

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 16, 2023

Joe Simons, RA
Simons Architecture PC
P.O. Box 67408
Albuquerque, NM 87193

Re: Burger King
7101 Lomas Blvd. NE
Traffic Circulation Layout
Architect's Stamp 01-31-23 (J19-D052)

Dear Mr. Simons,

Based upon the information provided in your submittal received 05-01-23, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Identify all existing access easements and rights of way width dimensions.
2. Please provide dimensions for the existing parking spaces at the north side of the site.
3. ADA curb ramps at both site accesses must be updated to current standards and have truncated domes installed.
4. Keynote 4 & 26: Please define ADA pathway from the public sidewalk to the building entrance by labeling flush, or ramps, and provide the width.
5. Site access off Louisiana: A minimum 4-foot wide pedestrian pathway should be shown around each existing pole. Please show this dimension on the site plan to ensure that a minimum 4-foot wide path is obtained.

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Albuquerque

NM 87103

www.cabq.gov



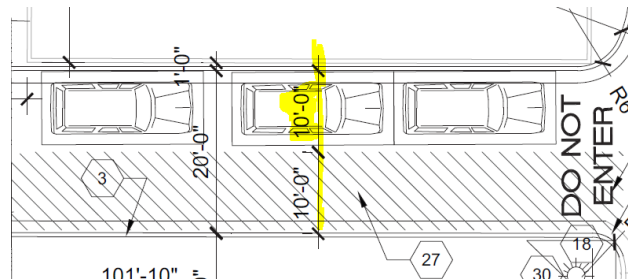
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6. Please provide "ONE WAY" and "DO NOT ENTER" signage at the beginning and the exist of the drive-thru lane.
7. 12 ft. is the minimum drive-thru lane width. Please revised the site plan.



8. Please specify the City Standard Drawing Number when applicable.
9. Please provide a letter of response for all comments given.
10. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: mgrush@cabq.gov**)

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Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

