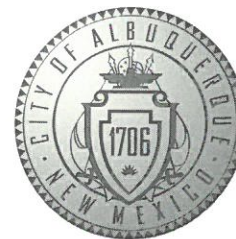


# CITY OF ALBUQUERQUE



January 13, 2020

Ronald R. Bohannon, P.E.  
Tierra West LLC  
5571 Midway Park Place NE  
Albuquerque, NM 87109

**Re: Maverik, Wyoming & Constitution**  
1401 & 1415 Wyoming Blvd NE, 87112  
**30-Day Temporary Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's/Architect's Stamp dated 2-6-19 (J19D049)  
Certification dated 1-8-20

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 1-9-20, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

Albuquerque

- Please add missing truncated domes (ADA aisle connecting to sidewalk and access off Wyoming)
- Please add parking bumpers to stalls on SW side of building
- A complete Work Order close out package is required.

NM 87103

Once corrections are complete resubmit

www.cabq.gov

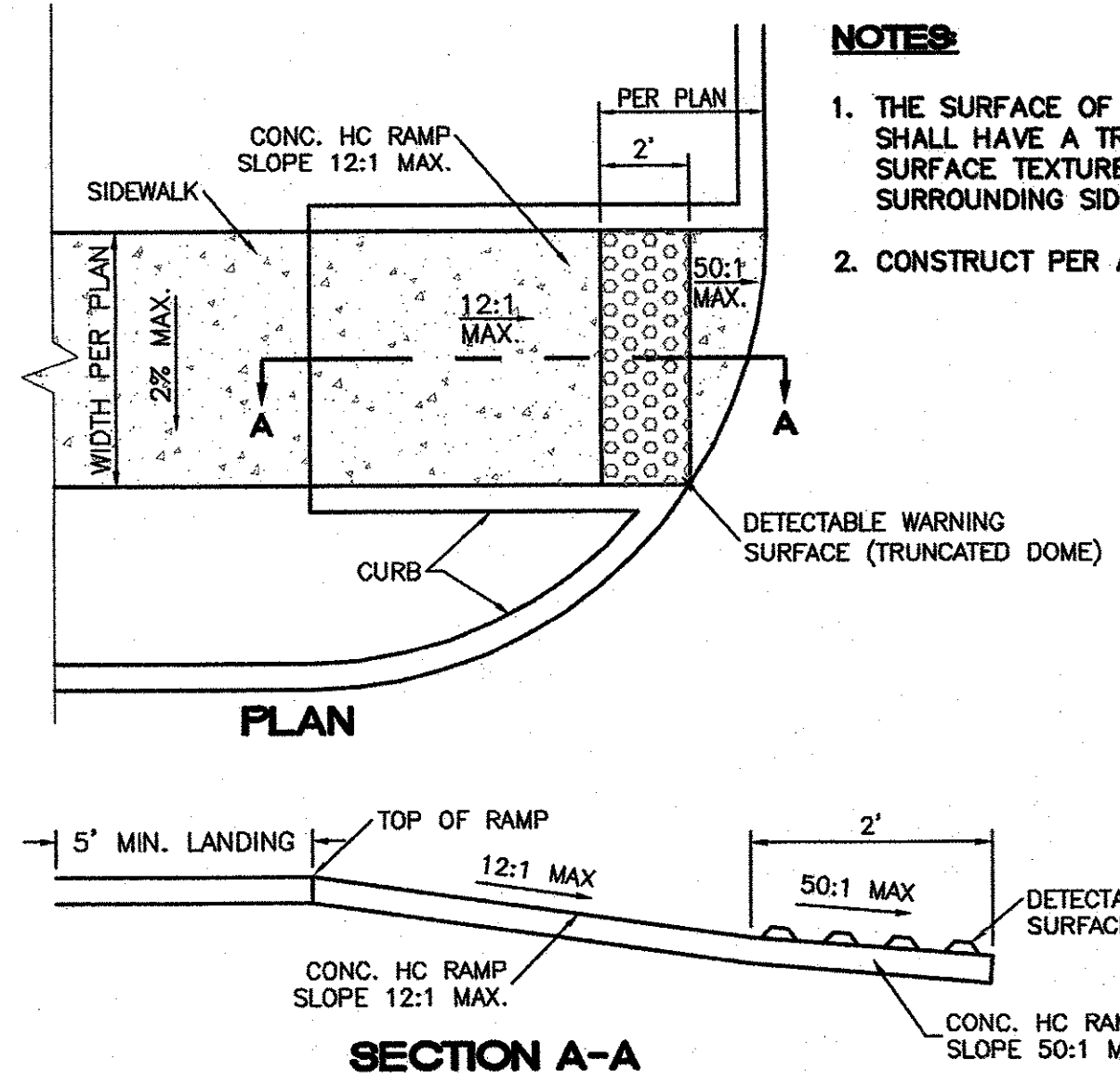
1. The approved and stamped TCL, with changes drawn in red.
2. Transportation Certification letter on either the plan or applicants letterhead.
3. A Drainage Transportation Information Sheet (DTIS)
4. Send an electronic copy of your submittal to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov).
5. The \$75 re-submittal fee for log in and evaluation by Transportation.

