proposed Spot Elevations; 3) Proposed Surface Improvements; 4) Drainage Basin Boundary and 5) Developed Peak Flowrates.

The project site is located on Wyoming Blvd. NE just south of Constitution Ave. NE. The site is presently fully developed as a State Farm Insurance Company Claim Center. This project proposes to convert the existing building into a medical facility and upgrade site improvements by adding sidewalks, landscaping, vehicular access to the adjacent hospital, and rehabilitating the existing asphalt parking lot. The site presently drains thru existing driveways into Wyoming Blvd. No offsite flows enter the site from the east, south or west. Nuisance flows enter from the north, and are considered negligible. As shown by Plate 38 of the Flood Insurance Rate Map, this site does not lie within a Flood Hazard Zone.

As shown by the Plan, stormwater generated by this site shall be managed consistent with existing conditions. Stormwater will be released into Wyoming thru two existing driveways. Due to existing grades, a portion of the vehicular access road located at the northwest corner of the site will drain into the hospital property. Due to the addition of landscaping improvements, the rehabilitated site will discharge less runoff than the existing site.

Temporary erosion control measures will be required during the placement of landscaping improvements only, as the site is presently paved. The landscape contractor will be required to limit the discharge of irrigation water and sediment into adjacent streets and properties.

The calculations which appear below analyze the 100 year/6 hour design storm falling within the project site during existing and proposed conditions. The design criteria utilized is as outlined in the DPM, Chapter 22, Volume II.

CALCULATIONS

1. CRITERIA

SOILS: Embudo Tifene Complex (R/C) Type "B"

RAINFALL: $P_{100} = 1.6$ in.

TIME OF CONCENTRATION: $T_c = 0.0078 S^{0.385} / L^{0.77}$ (min)

DISCHARGE: $Q = 48.44AR / T_c$ (cfs)

VOLUME: $V = 3630 AR$ (cf)

2. RUNOFF

Basin	Area	Tc	% Imp	CN	R100	Q100	V100
A	0.45	10	80	90	1.5	3.1	2,450
B	0.69	10	80	90	1.5	4.7	3,760
C	0.01	10	95	96	2.0	0.09	75
Site	1.15	10	80	90	1.5	7.8	3,340
Exist.							
Site	1.15	10	90	94	1.8	94	1,175

CONSTRUCTION NOTES

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 768-1234, FOR LOCATION OF EXISTING UTILITIES.

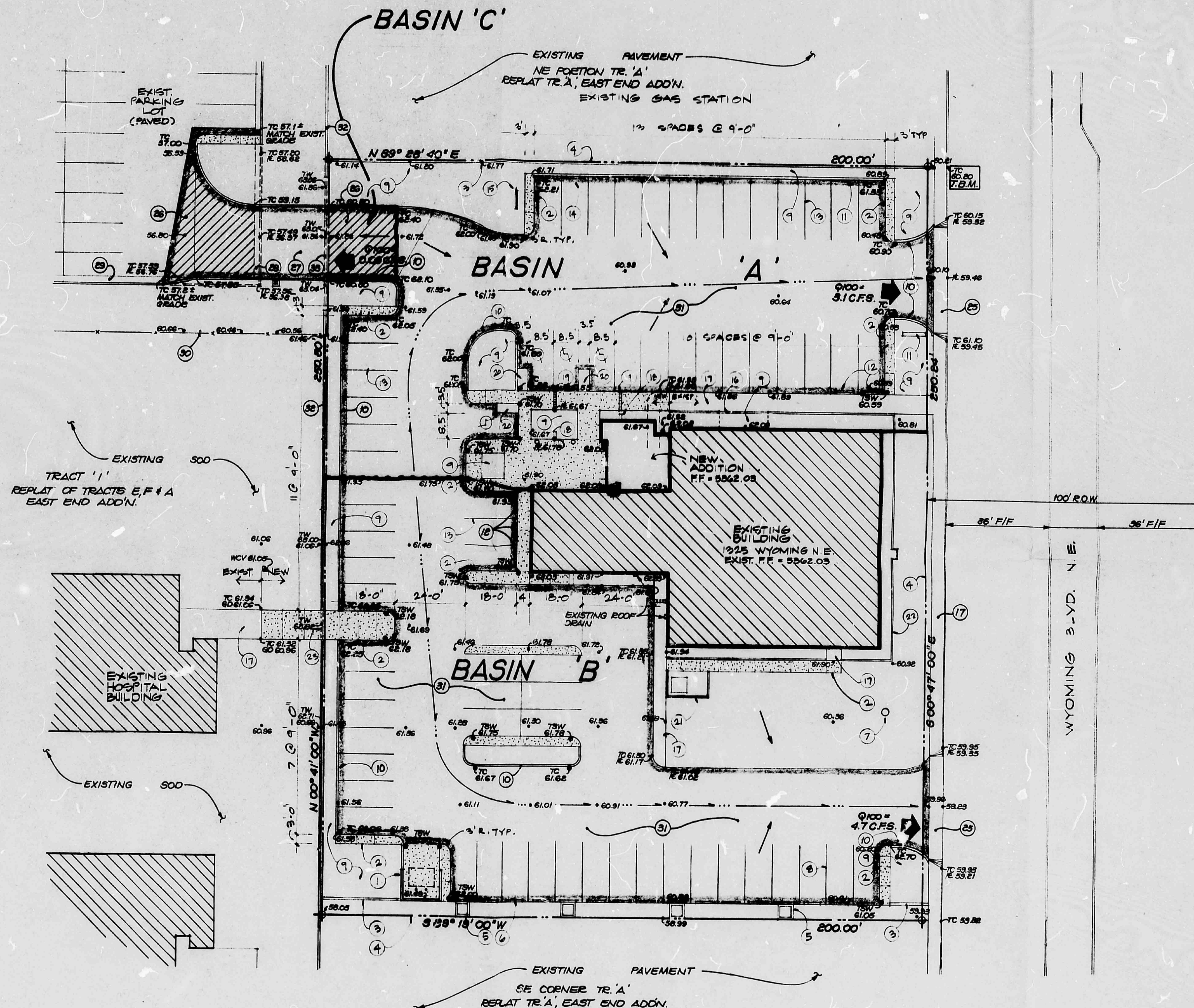
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