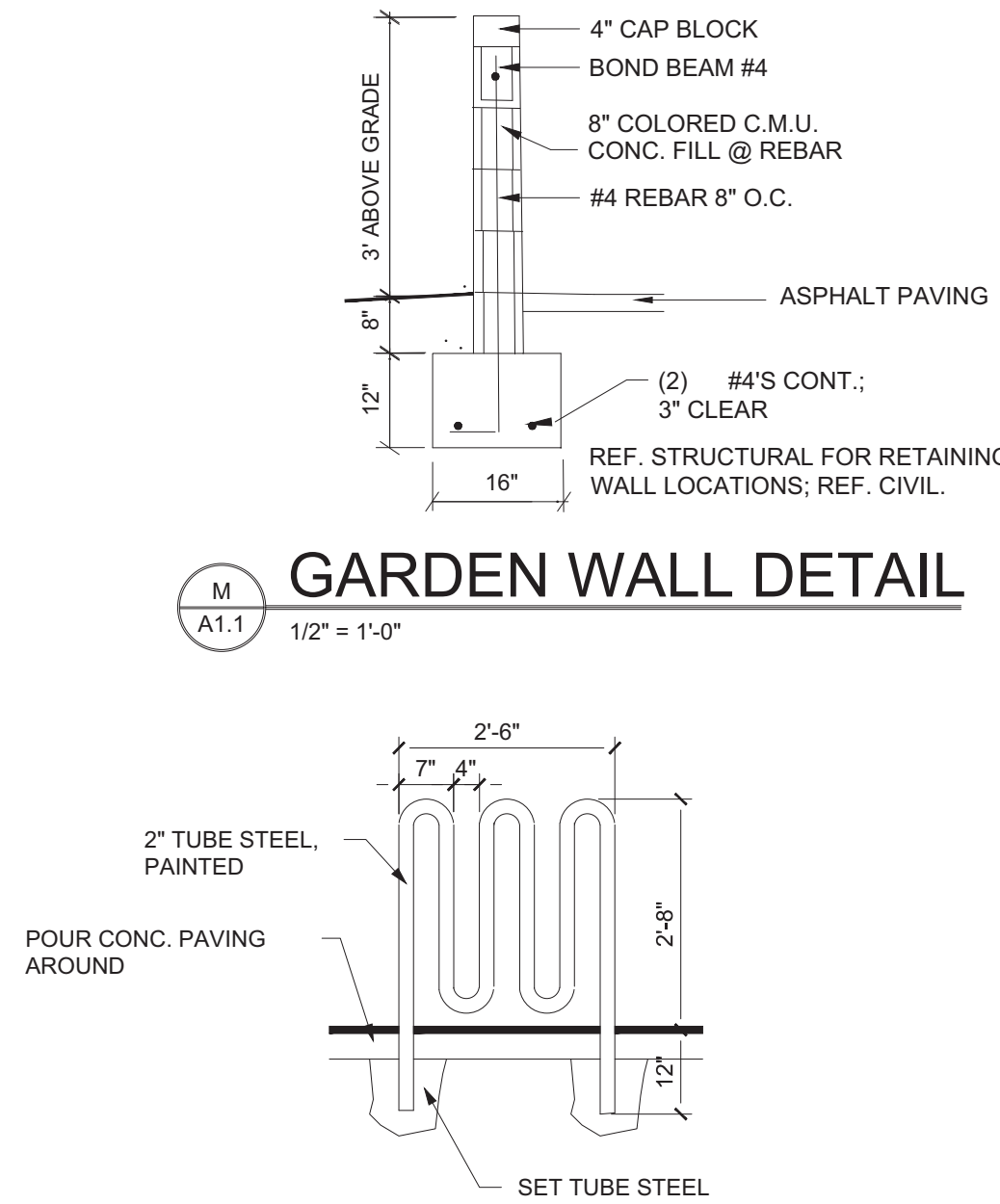
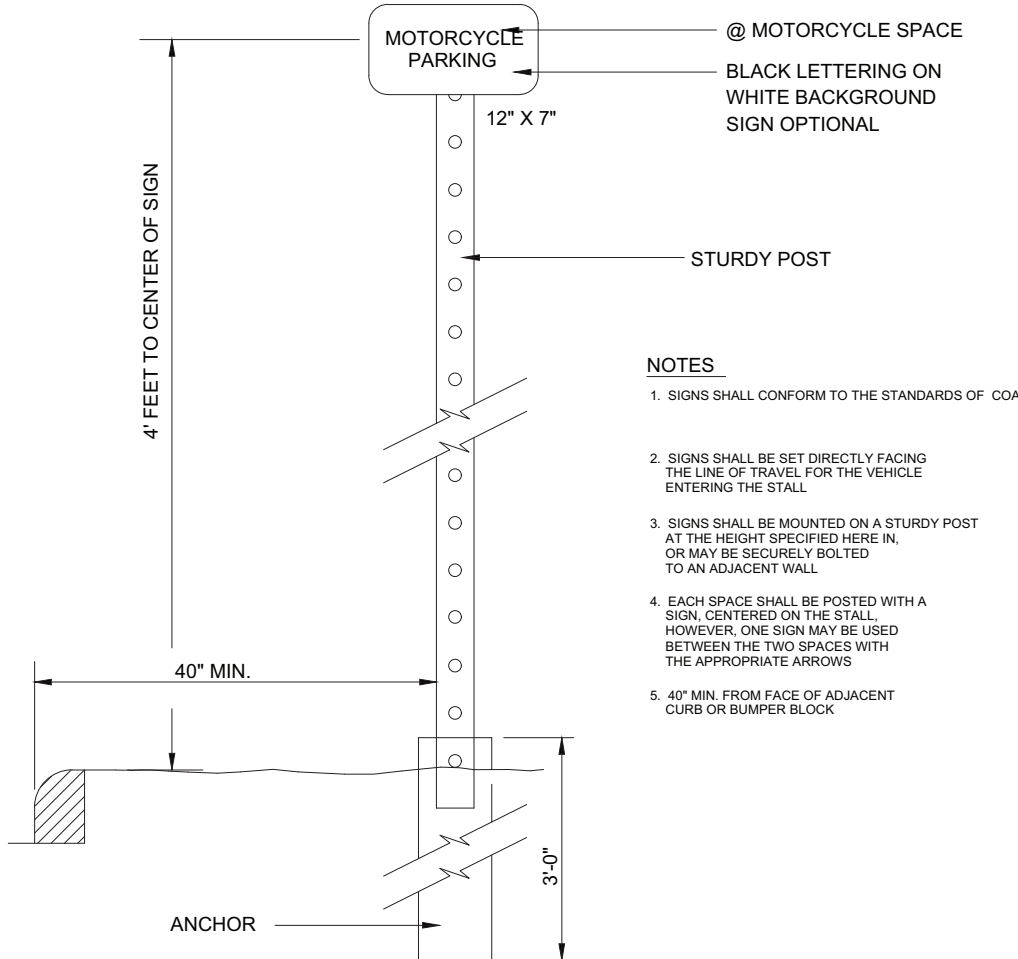