Sincerely,

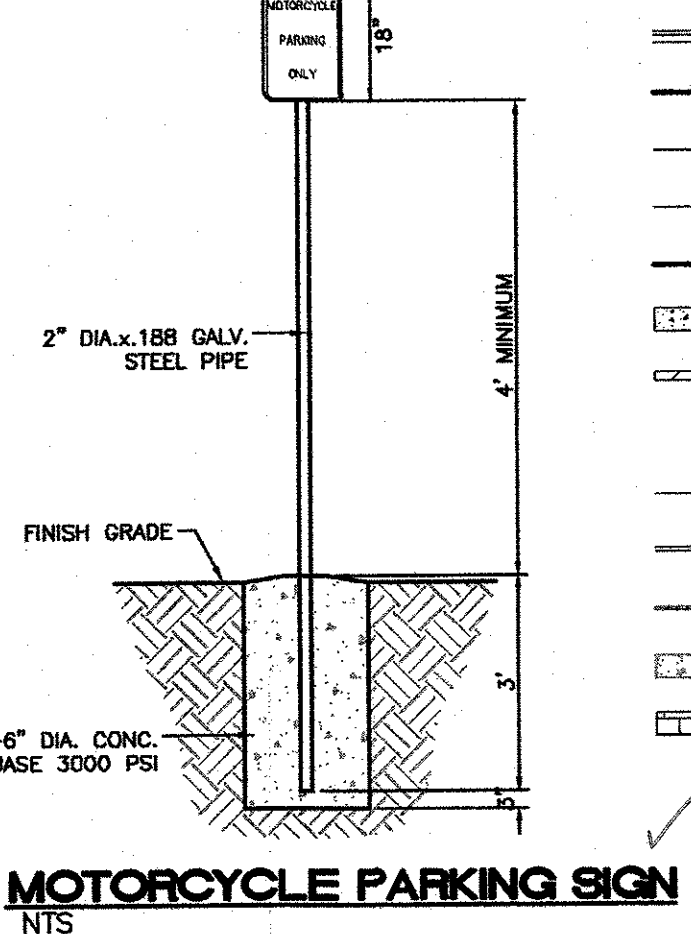
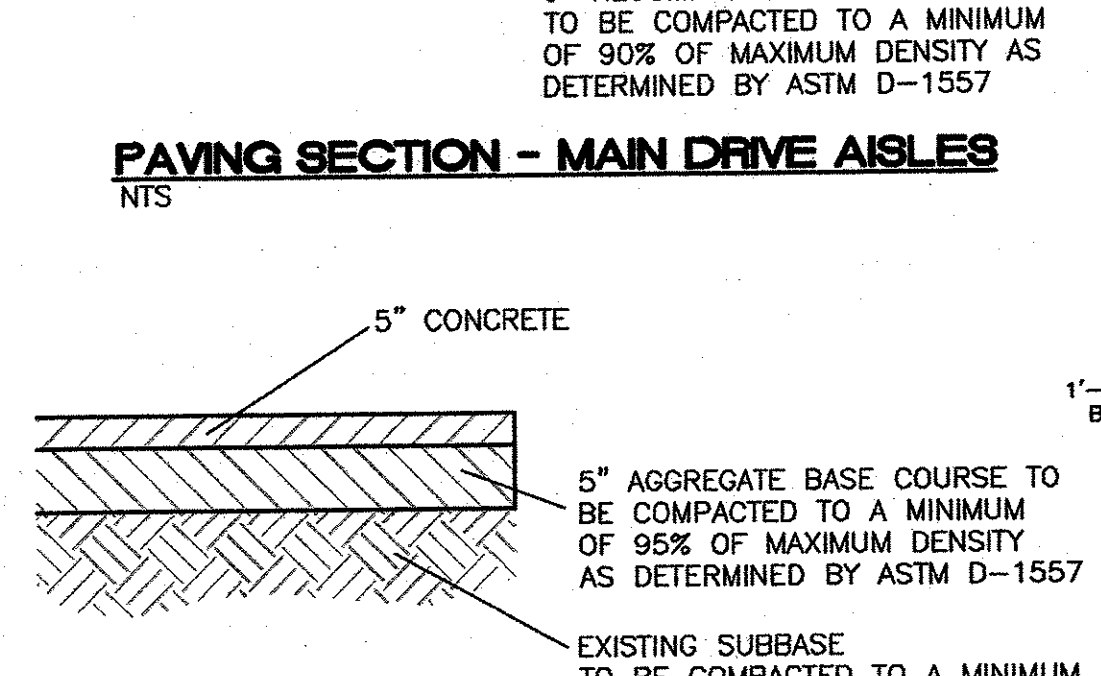
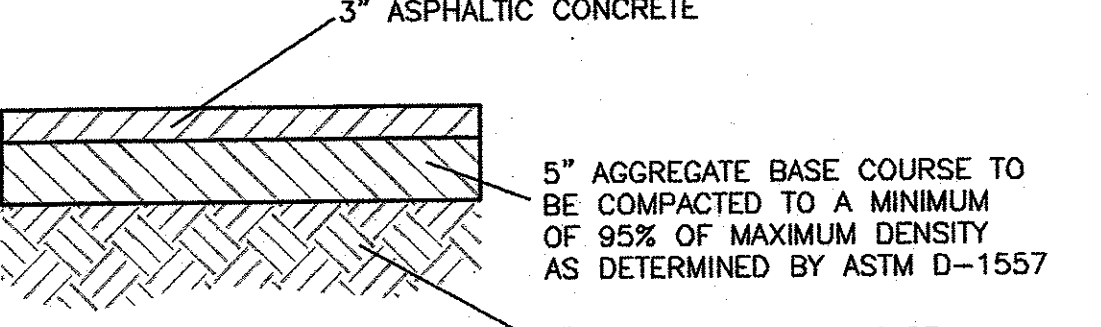
