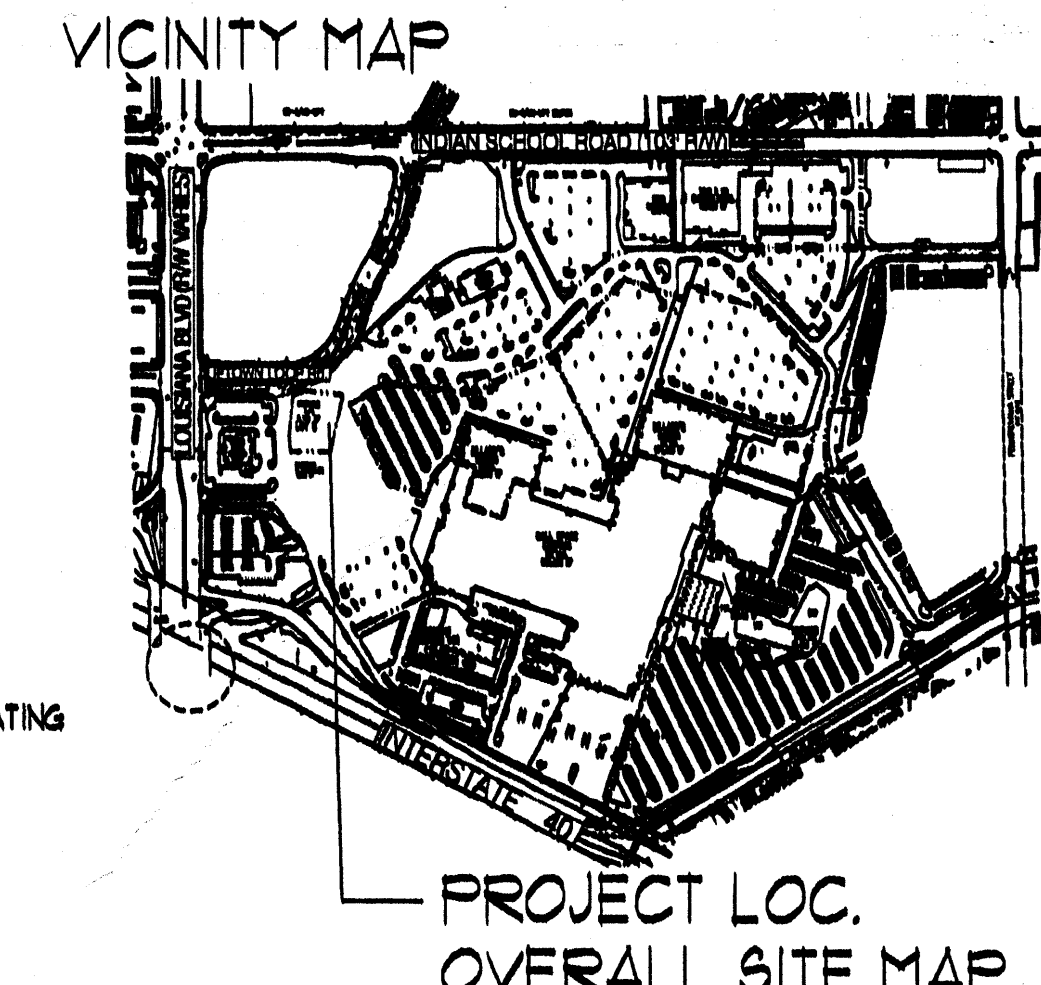


- PROJECT NUMBER: 1002307
- APPLICATION NUMBER: 12-7012
- Is an Infrastructure List required? (YES / NO) If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements
- DRG SITE DEVELOPMENT PLAN SIGNOFF APPROVAL
- 225275
- Traffic Engineering, Transportation Division
04/17/12
- 05-09-12
Date
05/29/12
- DNR AECUQA ENGINEER
Date
5-9-12
- Carol S. Dismant
 Parks and Recreation Department
Date
5-9-12
- Chris A. Chinn
City Engineer
Date
5-29-12
- NR
Environmental Health Department
Date
NR
- NR
Solid Waste Management
Date
5-29-12
- DRG Chairperson, Planning Department
Date
5-29-12
- * Environmental Health, if necessary

[illegible]