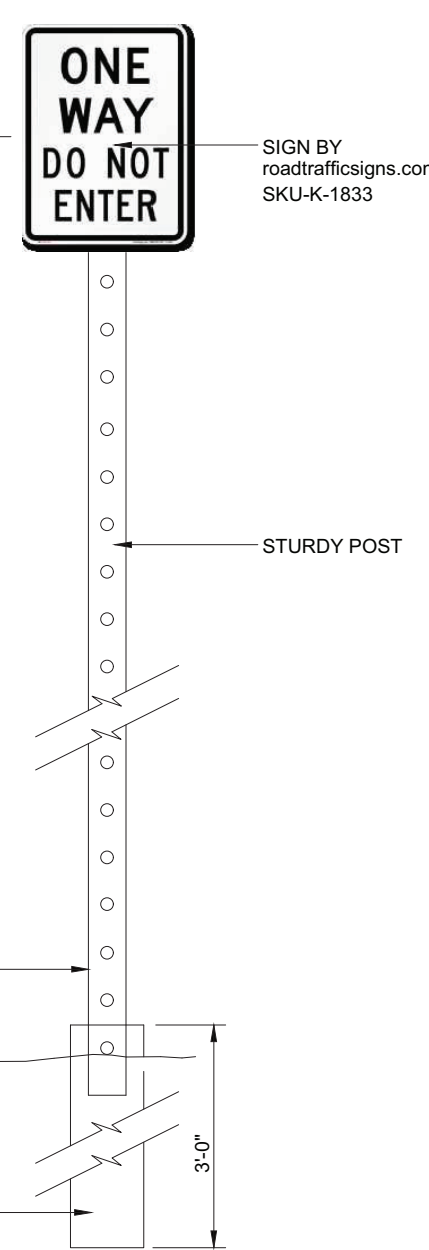
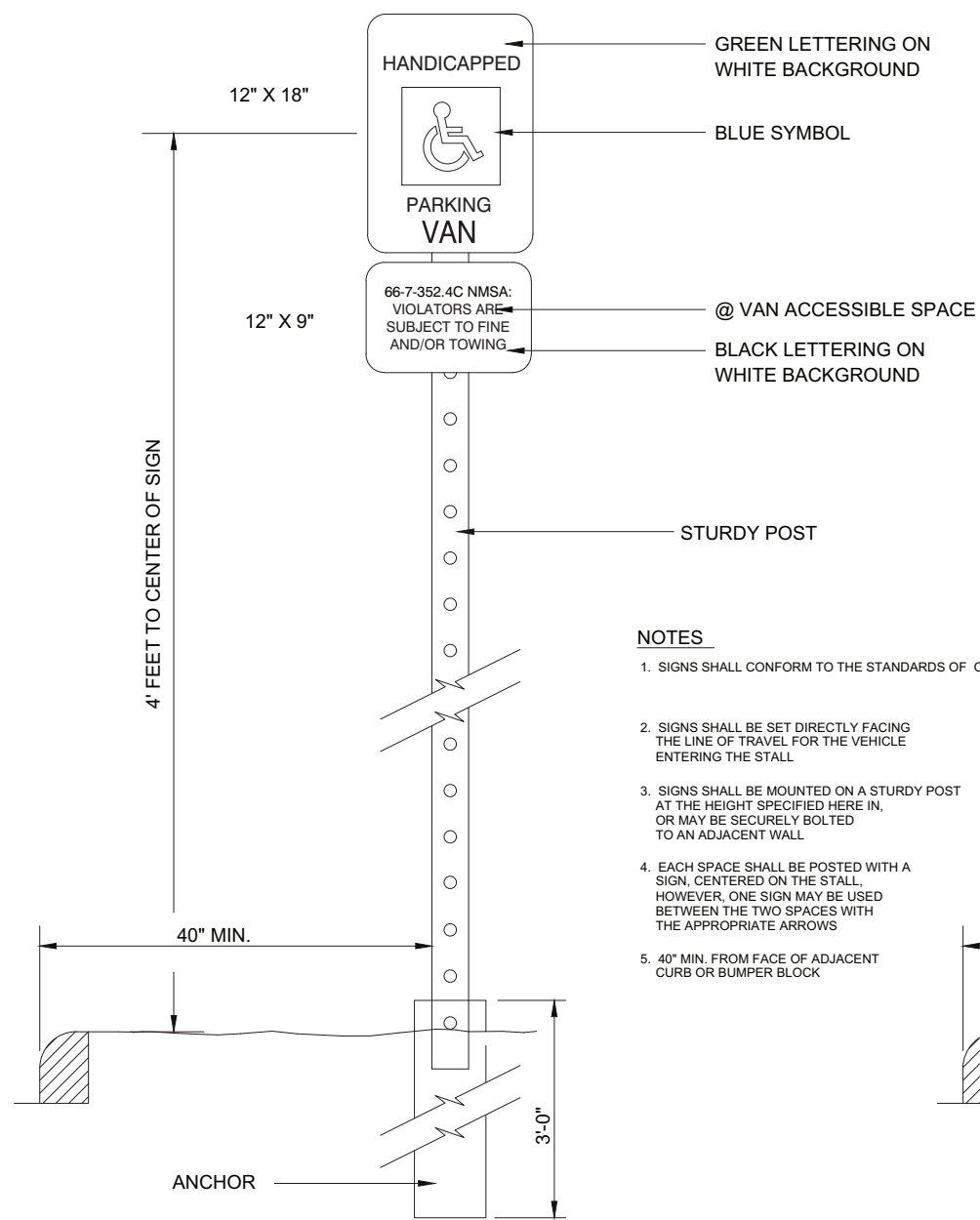
If you have any questions, please contact me at (505) 924-3675.