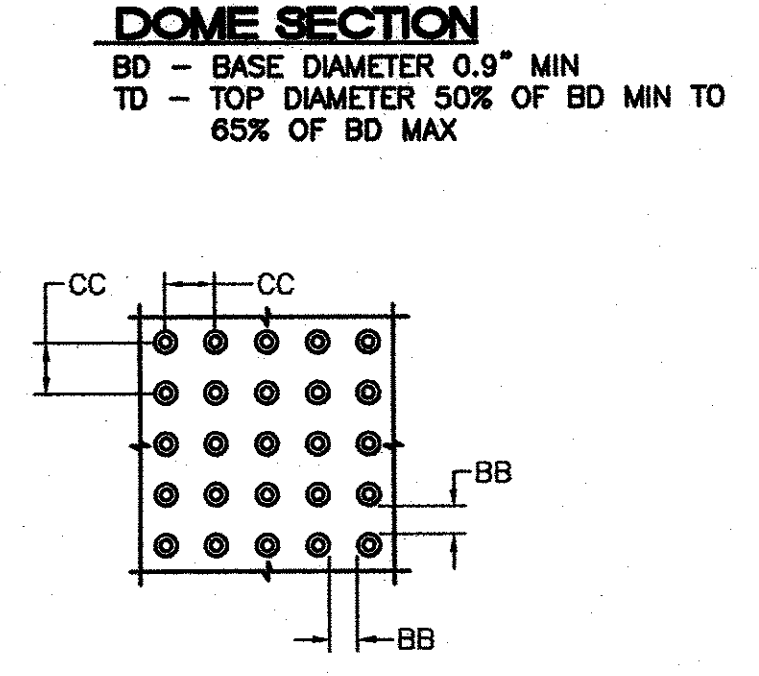
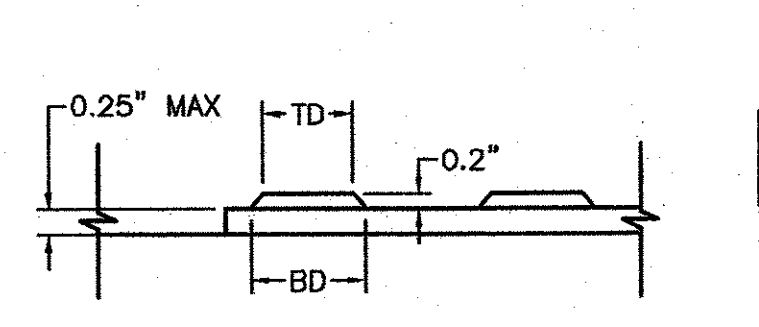
Ernie Gomez,  
Plan Checker, Planning Dept.  
Development Review Services

