

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

July 27, 2023

Joseph F. Simons, R.A.
Simons Architecture
P O Box 67408
Albuquerque, NM 87193

Re: Burger King
7101 Lomas Blvd. NE
Traffic Circulation Layout
Architect's Stamp 01-31-23 (J19-D052)

Dear Mr. Simons,

The TCL submittal received 07-21-2023 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

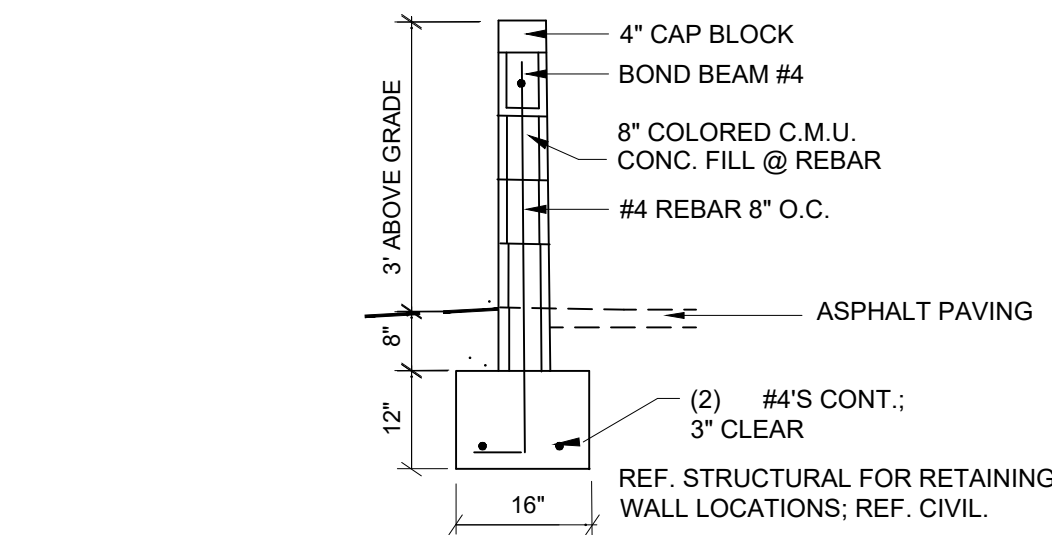
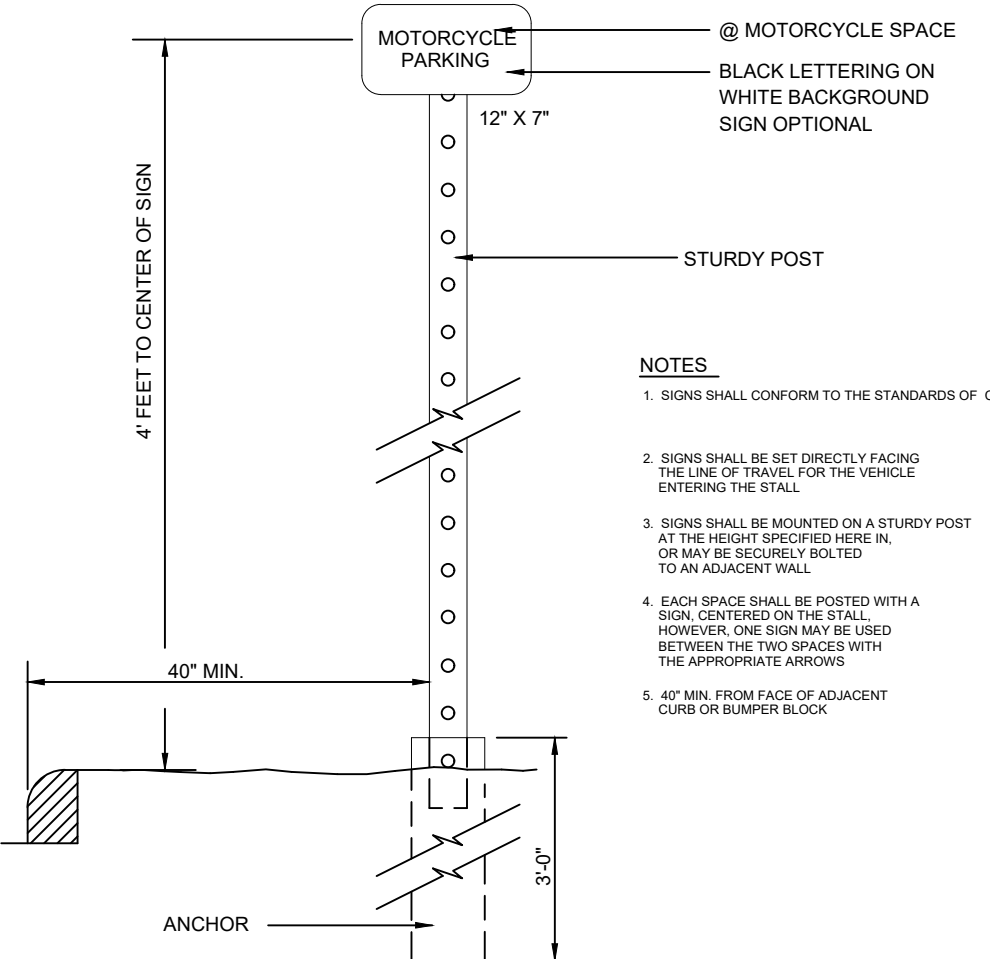
When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation. **keynote 33: Sidewalk Easement is a Condition of Releasing Final CO.**

