

**DRAINAGE PLAN  
FOR  
WINROCK RESTAURANT SITE**

**PREPARED FOR:**

**TERRANOMICS, INC.  
WINROCK CENTER  
ALBUQUERQUE, NM 87111**

**PREPARED BY:**

**AVID ENGINEERING, INC.  
6100 SEAGULL LANE NE  
SUITE 102  
ALBUQUERQUE, NM 87109**

**SEPTEMBER 1992**

## DRAINAGE INFORMATION SHEET

PROJECT TITLE: Winrock Restaurant ZONE ATLAS/DRAINAGE FILE # J-19LEGAL DESCRIPTION: Tract A, Winrock CenterCITY ADDRESS: WINROCK Shopping CenterENGINEERING FIRM: AVID Engineering, Inc.CONTACT: James Domenick

6100 Seagull Lane, NE

ADDRESS: Suite 102, Albuquerque, NM 87109PHONE: (505) 881-5357OWNER: Terranomics Retail ServicesCONTACT: J.F. VigilADDRESS: #51 Winrock Center, Albuq., NM 87110PHONE: 883-6132ARCHITECT: Design ResponseCONTACT: Curtis Leseman

2700 Fairmount Street, Suite 300

ADDRESS: Dallas, TX 75201PHONE: (214) 953-2200SURVEYOR: AVID Engineering, Inc.CONTACT: Ruan Bacigalupa

6100 Seagull Lane, NE

ADDRESS: Suite 102, Albuquerque, NM 87109PHONE: (505) 881-5357CONTRACTOR: N/A

CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_

## PRE-DESIGN MEETING:

☐ YES

DRB NO. \_\_\_\_\_

☒ NO

EPC NO. \_\_\_\_\_

☐ COPY OF CONFERENCE  
RECAP SHEET PROVIDED

PROJECT NO. \_\_\_\_\_

## TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT☒ DRAINAGE PLAN☐ CONCEPTUAL GRADING & DRAIN PLAN☐ GRADING PLAN☐ EROSION CONTROL PLAN☐ ENGINEER'S CERTIFICATION

## CHECK TYPE OF APPROVAL SOUGHT:

☐ SECTOR PLAN APPROVAL☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☐ SITE DEVELOPMENT PLAN APPROVAL☐ FINAL PLAT APPROVAL☒ BUILDING PERMIT APPROVAL☒ FOUNDATION PERMIT APPROVAL☐ CERTIFICATE OF OCCUPANCY  
APPROVAL☐ ROUGH GRADING PERMIT APPROVAL☐ GRADING/PAVING PERMIT APPROVAL☐ OTHER \_\_\_\_\_ (SPECIFY).DATE SUBMITTED: 9/22/92BY: James Domenick

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## **INTRODUCTION AND PROJECT DESCRIPTION**

This document is the drainage plan for two new restaurant sites to be constructed within Winrock Center. The two buildings will be constructed in the northwest part of the shopping center, south of Indian School road and west of the Winrock Theater. The site is currently occupied by internal access roads and paved parking lots. Part of the site was formerly occupied by a Farrells ice cream parlor building and parking area.

The building sites are part of the site development plan approved by the Environmental Planning Commission. The restaurants will be constructed prior to the major renovations planned for the west end of the main mall building.

Figure I shows the location of the project relative to the major streets and other facilities in the shopping center. Exhibit I is the proposed drainage plan for the restaurant sites, and the overall site plan for the center is included as Exhibit II for reference.

## **PURPOSE AND SCOPE**

The purpose of this Drainage Plan is to describe the effect of the project on the drainage conditions in the surrounding area and to demonstrate that the project design is such that the facilities are protected from flooding in the 100-year storm event. The plan, when approved by the City, will permit the owner to process a building permit for the restaurant site.