SITE DATA TABLE	BVS RESTAURANT (LOT-6)	PHASE AREA TOTALS(LOT 5-P2A AND 6)
LEGAL DESCRIPTION	PARCEL 1-A-1 WINROCK CENTER ADDITION	
TOTAL ACREAGE:	RE: SITE PLAN FOR SUBDIVISION	
EXISTING ZONING:	6U-3 MU-UPT	
PROPOSED USE:	RESTAURANT AND GENERAL RETAILING	
BUILDING SIZE:	9,866 SF + 1,582 SF PATIO = 12,138	
TOTAL PARKING PROVIDED:	11 SPACES	30 PROVIDED SPACES
TOTAL PARKING REQ:	18 SPACES	2 PER 1000 = 32 SPACES
HC PROVIDED:	4 SPACES	4 HC (INCLUDING 4 VAN ACCESSIBLE)
HC REQUIRED:	1 SPACES	4 HC SPACES
BIKE SPACES PROVIDED:	5 SPACES	5 BIKE SPACES
BIKE SPACES REQUIRED:	1 SPACES	1 PER 20 CAR SPACES = 2
MOTORCYCLE SPACES PROVIDED:	2 SPACES	2 SPACES
MOTORCYCLE SPACES REQUIRED:	1 SPACES	2 SPACES