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

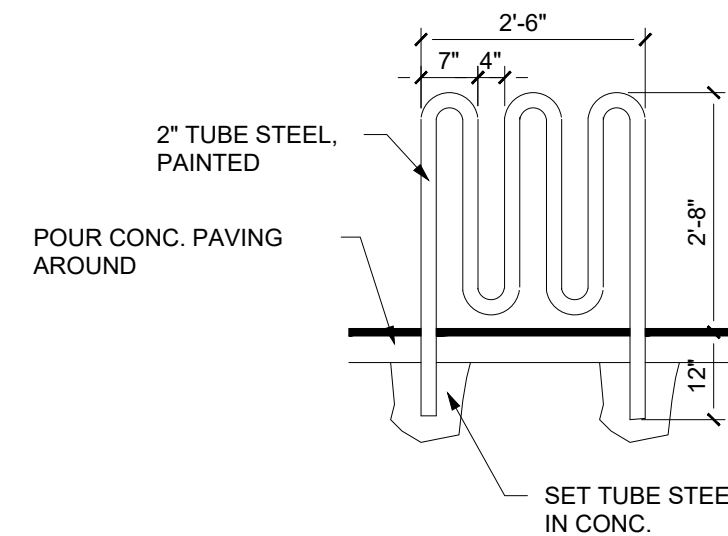
Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



GARDEN WALL DETAIL

keynote 33: Sidewalk Easement is a Condition of Releasing
Final CO.

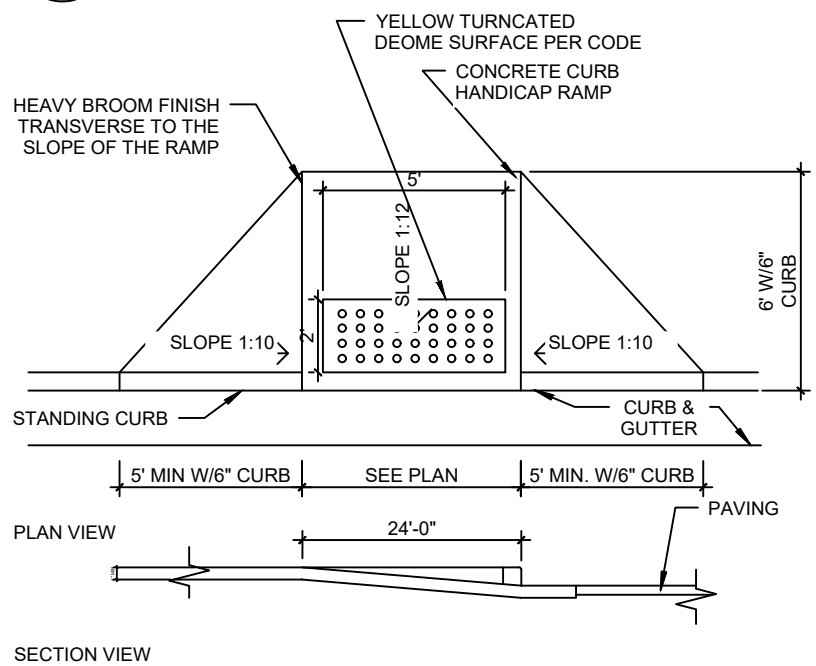
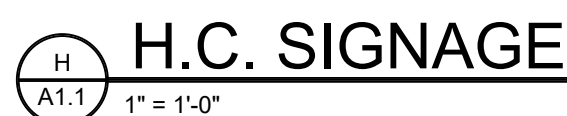