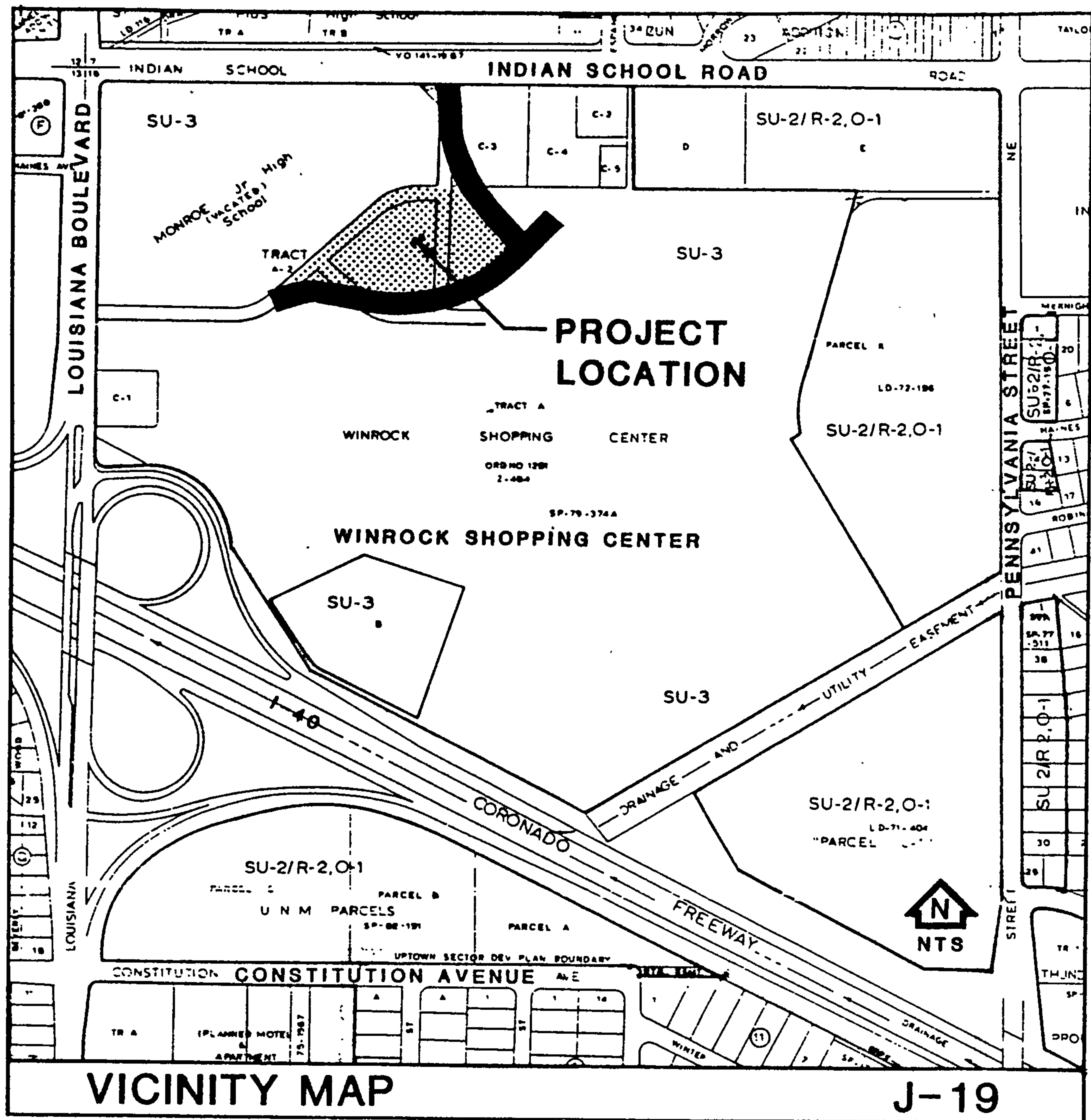
The scope of the report includes existing and developed conditions for the site. Building pad and top of curb elevations are shown, as well as various spot elevations and flow direction arrows. Since the net result of this project will be to decrease the overall runoff from the site, an analysis of the capacity of the downstream facilities is not included.

## **EXISTING DRAINAGE CONDITIONS**

The project site is currently 100% impervious asphalt concrete. It drains generally to the west, and runoff eventually passes to the entrance road which leads to Louisiana Boulevard. The Uptown Loop Road drainage facilities constructed with the intersection at Louisiana Boulevard are designed to pick up runoff from this area and discharge it to the Interstate 40 Channel. These facilities are not complete as yet, so runoff drains to Louisiana Boulevard.

There is no offsite runoff which reaches the project site. The parking area east of the site has a raised median which directs runoff to the south and away from the restaurant site. The parking area for the movie theater to the northeast of the site drains to the north and thence to Indian School Boulevard. Other adjacent parking areas slope away from the restaurant site.





## FIGURE 1

## **PROPOSED DRAINAGE PLAN**

Since there are no offsite flows, and since the project area is already impervious, the drainage plan for the project simply consists of the required grading to insure the site runoff does not affect the building, and that it flows to its current outfall. The project will include some landscaping, so the overall runoff from the site will be less than is currently produced with the 100% asphalt surface.

Exhibit I shows the project site, along with the areas immediately adjacent. The restaurant buildings will a minimum of one foot vertically above the adjacent pavement, and separated from it by a 6" concrete curb. Spot elevations for the building pad footprints are shown.

## **SUMMARY**

1. The proposed restaurants and landscaping decrease the runoff from the site and diminish the impact downstream.
2. Since no offsite runoff affects the site, the restaurant pads will be protected from the on-site runoff simply by raising them above the existing pavement.

## **RECOMMENDATIONS**

1. That this drainage plan, when incorporated into the construction plans, serve as the basis of approval for the building permit.

