

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 22, 2023

Stephen Dunbar, R.A.
Modulus Architect, Inc.
8220 San Pedro Dr. NE
Albuquerque, NM 87113

**Re: Fidelity Investments Office Building Shell/ 2100 Louisiana Blvd. NE
Request for Certificate of Occupancy
Transportation Development Final Inspection**
Architect's Stamp date 01-03-23 (J19-D055)
Certification dated 12-11-23

Dear Mr. Dunbar,

Based upon the information provided in your submittal received 12-20-23, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact me at ccherne@cabq.gov or (505) 924-3986.

Albuquerque

Sincerely,

NM 87103

Curtis Cherne, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

C: Laurie Elliot, Yvette Lucero, Desiree Gonzales, James Broomfield, Wendi Alcala



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: PLAT (#of lots) _____ RESIDENCE
DFT SITE ADMIN SITE

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

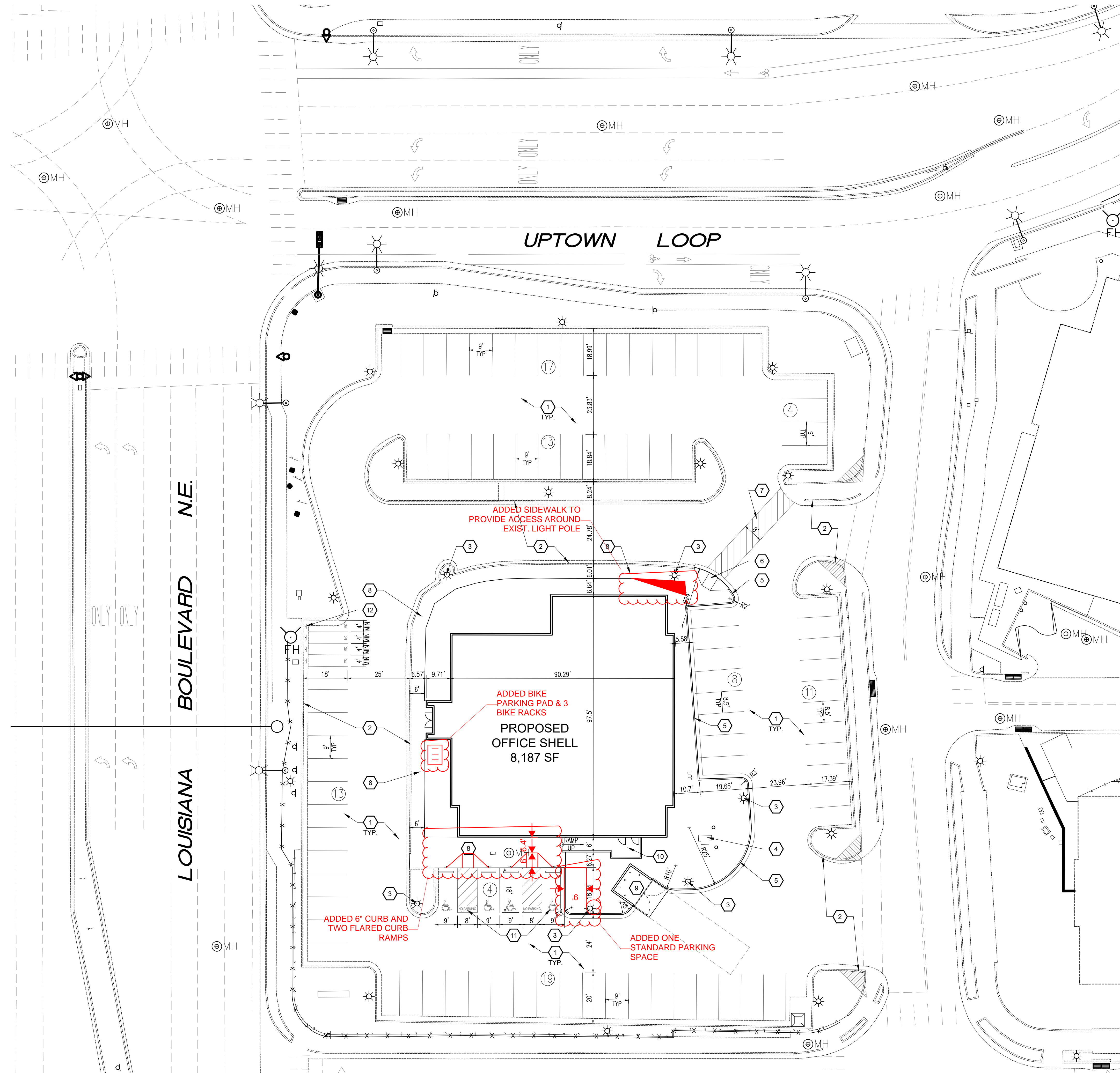
TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G&D PLAN
- GRADING & DRAINAGE PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
ADMINISTRATIVE
- TRAFFIC CIRCULATION LAYOUT FOR DFT
APPROVAL
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY) _____