BICYCLE RACK

SCALE 1/2" = 1'-0"

**TRAFFIC CIRCULATION
LAYOUT APPROVED**

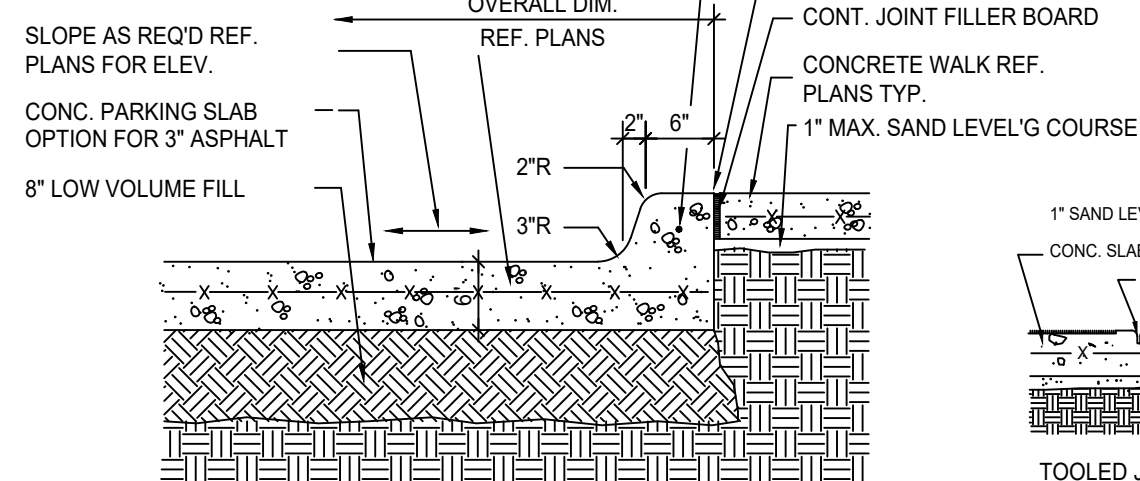
Ernest Armijo 7/27/2023
Signed Date



G RAMP STANDARDS

A1.1 NTS

1 LAYER 6X6 W4.0 X W4.0
WWF AT CENTER OF SLAB