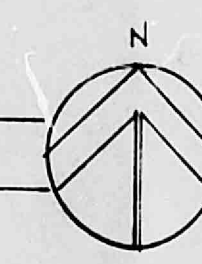
4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

5. CONTRACTOR SHALL BE REQUIRED TO OBTAIN A TOPSOIL DISTURBANCE PERMIT PRIOR TO ANY DEMOLITION OR EARTHWORK.

6. FOR LIMITS OF SITE DEMOLITION SEE DEMOLITION PLAN.



GRADING AND DRAINAGE PLAN



1" = 20'-0"

KEYED NOTES

1. Dumpster enclosure. See Detail
2. Concrete walk. See Detail
3. 4" concrete landscape edge. See Detail
4. Property line typical
5. Planter
6. Existing concrete parking bumper to remain.
7. Existing tree to remain. Protect from damage during construction.
8. Existing parking bay paving to remain. Regulate striping.
9. New landscape area. Remove paving as required.
10. 6" extruded concrete curb. See Detail
11. Building sign. See Detail
12. Relocated parking bumper.
13. New parking bay striping.
14. Existing parking bumper - remove (45).
15. Bicycle rack. See Detail
16. Construct new curb to match existing structure existing as required for min. 3" concrete thickness. Reinforce new curb with #3 rebar continuous.
17. Existing concrete walk.
18. Precast concrete splashblock 12" x 36".
19. Sidewalk drain. See Detail
20. Asphalt ramp 3'-4" wide. Maximum slope 1:15.
21. Mechanical equipment enclosure wall. Construct as per dumpster enclosure wall.
22. Existing landscape edge to remain.
23. Remove existing block wall & patch cut to match existing.
24. Existing gate.
25. Existing light pole to remain. Protect from damage.
26. Existing concrete driveway.
27. Remove and replace asphalt pavement to limits shown. Match existing grade along interface.
28. Remove existing sod. Relocate if possible. Replace with asphalt pavement.
29. Remove & dispose existing concrete curb & gutter to limits shown.
30. Existing concrete curb & gutter.
31. Existing chain link fence to remain.
32. Existing asphalt pavement to remain.
33. Existing block wall to remain.
34. Remove existing concrete block wall to limits shown. Patch ends to match existing. Remove chain link fence. Provide end poles and necessary bracing.

PROJECT BENCHMARK

The station is located 1.9 miles east of downtown Albuquerque, at the intersection of Wyoming Blvd. and Constitution Ave.

To reach the station from the intersection of I-40 and Wyoming Blvd., go north on Wyoming 0.3 miles to Constitution Ave. The station is located in the southwest quadrant of the intersection.

The station mark is a standard A.C.S. brass tablet stamped "6-119, 1979" set flush with the curb. Elevation = 5366.97 feet M.S.L.

LEGAL DESCRIPTION

Northerly 250 feet of the southerly 480 feet of the easterly 200 feet of Tract 'A', Replat of Tract 'A', East End Addition.

LEGEND

- PROPOSED EDGE OF ASPHALT PAVEMENT
- EXISTING RIDGE LINE
- KEYED NOTE
- PROPOSED CONCRETE
- DRAINAGE SHALE
- DIRECTION OF FLOW
- DEVELOPED FLOWRATE
- EXISTING SPOT ELEVATION
- EXISTING BUILDINGS
- ASPHALT PAVEMENT REMOVAL & REPLACEMENT
- PROPOSED ELEVATION

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HYDROLOGY SECTION

job title
KASEMAN PRESBYTERIAN HOSPITAL
AMBULATORY BEHAVIOR CENTER
1325 WYOMING BLVD. N.E. 10429 7/9/87
sheet title
GRADING & DRAINAGE PLAN

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