EG via: email  
C: CO Clerk, File

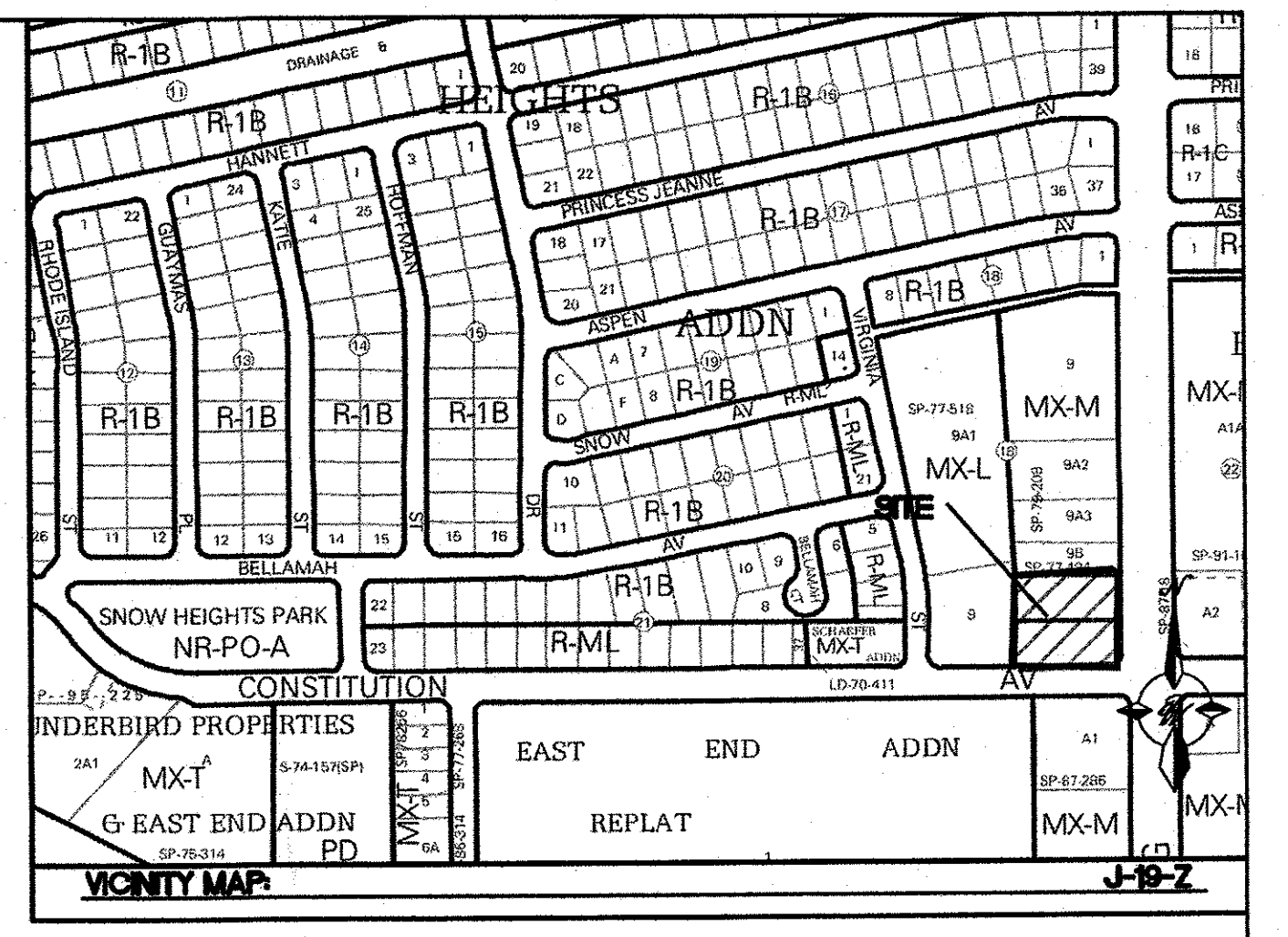




- NOTES:**
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
  2. CONSTRUCT PER A.D.A. STANDARDS.



- LEGEND**
- CURB & GUTTER
  - BOUNDARY LINE
  - EASEMENT
  - CENTERLINE
  - BUILDING