Sincerely,

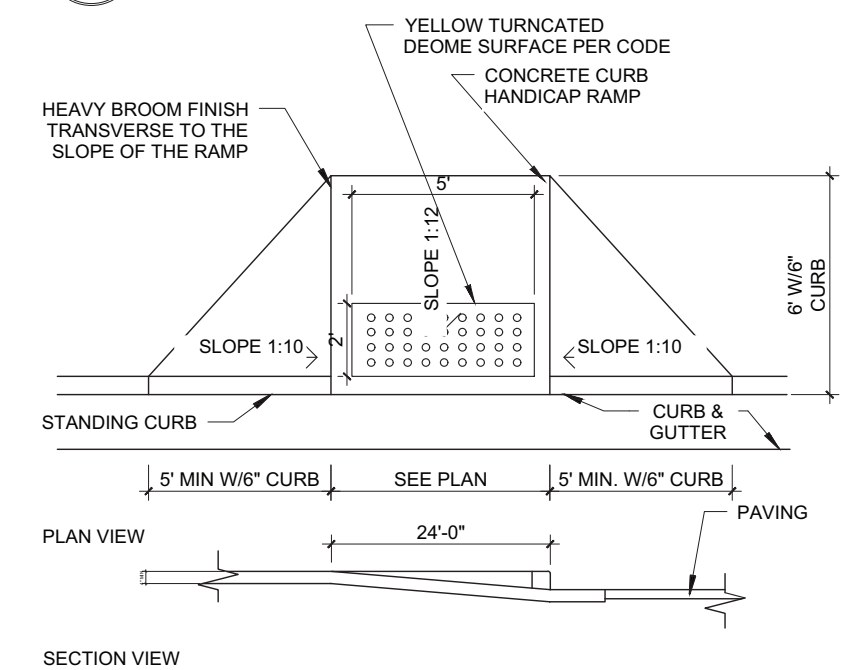
Marwa Al-najjar

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

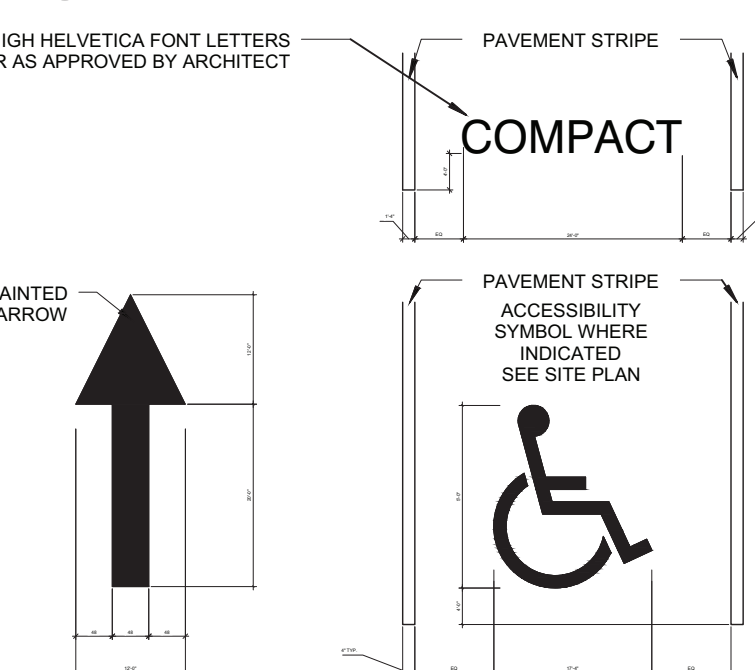