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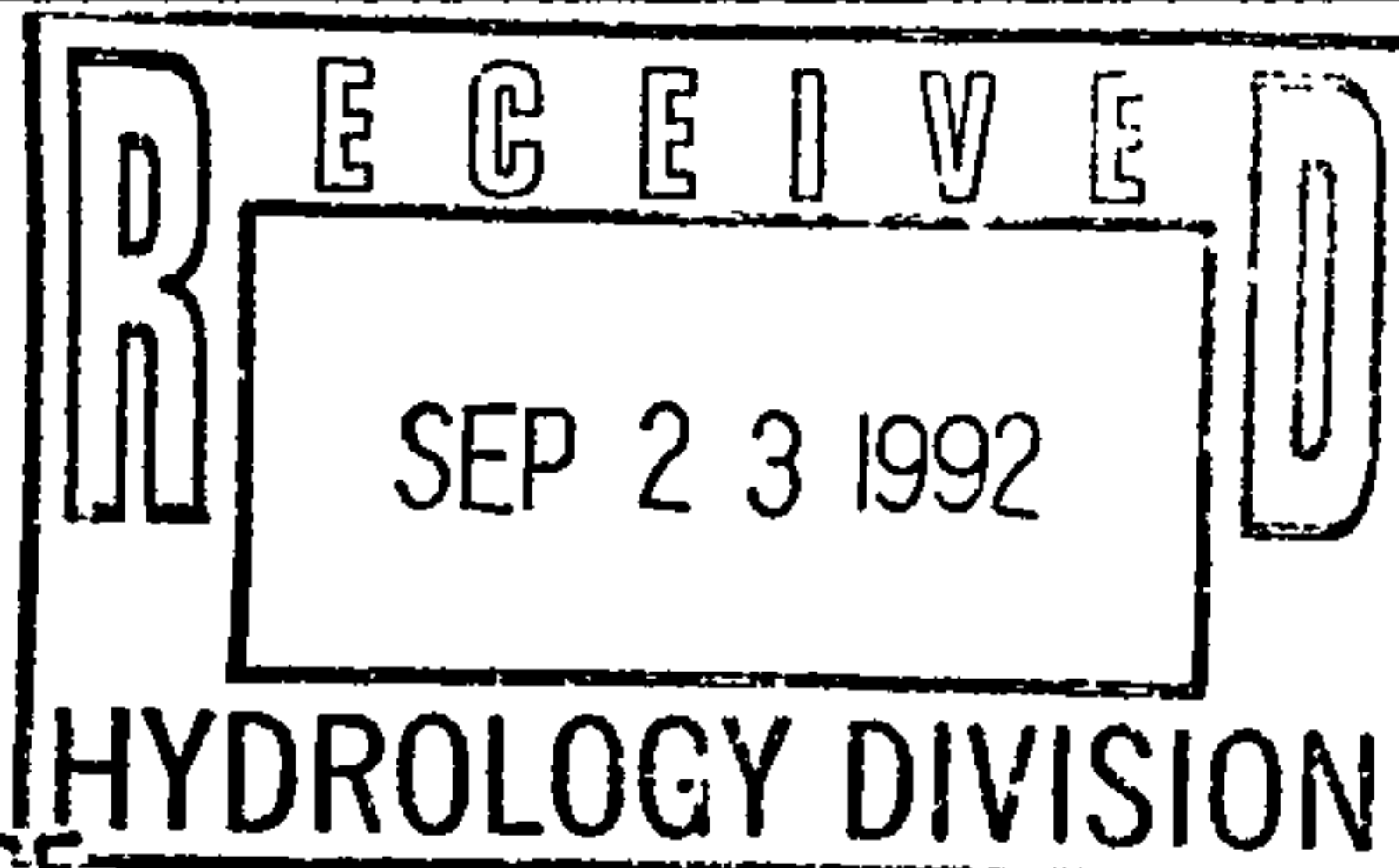
ADDRESS: Suite 102, Albuquerque, NM 87109PHONE: (505) 881-5357CONTRACTOR: N/A

CONTACT: \_\_\_\_\_

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PHONE: \_\_\_\_\_

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       YES  X   NO       COPY OF CONFERENCE  
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APPROVAL       ROUGH GRADING PERMIT APPROVAL       GRADING/PAVING PERMIT APPROVAL       OTHER \_\_\_\_\_ (SPECIFY).

VERBAL Cmts. on 1/28/93

DATE SUBMITTED: 9/22/92BY: James Domenick





# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 6, 1992

James Domenick  
Avid Engineering, Inc.  
6100 Seagull Lane, NE Suite 102  
Albuquerque, NM 87109

RE: DRAINAGE PLAN FOR TWO WINROCK RESTAURANT SITES (J190-D56) ENGINEER'S  
STAMP DATED 9/16/92.

Dear Mr. Domenick:

Based on the information provided on your September 23, 1992 submittal, listed you will find some concerns that will need to be addressed prior to final approval:

1. Will both restaurants be built under the same Building Permit?
2. Benchmarks - location, description and elevation of the:
  - A. Albuquerque Central Survey Vertical Datum used.
  - B. Temporary bench mark on-site permanently marked.
3. Flow rates - Calculations showing on-site undeveloped and developed flow rates. Flow rates will decrease with the required and landscaping.
4. Finish floor elevation must be to full mean sea level designation.
5. Location and direction of roof drains. If roof drain will be located within a landscaped area, then provisions must be provided for release of run-off onto the asphalt areas.

PUBLIC WORKS DEPARTMENT

James Domenick  
Page 2

6. If the proposed restaurants are going to be built with separate Building Permit applications, then you may want to break up the drainage plan submittal into Phase I and Phase II.
7. I need more spot elevations around the asphalt area to show flow directions and required 1/2 % slopes.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