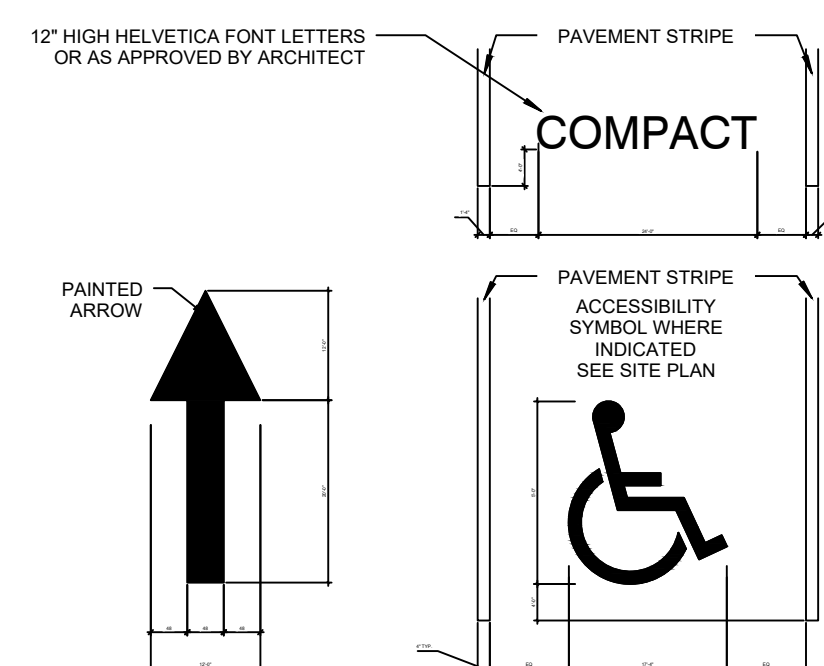


PAVING / CURB DETAIL

A1.1 $3/4" = 1'-0"$

DO NOT ENTER SIGN

$$\text{A1.1} \quad 1'' = 1' - 0''$$



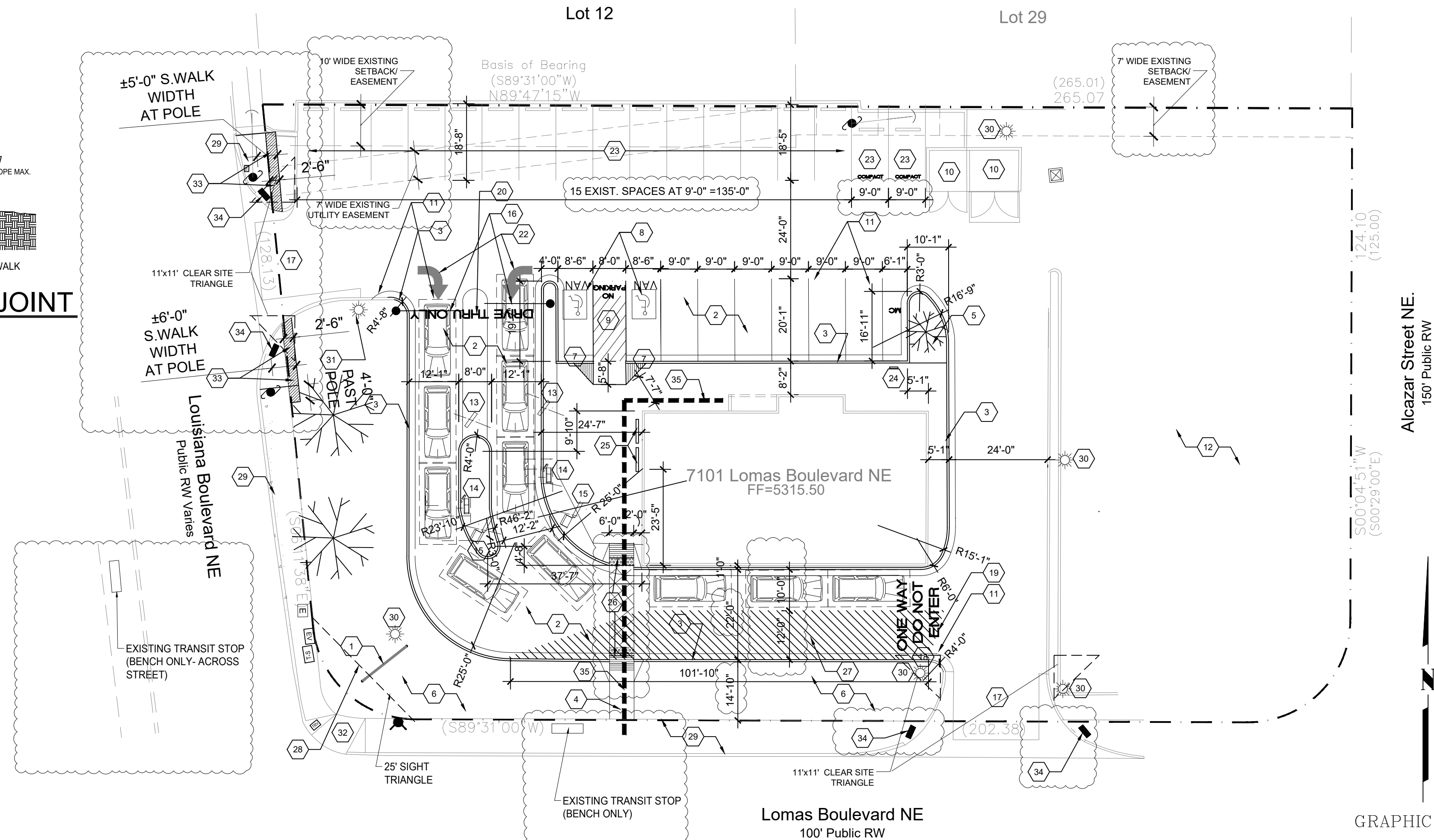
MOTORCYCLE SIGNAGE

A1.1 1" = 1'-0"