\ma via: email
C: CO Clerk, File



H.C. SIGNAGE



DO NOT ENTER SIGN



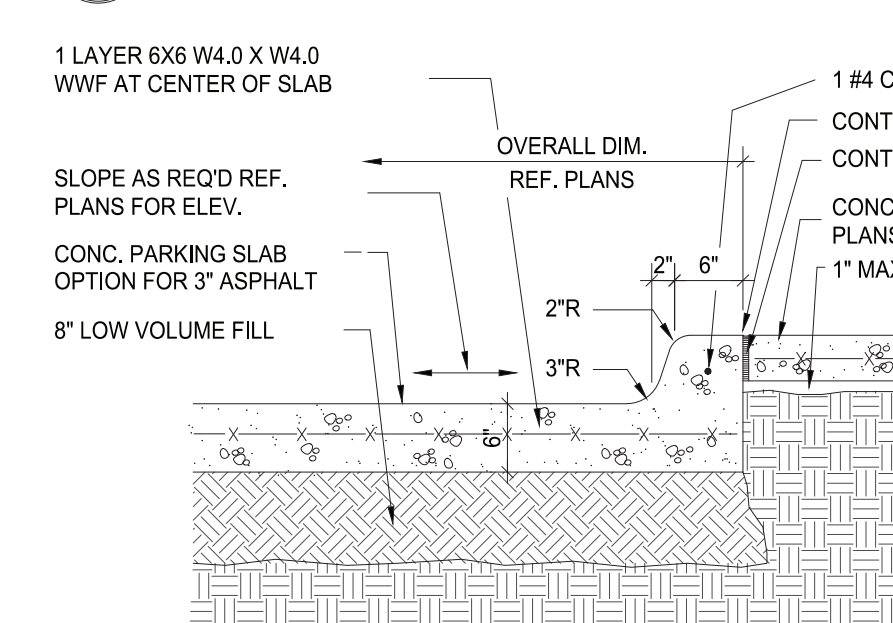
MOTORCYCLE SIGNAGE