  
Bernie J. Montoya, CE  
Engineering Assistant

BJM/d1/WPHYD/3665

*file*

James Domenick  
Page 2

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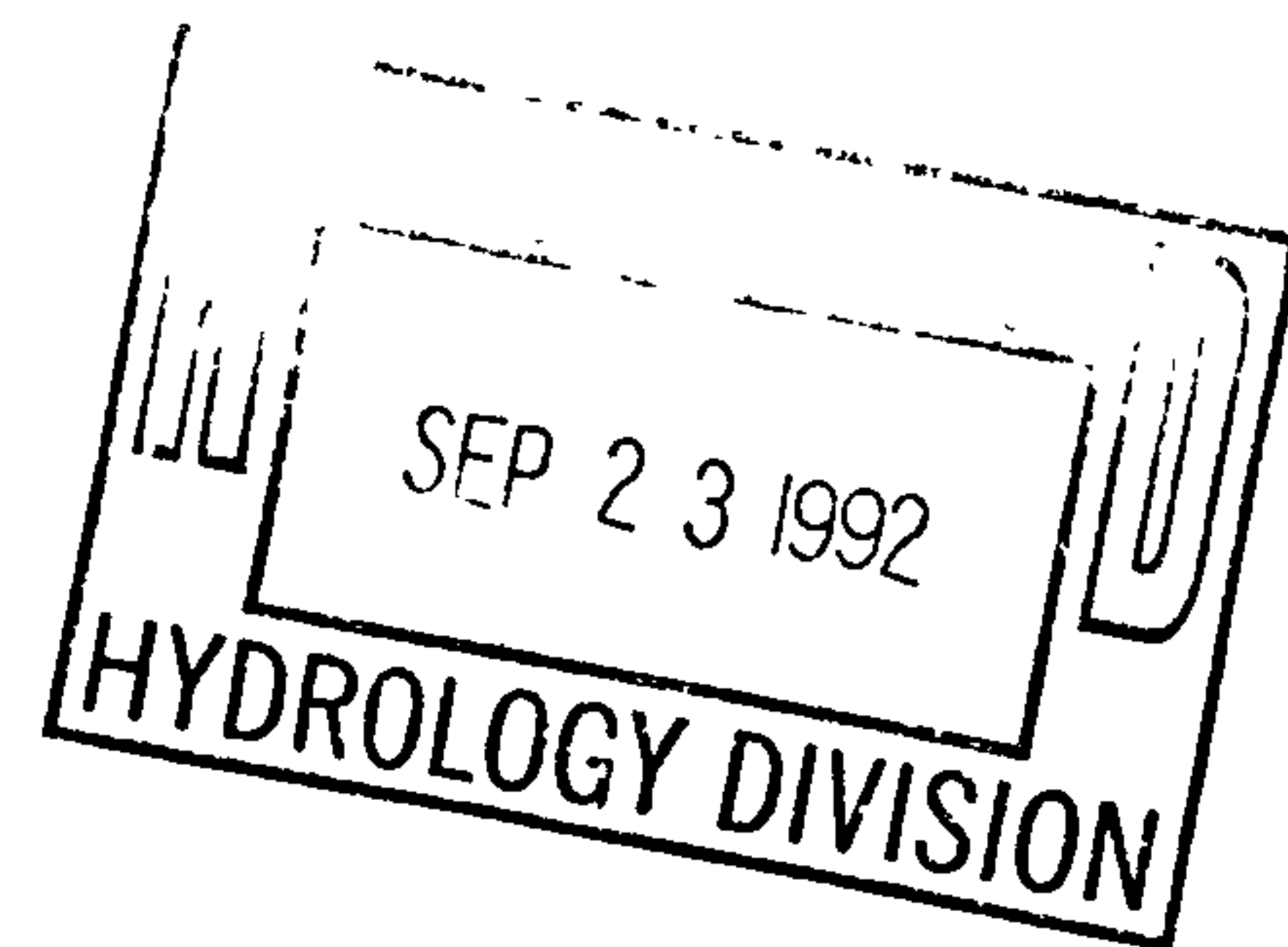
Sincerely,

*Bernie J. Montoya*  
Bernie J. Montoya, CE  
Engineering Assistant

BJM/d1/WPHYD/3665

September 15, 1992

Mr. Bernie J. Montoya, C.E.  
Hydrology Division  
Public Works Department  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103