  - SIDEWALK
  - RETAINING WALL
  - EXISTING STREET LIGHTS
  - STRIPING
  - EXISTING CURB & GUTTER
  - EXISTING BOUNDARY LINE
  - EXISTING SIDEWALK
  - CONCRETE PAVERS



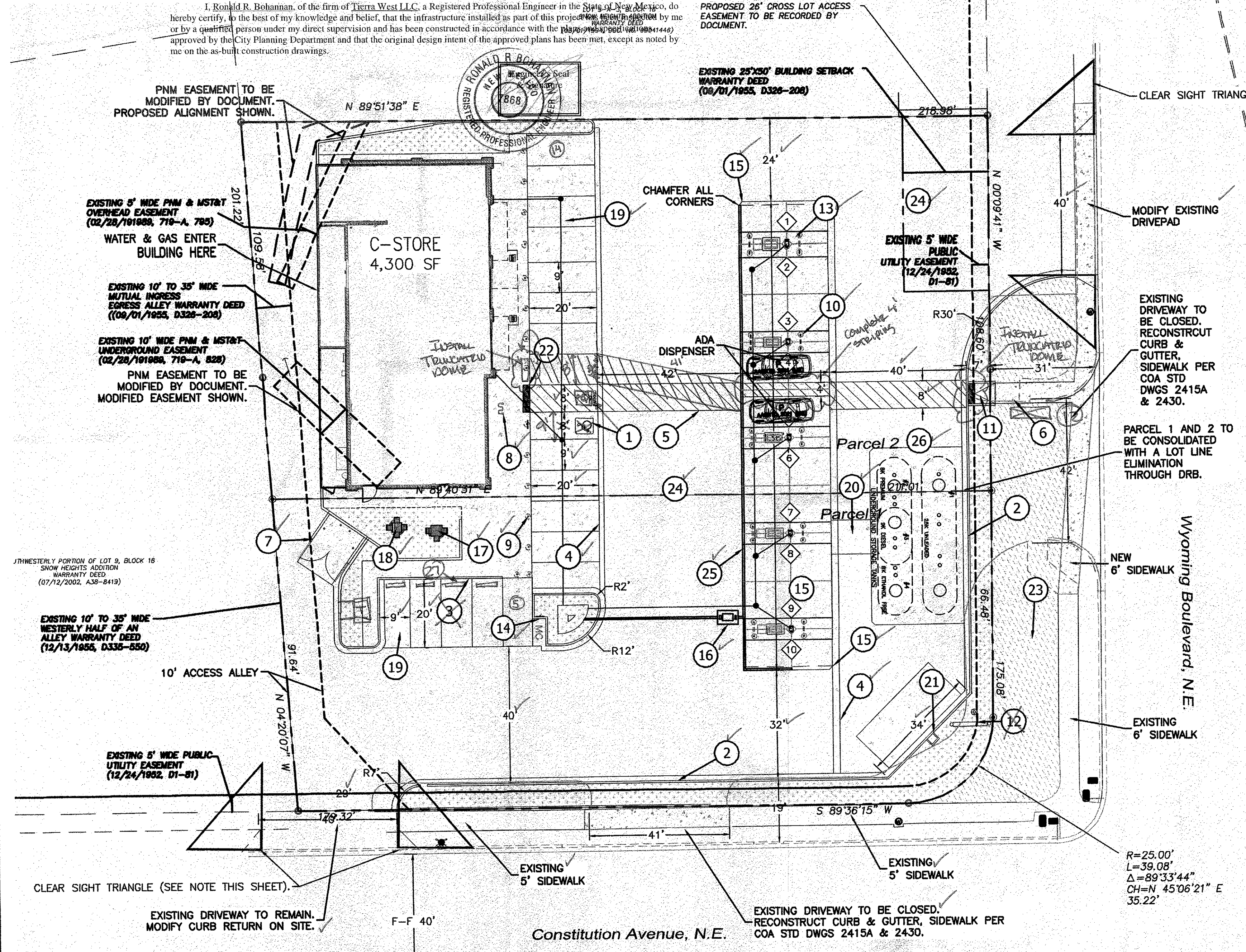
**LEGAL DESCRIPTION:**  
LOT 9A, BLOCK 18 SNOW HEIGHTS