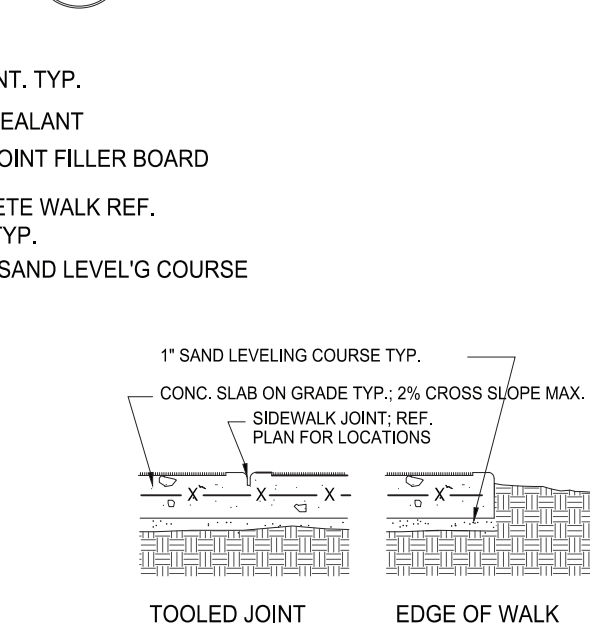
BICYCLE RACK



RAMP STANDARDS



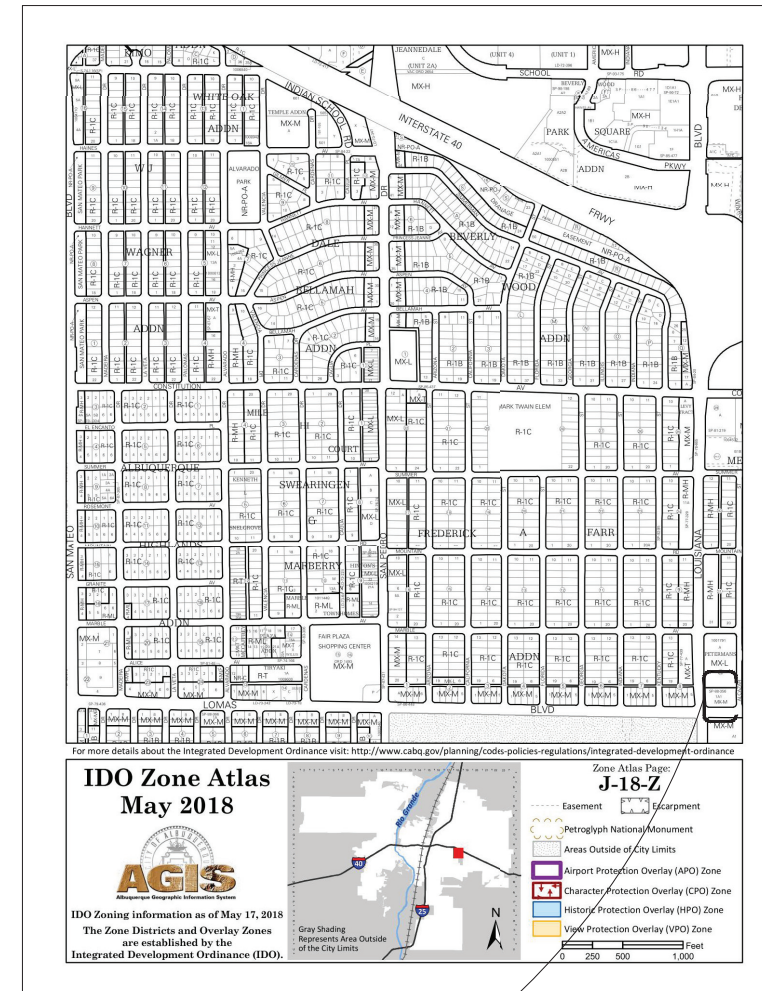
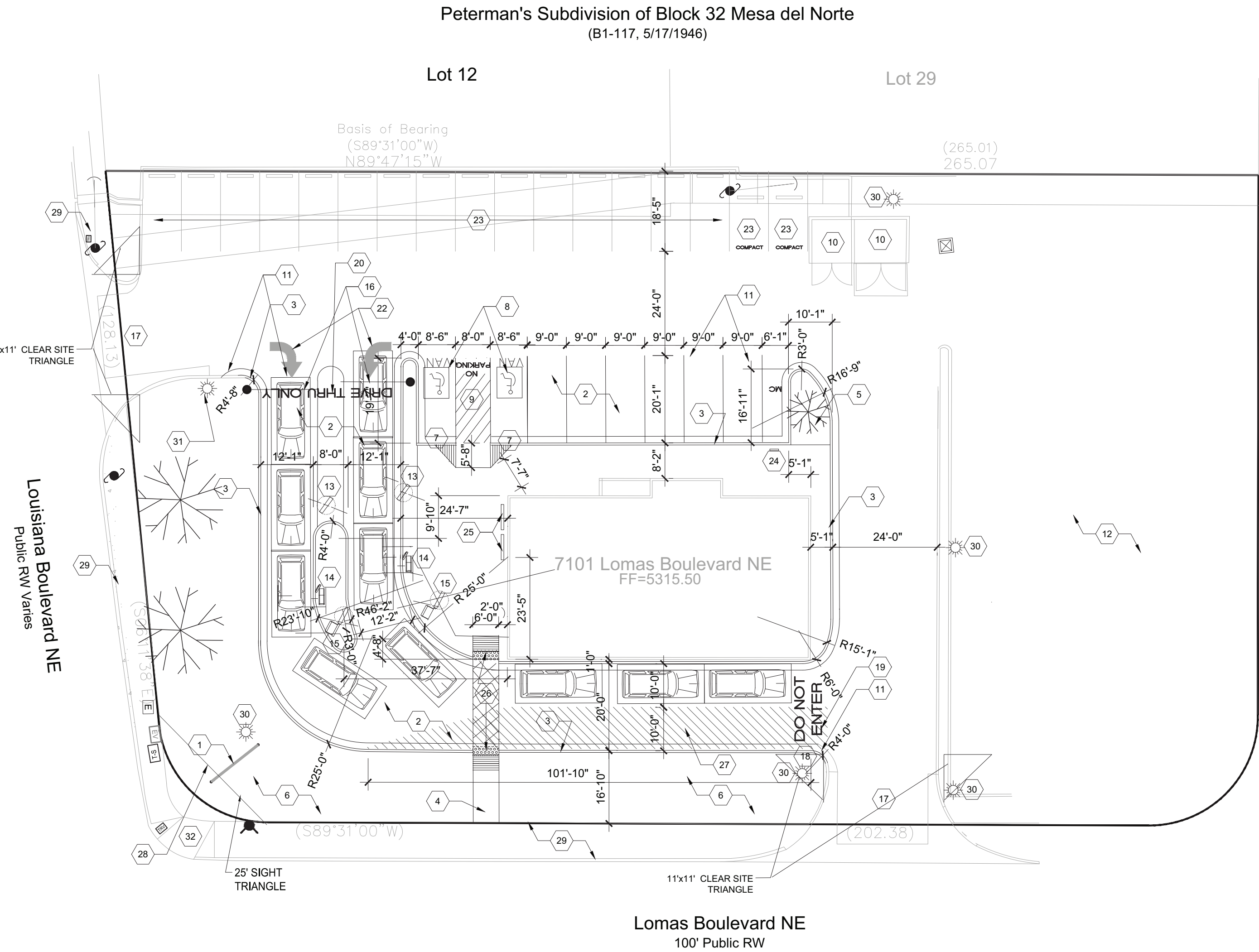
RAMP STANDARDS