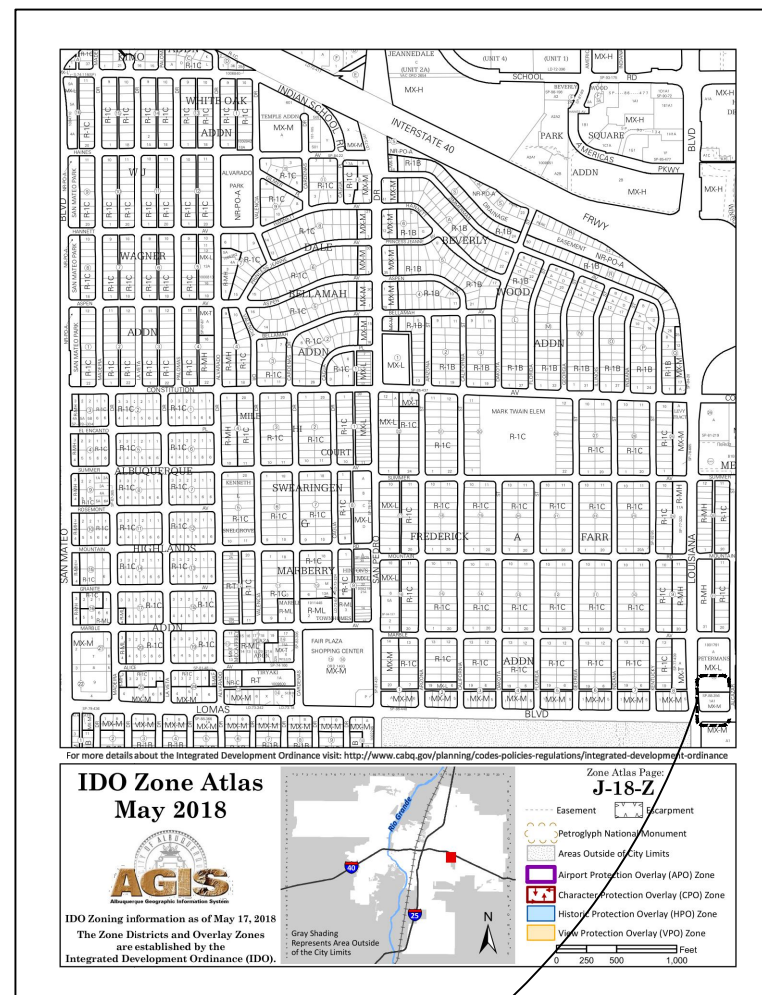
A1.1 SCALE 1/2" = 1'-0"

Peterman's Subdivision of Block 32 Mesa del Norte
(B1-117, 5/17/1946)



GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft



VICINITY MAP

LEGAL DESCRIPTION

LOT 1A1 BLOCK 32 MESA DEL NORTE
ALBUQUERQUE, NEW MEXICO 87110
BERNALILLO COUNTY

SITE DATA

ZONING:	MX-M
ZONE ATLAS:	J18
SITE SIZE:	38,376 SQ. FT. (.881 AC.)
BUILDING SIZE / % OF SITE:	2,630 SQ. FT. / 6.85%

PARKING CALCULATIONS

EXISTING AND NEW BUILDING

BUILDING AREA: 2,630 S.F.

PARKING CALCULATIONS:

8 SPACES / 1000 S.F. 21

TOTAL STANDARD PARKING PROVIDED =	21 SPACES
TOTAL COMPACT PARKING PROVIDED =	2 SPACES
TOTAL H.C. PARKING REQUIRED =	1 SPACES
TOTAL H.C. PARKING PROVIDED =	2 SPACES
TOTAL MOTORCYCLE SPACES REQUIRED =	1 SPACE
TOTAL MOTORCYCLE SPACES PROVIDED =	1 SPACE
<u>TOTAL PARKING PROVIDED =</u>	<u>25 SPACES</u>

1 BICYCLE RACK PER 20 REQUIRED PARKING SPACES

BIKE SPACES REQUIRED =	2 SPACES
BIKE SPACES PROVIDED =	2 SPACES

LANDSCAPE CALCULATIONS

LOT AREA:	38,376 S.F.
BUILDING AREA:	2,630 S.F.
NET LOT AREA:	81,096 S.F.
LANDSCAPE AREA REQUIRED (15%):	35,746 S.F.
GROUND COVER REQUIRED: (75% OF LANDSCAPE)	5,362 S.F. 4,021 S.F.
STREET TREES:	30' O.D.
LANDSCAPE AREA PROVIDED (16.4%):	5,851 S.F.