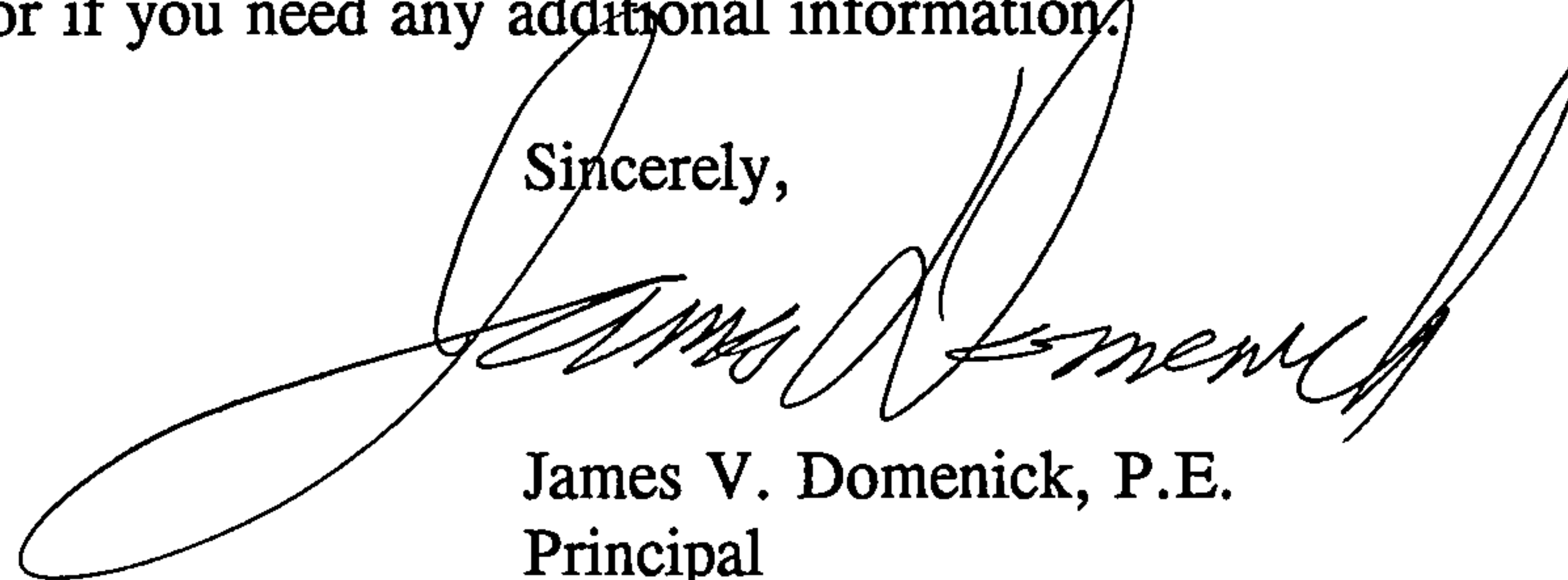
**Re: WINROCK SHOPPING CENTER  
RESTAURANT SITE DRAINAGE PLAN.**

Dear Mr. Montoya:

Enclosed is the drainage plan for the proposed two new restaurants to be constructed at Winrock. The site is in an area that is currently paved, as we discussed several weeks ago.

Please review the plan at your earliest convenience. Do not hesitate to call me if you have questions about it or if you need any additional information.

Sincerely,



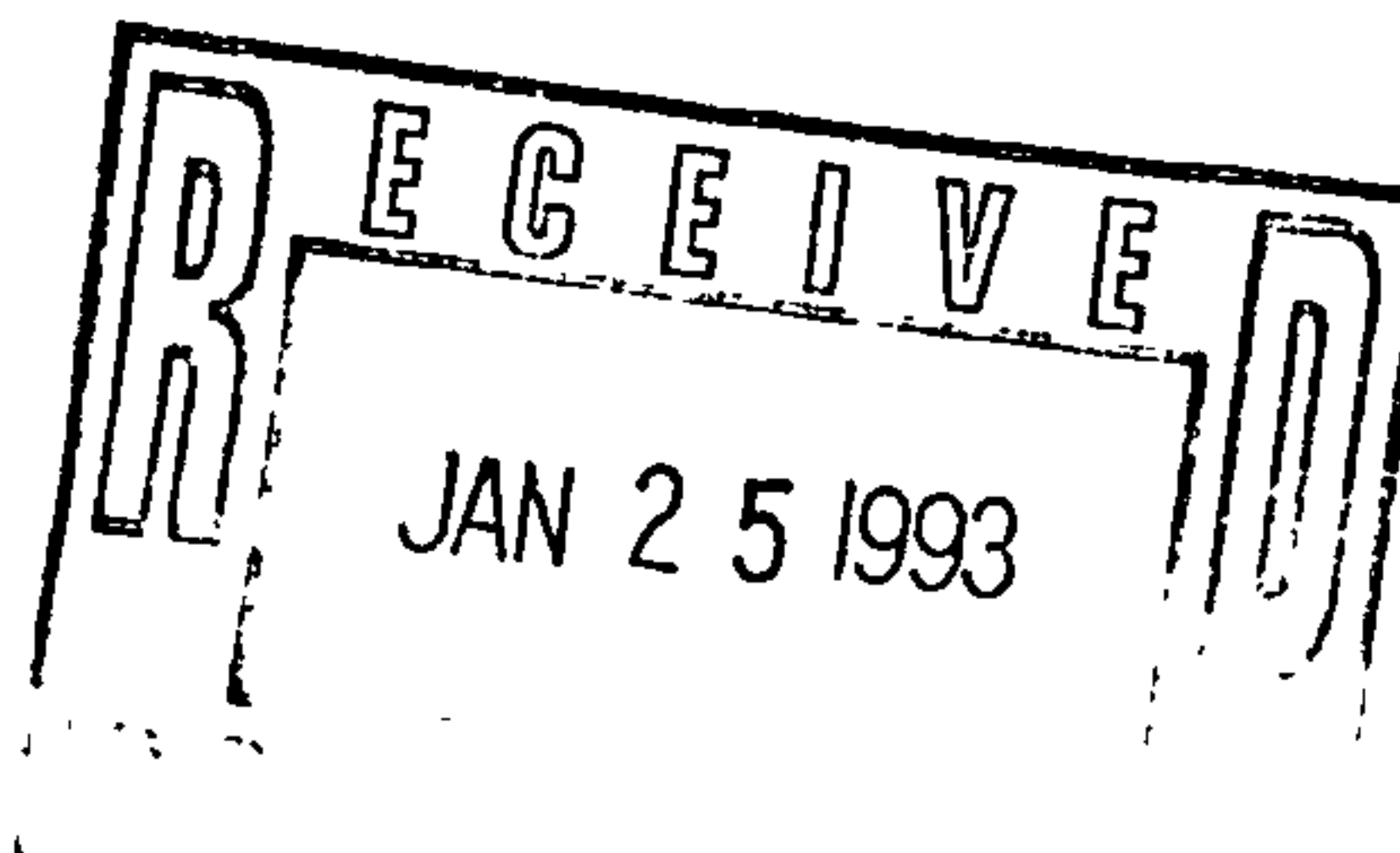
James V. Domenick, P.E.  
Principal

cc: J.F. Vigil

Enclosure

January 22, 1993

Mr. Bernie J. Montoya, C.E.  
Hydrology Division  
Public Works Department  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103