PAVING / CURB DETAIL



SIDEWALK JOINT



LEGAL DESCRIPTION

LOT 1A1 BLOCK 32 MESA DEL NORTE
ALBUQUERQUE, NEW MEXICO 87110
BERNALILLO COUNTY

SITE DATA

ZONING: MX-M
ZONE ATLAS: J18
SITE SIZE: 38,376 SQ. FT. (.881 AC.)
BUILDING SIZE / % OF SITE: 2,630 SQ. FT. / 6.85%

PARKING CALCULATIONS

EXISTING AND NEW BUILDING

BUILDING AREA: 2,630 S.F.

PARKING CALCULATIONS:

8 SPACES / 1000 S.F. 21

TOTAL STANDARD PARKING PROVIDED = 21 SPACES
TOTAL COMPACT PARKING PROVIDED = 2 SPACES
TOTAL H.C. PARKING REQUIRED = 1 SPACES
TOTAL H.C. PARKING PROVIDED = 2 SPACES
TOTAL MOTORCYCLE SPACES REQUIRED = 1 SPACE
TOTAL MOTORCYCLE SPACES PROVIDED = 1 SPACE
TOTAL PARKING PROVIDED = 25 SPACES

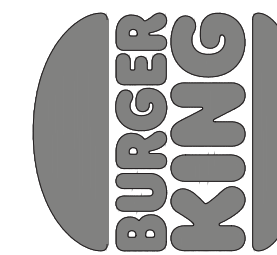
1 BICYCLE RACK PER 20 REQUIRED PARKING SPACES
BIKE SPACES REQUIRED = 2 SPACES
BIKE SPACES PROVIDED = 2 SPACES

LANDSCAPE CALCULATIONS

LOT AREA: 38,376 S.F.
BUILDING AREA: 2,630 S.F.
NET LOT AREA: 81,096 S.F.
LANDSCAPE AREA REQUIRED (15%): 35,746 S.F.
GROUND COVER REQUIRED: 5,362 S.F.
(75% OF LANDSCAPE)
STREET TREES: 30' O.C.
LANDSCAPE AREA PROVIDED (16.4%): 5,851 S.F.

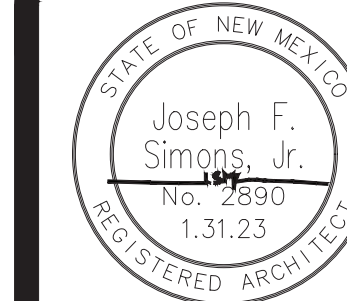
KEYED NOTES

1. EXISTING MONUMENT SIGN
2. ASPHALT PAVING, REF. DETAIL.
3. CURB, REF. DETAIL, PATCH AT EXIST.
4. SIDEWALK, REF. DETAIL, CONNECT TO EXISTING.
5. LANDSCAPE AREA; PATCH L.S. W/ DESERT WILLOW 30' O.C. AND SANTA FE BROWN GRAVEL.
6. EXISTING LANDSCAPE AND STREET TREES; PATCH GROUND COVER.
7. ADA COMPLIANT PARKING SIGNAGE PER ANSI 502.6
8. PAINTED SYMBOL PER ANSI 703.7
9. ACCESSIBLE ASLE PER ANSI 502.3
10. PAINT "NO PARKING" AS SHOWN
11. EXISTING DUMPSITE.
12. PATCH PAVING @ CONNECTION; FIELD VERIFY
13. THIS AREA IS NOT IN CONTRACT PREVIEW MENU
14. SPEAKER / ORDER PYLON
15. MENU PYLON
16. MAX HEIGHT PYLON
17. EXISTING CURB CUT.
18. SIGNAGE "DO NOT ENTER" REF. DETAIL.
19. PAINTED LETTERS 18" HIGH READS "ONE WAY DO NOT ENTER"
20. SIGNAGE SIM TO ONE WAY SIGN EXCEPT TO READ "DRIVE THRU ONLY"
21. PAINTED LETTERS 18" HIGH READS "DRIVE THRU ONLY"
22. PAINTED DIRECTIONAL ARROWS 10' LONG OR COMPARABLE PATTERN.
23. EXISTING PARKING STRIPING; PAINT COMPACT SPACE WHERE SHOWN.
24. MOTORCYCLE SIGNAGE, REF. DETAIL AND PAINT "MC" AS SHOWN
25. 2 BIKE RACKS; 5 BICYCLE SPACES MIN.
26. STRIPED PEDESTRIAN ACCESS & MATS
27. RETAINING WALL, REF. CIVIL FOR AND STRUCTURAL FOR DETAIL.
28. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PART WILL BE ACCEPTABLE IN THE CLEAR SITE TRIANGLE)
29. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK, CURB, AND GUTTER TO BUILT TO COA STANDARD DETAIL 2430 & 2415A
30. EXISTING LIGHT POLES
31. MOVE EXISTING LIGHT POLE TO THIS LOC.
32. EXISTING PEDESTRIAN RAMP.



BURGER KING CORP./FRANCHISEE

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PROJECT # J05-073
BURGER KING RESTAURANT
7101 LOMAS BLVD NE
ALBUQUERQUE, NM 87110

TCL