**UNIDIRECTIONAL HC RAMP**  
NOT TO SCALE CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

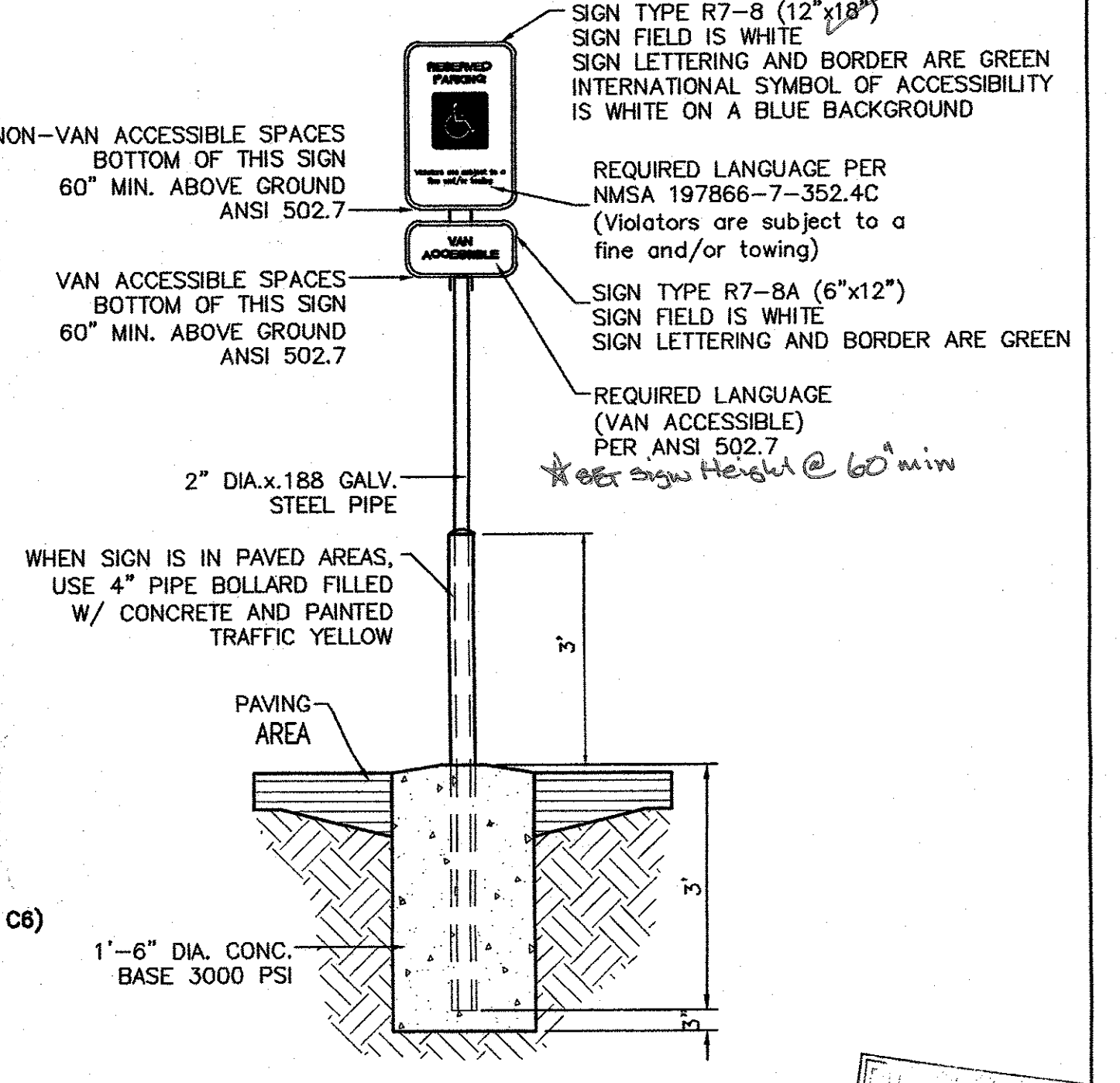
I, Ronald R. Bohannon, of the firm of **Tierra West LLC**, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project was designed by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Planning Department and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings.