**RE: WINROCK SHOPPING CENTER  
RESTAURANT SITE DRAINAGE PLAN RESUBMITTAL**

Dear Mr. Montoya:

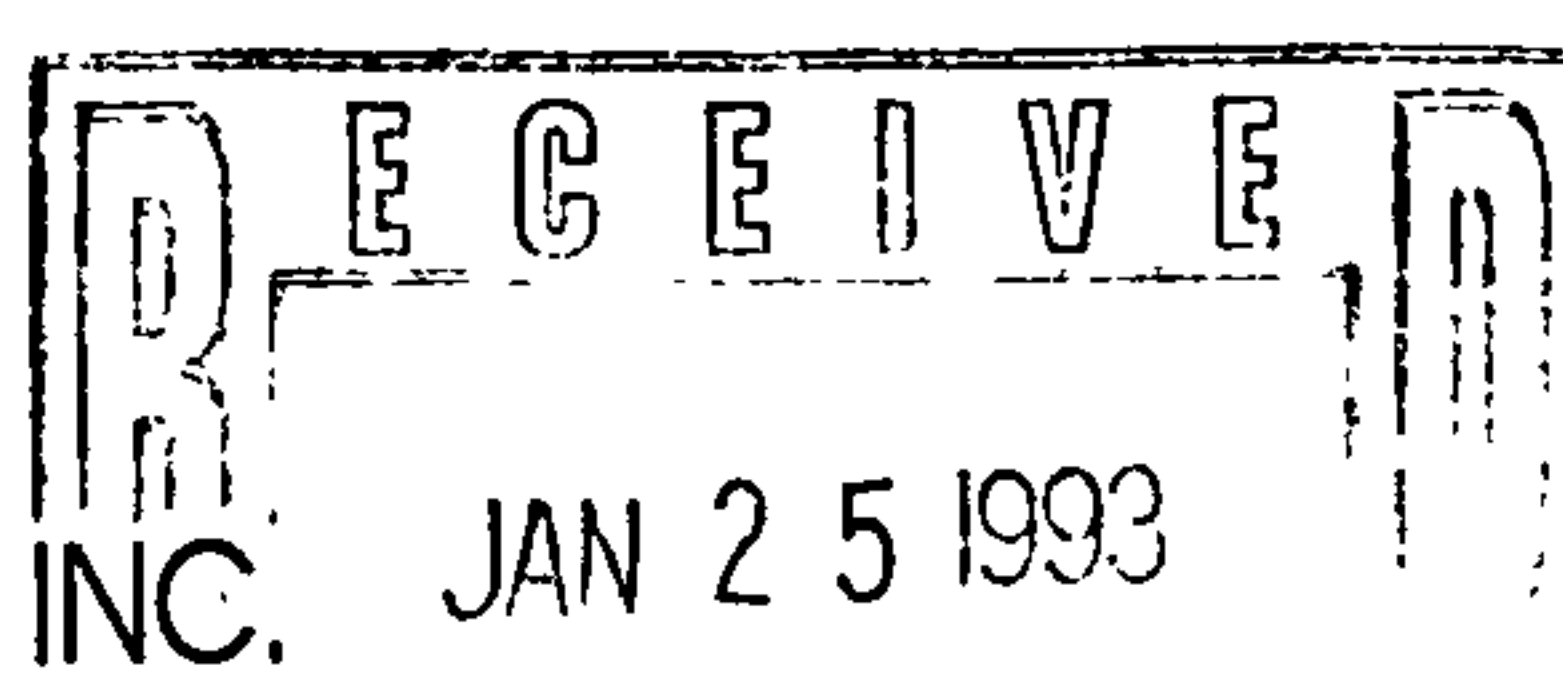
This letter accompanies the resubmittal of the Winrock Shopping Center Restaurant Site Drainage Plan. A copy of the letter with your original comments, dated October 6, 1992, is attached. The intent of this letter is update you on the project status and to explain how we incorporated your comments into the resubmitted plan.

We met with Fred Aguirre on December 12, 1992 to discuss the Master Drainage Plan for Winrock. Mr. Aguirre made clear that final Certificates of Occupancy for the restaurants would not be issued until the Master Plan was complete. Currently, we are working on the Master Plan. Since no offsite basins contribute runoff to the restaurant site, the Master Plan recommendations should not affect the drainage plan for the restaurants.

The original drainage plan for the restaurant sites was updated with the most current mapping for the site. The proposed restaurant pad locations and mean sea level elevations are shown on the plan. In the resubmittal, the comments from your letter were addressed as follows:

<u>Comment No.</u>	<u>Response</u>
1.	A single approval is being sought only for the specific parking lot improvements associated with the restaurant sites. This includes the grading, paving, new curb and gutter, and pad preparation. This approval for the site is being sought separately from the approval of the building permits for the two restaurant buildings themselves.