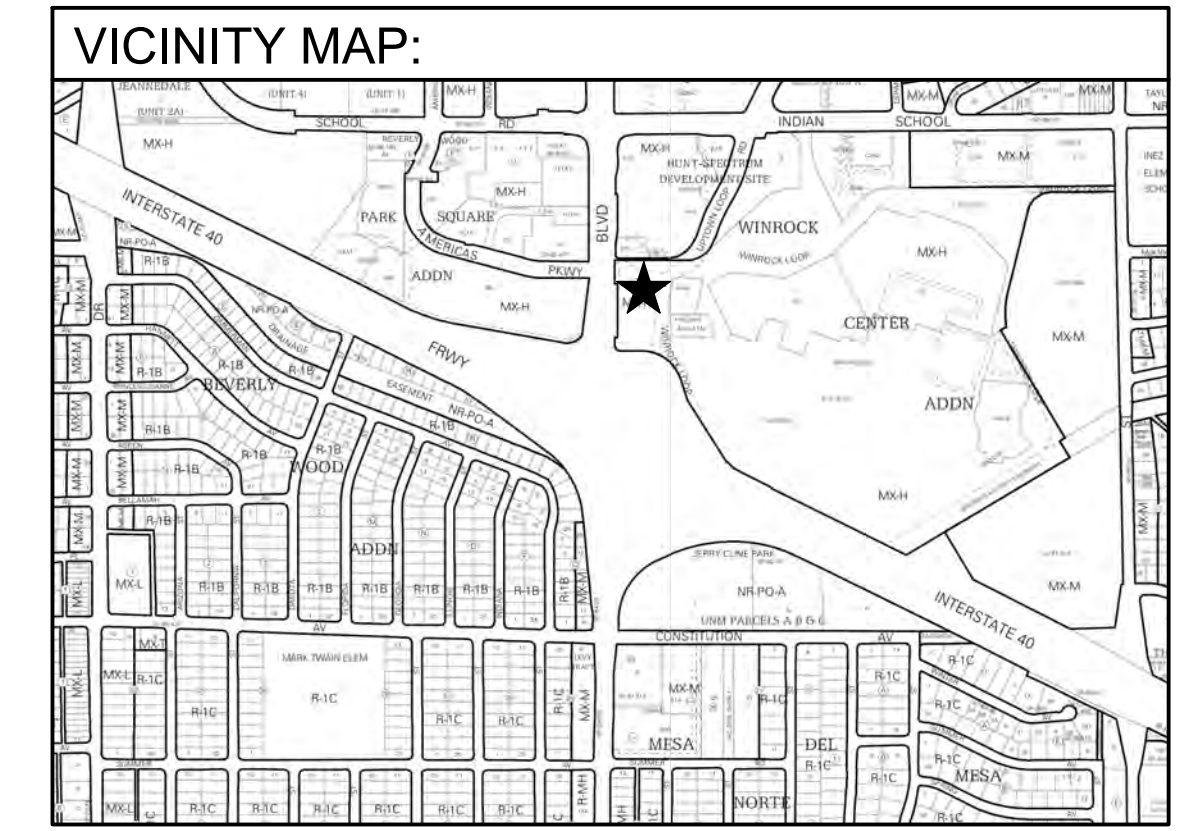
TYPE OF APPROVAL SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- CONCEPTUAL TCL DFT APPROVAL
- PRELIMINARY PLAT APPROVAL
- FINAL PLAT APPROVAL
- SITE PLAN FOR BLDG PERMIT DFT
APPROVAL
- SIA/RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- OTHER (SPECIFY) _____

DATE SUBMITTED: _____



1 SITE PLAN
SCALE: 1" = 20'



SITE DATA:

PROJECT ADDRESS: 2100 LOUISIANA BLVD. NE

LEGAL DESCRIPTION: LOT A, WINROCK CENTER ADDN

PROPERTY SIZE: 1.47 ACRES

CURRENT ZONING: MX-H

PROPOSED USE: COMMERCIAL OFFICE

BUILDING SIZE: 8,187 SF

PARKING DATA:

BUILDING DATA

TOTAL BUILDING AREA: 8,187 SF

| PARKING REQUIREMENTS | RATIO | REQUIRED | PROVIDED |
|------------------------------------|-------------------|----------|----------|
| OFF-STREET PARKING SPACES (OFFICE) | 2.5 PER 1,000 SF | 20 | 85 |
| ACCESSIBLE PARKING SPACES | 1-25 SPACES | 1 | 4 |
| MOTORCYCLE PARKING | 1-25 SPACES | 1 | 4 |
| BICYCLE PARKING SPACES | 3 OR 10% REQUIRED | 3 | 3 |

GENERAL NOTES:

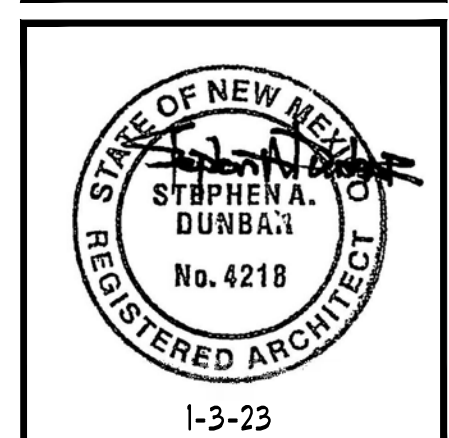
- ALL IMPROVEMENTS LOCATED IN THE PUBLIC RIGHT OF WAY MUST COMPLY WITH ALL CITY OF ALBUQUERQUE STANDARDS AND REQUIREMENTS FOR CONSTRUCTION.
- LANDSCAPING, FENCING & SIGNAGE SHALL NOT INTERFERE WITH THE CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS, TREES & SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.

KEYED NOTES:

- EXISTING ASPHALT PARKING AND DRIVE AISLES TO RECEIVE 1.5" HOT MIX ASPHALT OVERLAY PAVING AND NEW PARKING LOT STRIPES.
- EXISTING CONCRETE CURB & GUTTER REMAIN.
- EXISTING LIGHT POLE AND BASE TO REMAIN.
- EXISTING ELECTRICAL TRANSFORMER TO REMAIN.
- NEW CONCRETE CURB & GUTTER, SEE DETAIL 2/AS501.
- NEW FLARED ACCESSIBLE CURB RAMP, SEE DETAIL 12/AS501.
- NEW STRIPED CROSSWALK, SEE DETAIL 6/AS501 (SIM).
- NEW CONCRETE SIDEWALK, SEE DETAIL 3/AS501.
- NEW REFUSE ENCLOSURE, SEE DETAILS ON SHEET AS502.
- NEW ACCESSIBLE RAMP TO BUILDING, SEE A101 AND STRUCTURAL FOR DETAILS.
- NEW ACCESSIBLE PARKING SYMBOL, ACCESS AISLE AND SIGN - SEE DETAIL 9/AS501.
- NEW MOTORCYCLE PARKING SIGN, TYPICAL OF 4 - SEE DETAIL 11/AS501.

| REV | DATE | BY | REVISION |
|-----|------|----|----------|
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MODULUS ARCHITECTS
 100 SUN AVENUE NE SUITE 600
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE (505) 338-1499 FAX (505) 338-1498



ADMINISTRATIVE AMENDMENT SITE PLAN

PROJECT TITLE: FIDELITY INVESTMENTS OFFICE BLDG.
 2100 LOUISIANA BLVD. NE
 ALBUQUERQUE, NT 87110

DATE: 01/03/2023
 SCALE: AS NOTED

PROJECT MANAGER: STEPHEN DUNBAR, AIA
 JOB NO. ..

DRAWN BY: CDC

SHEET TITLE: SITE PLAN

AS 101



Planning Department – Transportation & Hydrology

City of Albuquerque
600 2nd Street NW, Suite 201
Albuquerque, NM 87102
925.965.4475

December 11, 2023

RE: Traffic Certification for Fidelity Office Shell at 2100 Louisiana Blvd. NE (File #SI-2023-00092, Project #PR-2018-001579, Permit Numbers BP-2022-02625)

To whom it may concern,

I, Stephen Dunbar, NMRA #4218, of the firm Modulus Architects, hereby certify that the above referenced project is in substantial compliance with and in accordance with the design intent of the Architectural Site Plan (AA), dated 1-3-23. I further certify that Craig Calvert, Project Manager at Modulus Architects, personally visited the site on 12-11-23 and has determined by visual inspection that the improvements installed to date are representative of actual site conditions and is true and correct to the best of his knowledge and belief. This certification is submitted in support of a request for a permanent certificate of occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Sincerely,



Stephen Dunbar, AIA
Principal in Charge
Modulus Architects, Inc.
8220 San Pedro Dr. NE, Suite 520
Albuquerque, NM 87113
(O) 505.338.1499, Ext. 1001