PROPOSED 26' CROSS LOT ACCESS EASEMENT TO BE RECORDED BY DOCUMENT.

EXISTING 25'x30' BUILDING SETBACK WARRANTY DEED (08/01/1955, D328-208)



- KEYED NOTES**
- 1 ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN
  - 2 6" CURB AND GUTTER (SEE DETAIL SHT. C6)
  - 3 6" HEADER CURB (SEE DETAIL SHT. C6)
  - 4 2' CONCRETE WATERWAY (SEE DETAIL SHT. C6)
  - 5 8' PEDESTRIAN CROSSWALK
  - 6 5' CONCRETE SIDEWALK PER COA DWG 2431
  - 7 DUMPSTER W/RECYCLING
  - 8 BICYCLE RACKS (SEE DETAIL SHT. C7)
  - 9 "PIPE" BOLLARD (SEE DETAIL SHT. C7)
  - 10 "HOOP" BOLLARDS (SEE DETAIL SHT. C7)
  - 11 UNIDIRECTIONAL HC RAMP (DETAIL THIS SHEET)
  - 12 MAVERIK MONUMENT SIGN (SEE ARCH. PLANS)
  - 13 GAS PUMP ISLAND (TYP)
  - 14 MOTORCYCLE PARKING WITH SIGN (SEE DETAIL SHEET C6)
  - 15 CONCRETE SLAB W/CHAMFERED CORNERS
  - 16 OIL-WATER SEPARATOR (SEE DETAIL SHT. C8)
  - 17 ADA PICNIC TABLE (SEE ARCH. PLANS)
  - 18 PICNIC TABLE (SEE ARCH. PLANS)
  - 19 CONCRETE PARKING STALL (SEE DETAIL SHT. C6)
  - 20 PETROLEUM TRENCH CAP SECTION (SEE DETAIL SHT. C6)
  - 21 XACTAIR AIR STATION (SEE DETAIL SHT. C6)
  - 22 TRUNCATED DOMES (SEE DETAIL SHT. C8)
  - 23 OFFSITE LANDSCAPING IN ROW (PER IDO 5-6-(C)(9))
  - 24 ASPHALT PAVING (SEE GEOTECH REPORT)
  - 25 TRENCH DRAIN (SEE GRADING PLAN SHT. C2)
  - 26 UNDERGROUND STORAGE FUEL TANKS (REFER MECH. PLANS)
  - 27 PAVED RAMP
- CLEAR SIGHT TRIANGLE NOTE:**  
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