Comment No.Response

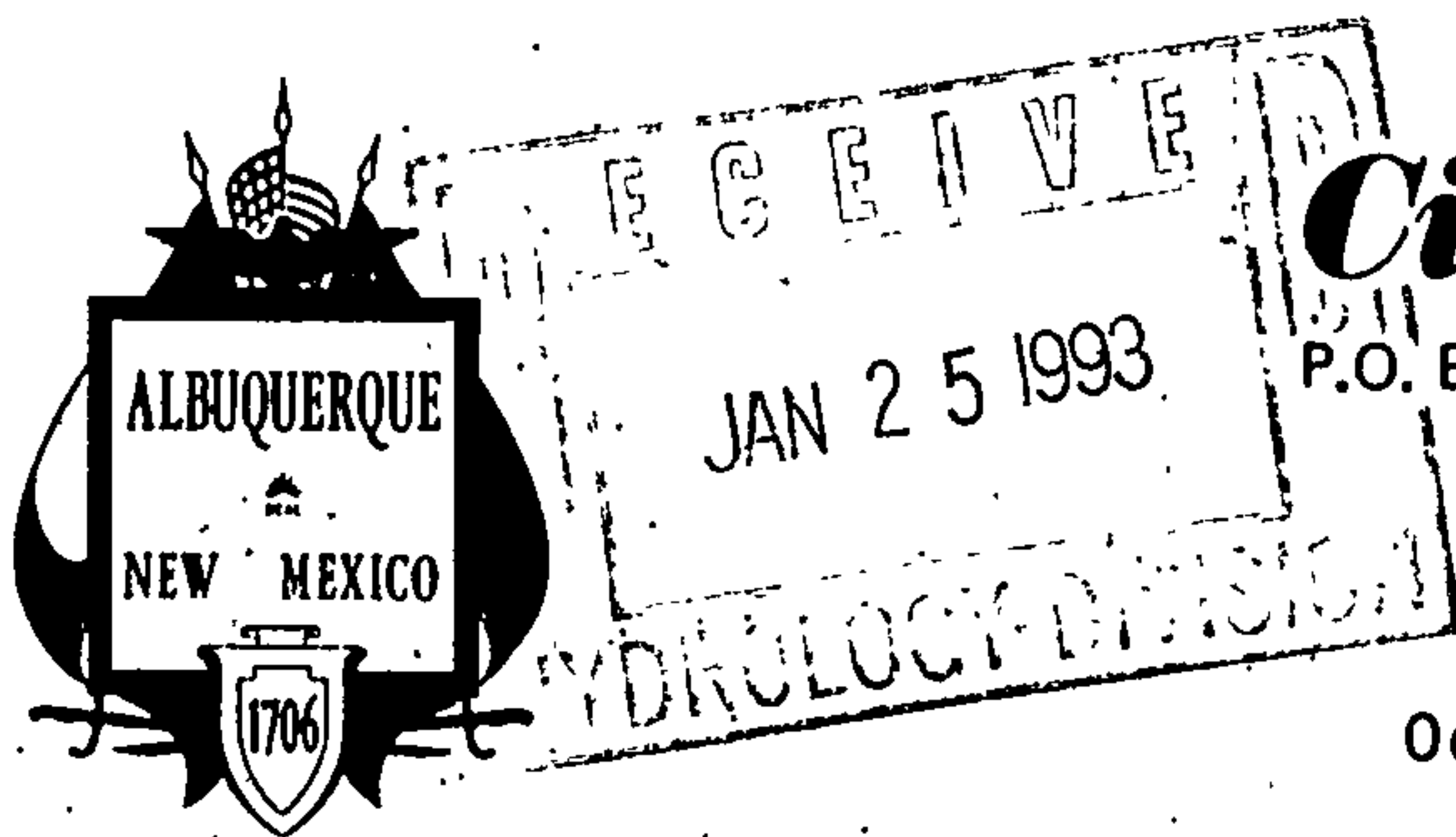
2. Please see the bench mark notes on the plan for specific information. The bench mark listed is a New Mexico Highway Commission Monument, which has the same datum as the City of Albuquerque monuments. A temporary bench mark is also described on the plan sheet. Other temporary bench marks may be established as the project proceeds.
3. Calculations show on-site undeveloped and developed flow rates. With the proposed improvements, a section of curb will be removed that formerly directed water to the south. Without that curb, runoff from the area east of the curb will cross the site going west. That increases the size of the on-site basin. The undeveloped flow was calculated as 12.0 cfs, and the developed flow was calculated as 17.2 cfs. The increase in basin size results in a 5.2 cfs increase in runoff during the 100-year storm.
4. Finish floor elevations are shown with the full mean sea level elevations. The elevations are high enough above the surrounding ground level to prevent flooding the restaurants during the 100-year storm.
5. See General Note No. 3 on the plan.
6. See Response 1.
7. Spot elevations are shown in critical areas around the asphalt to provide minimum 0.5% slopes. Proposed flow directions are also indicated on the plan for clarity.

These responses summarize the changes made to the plan following the comments you provided in your letter. If you have any questions or further comments, please contact me or James Domenick at AVID. Our phone number is 881-5357.

Sincerely,

A handwritten signature in black ink that reads "James Buckman". The signature is fluid and cursive, with the first letters of the first and last names being capitalized and prominent.