 KEYED NOTES

1. EXISTING MONUMENT SIGN
2. ASPHALT PAVING; REF. DETAIL.
3. CURB; REF. DETAIL; PATCH AT EXIST.
4. SIDEWALK; REF. DETAIL; CONNECT TO
EXISTING.
5. LANDSCAPE AREA; PATCH L.S. W/
DESERT WILLOW 30" O.C. AND SANTA
FE BROWN GRAVEL.
6. EXISTING LANDSCAPE AND STREET
TREES; PATCH GROUND COVER
7. ADA COMPLIANT PARKING SIGNAGE
PER ANSI 502.6
8. PAINTED SYMBOL PER ANSI 703.7
9. ACCESSIBLE ASILE PER ANSI 502.3
10. PAINT "NO PARKING" AS SHOWN
11. EXISTING DUMPSITER.
12. PATCH PAVING @ CONNECTION;
FIELD VERIFY
13. THIS AREA IS NOT IN CONTRACT
PREVIEW MENU
14. SKEWER / ORDER PLYON
15. MENU PLYON
16. MAX HEIGHT PLYON
17. EXISTING CURB CUT
18. SIGNAGE "DO NOT ENTER" REF. DETAIL.
19. PAINTED LETTERS 18" HIGH READS
"ONE WAY DO NOT ENTER"
20. SIGNAGE SIM TO ONE WAY SIGN EXCEPT
TO READ "DRIVE THRU ONLY."
21. PAINTED LETTERS 18" HIGH READS
"DRIVE THRU ONLY"
22. PAINT BIRECTIONAL ARROWS
10" LONG OR COMPARABLE PATTERN.
23. EXISTING PARKING STRIPING; PAINT
COMPACT SPACE WHERE SHOWN.
24. MOTORCYCLE SIGNAGE. REF. DETAIL
AND PAINT "MC" AS SHOWN
25. 2 BIKE RACKS, 5 BICYCLE SPACES MIN.
26. STRIPE PEDESTRIAN ACCESS AT TRUNC. MATS-
SIDEWALK FULL 12" WIDE RAMP AT BOTH
DRIVE THRU CURBS- TYP.
27. RETAINING WALL REF. CIVIL FOR
AND STRUCTURAL FOR DETAIL.
28. LANDSCAPING AND SIGNAGE WILL
NOT INTERFERE WITH CLEAR SIGHT
REQUIREMENTS. THEREFORE,
SIGNS, WALLS, TREES, AND
SHRUBBERY BETWEEN 10' AND 8
FEET TALL (AS MEASURED FROM
THE GUTTER) PART WILL BE
ACCEPTABLE IN THE CLEAR SITE
TRIANGLE)
29. ALL BROKEN OR CRACKED SIDEWALK
MUST BE REPLACED WITH SIDEWALK
CURB, AND GUTTER TO BUILT TO COA
STANDARD DETAIL 2430 & 2415A
30. EXISTING LIGHT POLES
31. MOVE EXISTING LIGHT POLE TO THIS LOC.
32. EXISTING PEDESTRIAN RAMP.
33. CONSTRUCT A 2'-6" WIDE SIDEWALK CONC
STRIP TO WIDEN SIDEWALK AROUND
EXISTING TELEPHONE POLE AT THIS
LOCATION SUCH THAT 4'-0" IS CLEAR MIN.
BETWEEN POLE AND INNER EDGE OF
WALK- BOTH SIDES OF ACCESS ENTRY.
FOLLOW CONTOURS OF WALK AND RAMP
FLUSH WITH ADJACENT AND EXTEND TO
CURB LINE.
34. INSTALL 24"X36" TRUNCATED DOME ADA
MAT AT EXISTING CURB RAMP THIS
LOCATION
35. ACCESSIBLE PATH FROM STREET
SIDEWALK TO ENTRY INDICATED BY
DASHED LINE
- SCALE
- 40' 80'