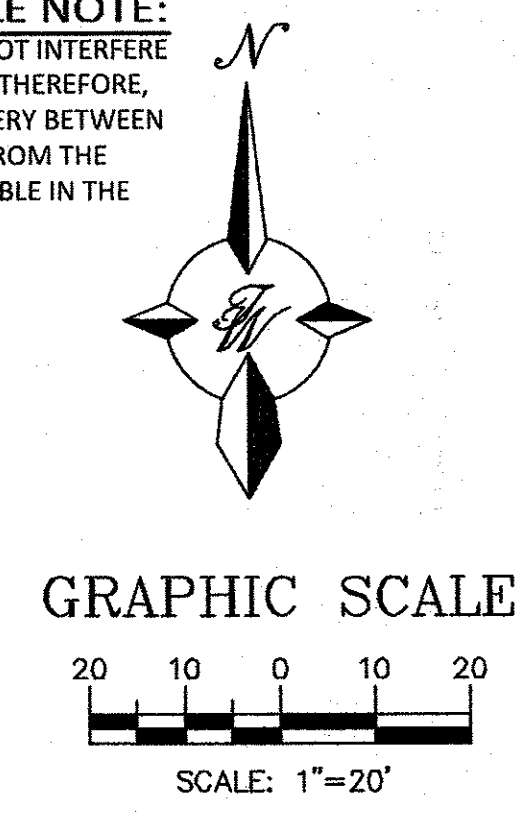


**SITE DATA**

PROPOSED USAGE:	GAS CONVENIENCE STORE
IDO CLASSIFICATION:	LIGHT VEHICLE FUELING STATION IDO 4-3(D)(17)
LOT AREA:	42,250 SF (0.969 ACRES)
BUILDING AREA:	4,300 SF
STACK:	2X5 (10 UNITS)
ASPHALT AREA:	22,575 SF
PARKING REQUIRED:	17 SPACES (4 SPACES PER 1,000 SF)
PARKING PROVIDED:	19 SPACES
HC PARKING REQUIRED:	1 SPACES
HC PARKING PROVIDED:	1 SPACES (1 VAN ACCESSIBLE)
MC PARKING REQUIRED:	1 SPACES
MC PARKING PROVIDED:	1 SPACES
BICYCLE PARKING REQUIRED:	2 SPACES
BICYCLE PARKING PROVIDED:	2 SPACES (4)
LANDSCAPE AREA REQUIRED:	5,692 SF
LANDSCAPE AREA PROVIDED:	ON SITE: 3,445 SF OFF SITE IN ROW: 2,247 SF (IDO 5-6-(C)(9)) TOTAL=5,692 SF

**TRAFFIC CIRCULATION LAYOUT APPROVED**  
02/07/19

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



	<b>MAVERIK</b>	DRAWN BY LA
	1401 WYOMING BLVD. 87112	DATE 2/5/19
	<b>TRAFFIC CIRCULATION LAYOUT</b>	2018055-TCL
	<b>Tierra West, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>TCL 1</b>
JOB # 2018055		





# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** Maverik Wyoming & Constitution **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** 009 018 Snow Heights Add S100ft of E1/2 L9/ 018SE Port of Lot 9 Snow Heights Addn  
**City Address:** 1401 & 1415 Wyoming Blvd. NE Albuquerque, NM 87112

**Applicant:** Tierra West, LLC **Contact:** Richard Stevenson  
**Address:** 5571 Midway Park Place NE Albuquerque, NM 87109  
**Phone#:** 505-858-3100 **Fax#:** 505-858-1118 **E-mail:** rstevenson@tierrawestllc.com

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

**DEPARTMENT** ☒ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (Temporary)
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 1/9/2020 **By:** Richard Stevenson

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_