James Buckman



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 6, 1992

*JD* 10/13

→ FILE  
WINROCK  
CORRESP

James Domenick  
Avid Engineering, Inc.  
6100 Seagull Lane, NE Suite 102  
Albuquerque, NM 87109

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PUBLIC WORKS DEPARTMENT

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1993 IMPROVEMENTS ZONE ATLAS/DRAINAGE FILE # J-19 / 056LEGAL DESCRIPTION: TRACT A, PORTION OF WINROCK SHOPPING CENTERCITY ADDRESS: WINROCK CENTER NEENGINEERING FIRM: AVID ENGINEERINGCONTACT: CARLOS PADILLAADDRESS: 6100 SEAGULL ST NE #102PHONE: 881-5357OWNER: PRUDENTIAL CO. OF AMERICA  
MGR: TERRANOMICS RETAIL SERVICESCONTACT: J.F. VIGILADDRESS: TERRANOMICS: 51 WINROCK CENTERPHONE: 883-6132ARCHITECT: N/A

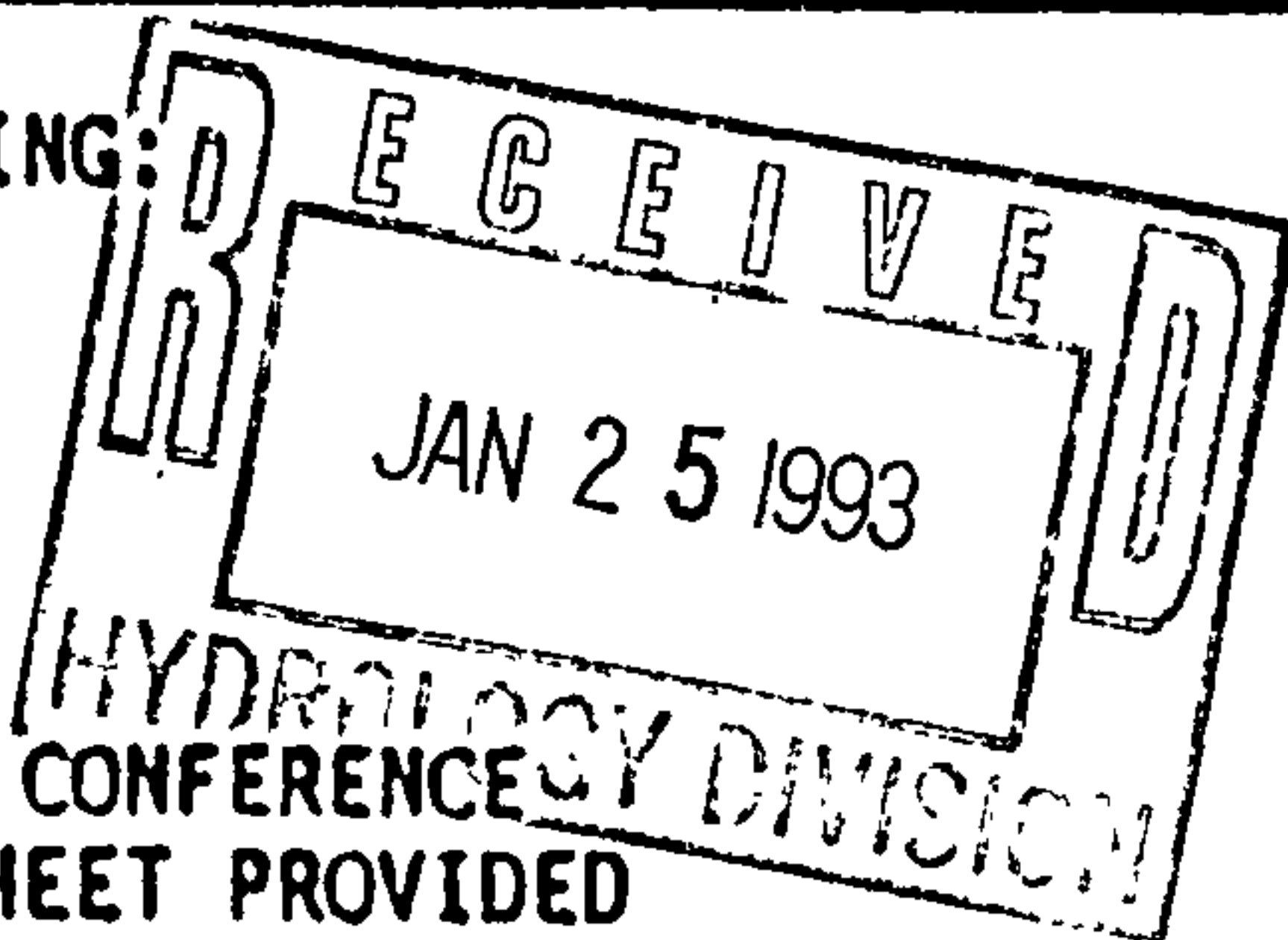
CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_

SURVEYOR: SURV-TEK, INC.CONTACT: RUSTY HUGGADDRESS: 5643 PARADISE BLVD. NWPHONE: 817-3366CONTRACTOR: C.D.I. CONTRACTORS, INC.CONTACT: RICHARD HOPEADDRESS: P.O. BOX 686, LITTLE ROCK, ARKANSASPHONE: (501) 666-4300

PRE-DESIGN MEETING:

☒ YES☐ NO☐ COPY OF CONFERENCE  
RECAP SHEET PROVIDEDDRB NO. DRB-92-0367EPC NO. Z-484-2

PROJECT NO. \_\_\_\_\_

TYPE OF SUBMITTAL:

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