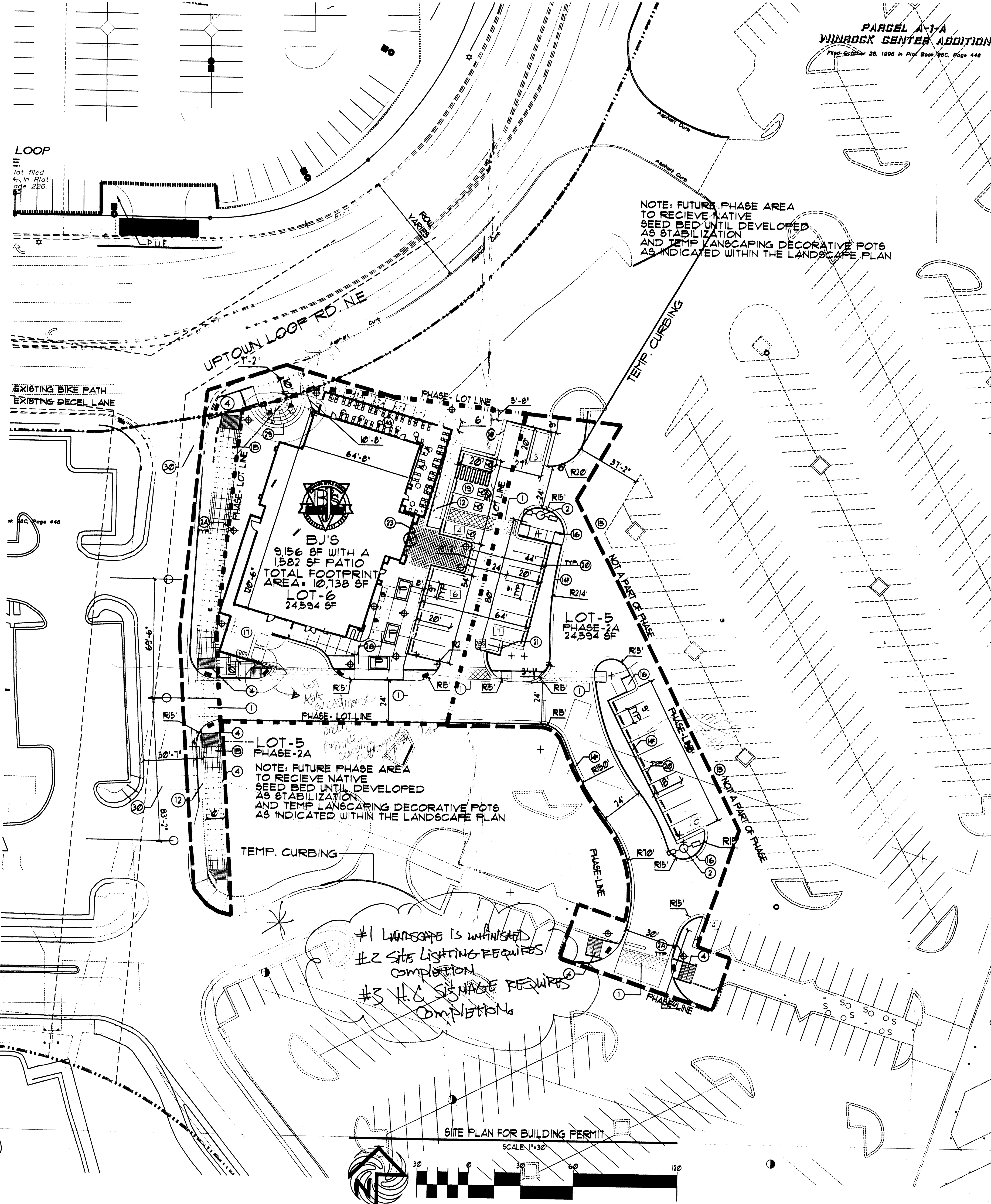
DRB APPROVAL SET 5/29/12

PROJECT TITLE		JOB NO.		DRAWING BY:	
WINROCK TOWN CENTER 2200 LOUISIANA BLVD. NE ALBUQUERQUE NEW MEXICO		WIN-BU		S-J	
PROJECT MANAGER		DATE		BY	
STEPHEN DINBAR, AIA		5/29/12		REMSON	
SHEET TITLE		SCALE		REV	
SITEPLAN FOR BUILDING PERMIT		AS NOTED		A	

MODULUS ARCHITECTS

220 COPPER AVE. N.W. SUITE 350
ALBUQUERQUE, NEW MEXICO 87102
PHONE (505) 338-1499 FAX (505) 338-1498





PARCEL A-1-A
WINROCK CENTER ADDITION
Filed October 28, 1986 in Plot Book No. 446, Page 446

NOTE: FUTURE PHASE AREA TO RECEIVE NATIVE SEED BED UNTIL DEVELOPED AS STABILIZATION AND TEMP LANDSCAPING DECORATIVE POTS AS INDICATED WITHIN THE LANDSCAPE PLAN

BU'S
9,156 SF WITH A
1,582 SF PATIO
TOTAL FOOTPRINT
AREA: 10,738 SF
LOT-6
24,594 SF

LOT-5
PHASE-2A
24,594 SF

LOT-5
PHASE-2A
NOTE: FUTURE PHASE AREA TO RECEIVE NATIVE SEED BED UNTIL DEVELOPED AS STABILIZATION AND TEMP LANDSCAPING DECORATIVE POTS AS INDICATED WITHIN THE LANDSCAPE PLAN

#1 LANDSCAPE IS UNFINISHED
#2 SITE LIGHTING REQUIRES COMPLETION
#3 H.C. SIGNAGE REQUIRES COMPLETION

SITE PLAN FOR BUILDING PERMIT

SCALE: 1"=30'

KEYED NOTE:

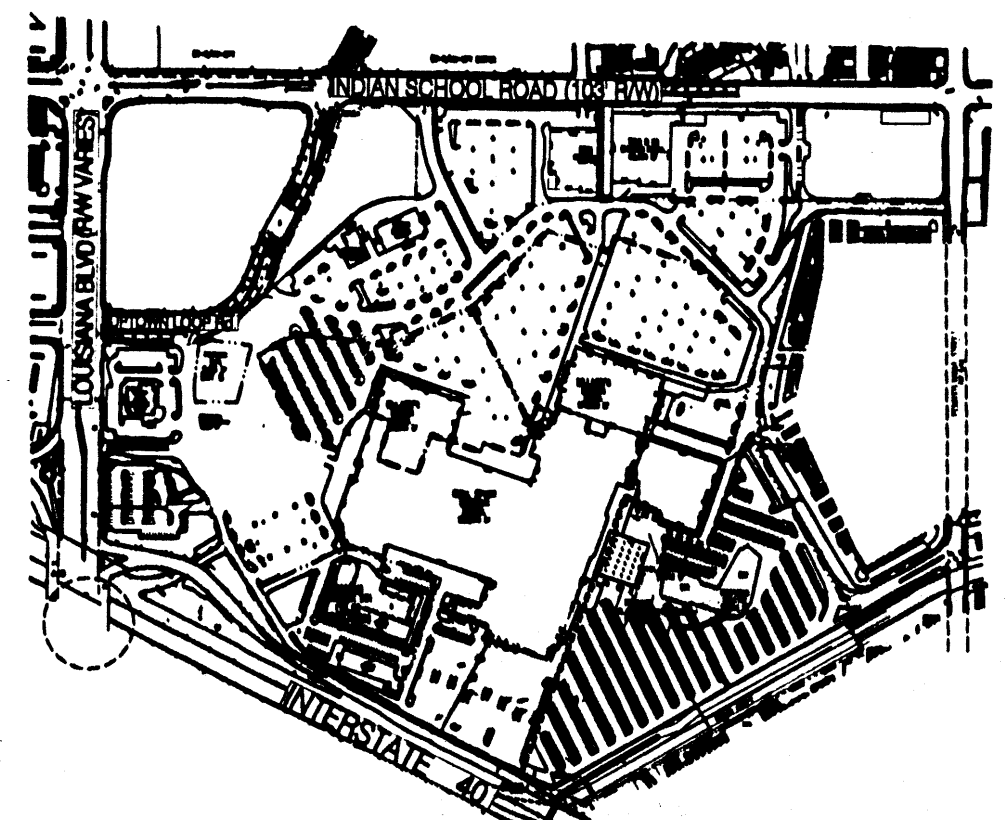
- 1 8" INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN CROSSWALK RE: DETAIL 1/A11
- 2 10' INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN STREET SIDEWALK RE: DETAIL 9/A13
- 3 30' LIGHT POLE LOCATION RE: DETAIL 3/A11
- 4 4 FOOT HIGH PEDESTRIAN SCALE LIGHT LOCATION RE: DETAIL 1/A13 TYPICAL PEDESTRIAN LIGHT GRAPHIC SYMBOL: [Symbol]
- 5 CONC. SIDEWALK RE: DET 14/A11 RE: SITE PLAN FOR JOINT LAYOUT
- 6 HANDICAP RAMP PER COA STD DWG 12426 AT 1:12 MAX SLOPE WITH TRUNCATED DOMES PER COA STANDARDS
- 7 INDICATES DRIVE ENTRANCE PER CITY STD. DETAIL 2426
- 8 INDICATES BIKE RACK LOCATION (5 BIKE CAPACITY) RE: DETAIL 1/A12 TYPICAL BIKE RACK GRAPHIC SYMBOL: [Symbol]
- 9 BENCH LOCATION RE: DETAIL 5/A13 TYPICAL BENCH GRAPHIC SYMBOL: [Symbol]
- 10 TRASH RECEPTACLE RE: DET. 3/A1/3
- 11 18" HIGH INTEGRALLY COLORED CONC. RAISED BED/SEATING LANDSCAPE AREA RE: DETAIL 10/A13 TYPICAL PLANTING BED GRAPHIC SYMBOL: [Symbol]
- 12 HANDICAP RAMP RE: 15/A11
- 13 HANDICAP RAMP RE: 16/A11
- 14 HANDICAP RAMP RE: 12/A11
- 15 HANDICAP RAMP RE: 17/A11
- 16 INDICATES "OPEN SPACE" LANDSCAPE AREAS G.C. TO PROVIDE/COORDINATE REQ. BLEEVING FOR EA. WELL LOCATION RE: LANDSCAPE PLAN FOR INFO
- 17 INDICATES "DEVELOPED OPEN SPACE AREA LOCATION RE: PLAN AND LANDSCAPE PLAN FOR INFO
- 18 INDICATES "DEVELOPED OPEN SPACE 40% INTEGRATED LANDSCAPE / SEATING AREA RE: KEYED NOTE 8
- 19 INDICATES "DEVELOPED OPEN SPACE 40% INTEGRATED LANDSCAPE AREA
- 20 INDICATES "DEVELOPED OPEN SPACE 15% LANDSCAPE SHADE TREE LOCATION RE: LANDSCAPE PLAN FOR SHADE TREE INFO
- 21 INDICATES "DEVELOPED OPEN SPACE 15% CANOPY SHADE STRUCTURE
- 22 INDICATES 1' CURB CUT TO ALLOW FOR PASSIVE WATER SHEET FLOW HARVESTING FROM ADJACENT PAVEMENT SURFACE TO PROPOSED LANDSCAPE PLANT BEDS. RE: DETAIL 1/A11 FOR KNOTCH DETAIL
- 23 INDICATES PROPOSED BU'S OUTDOOR OPEN AIR PATIO WITH NON FIXED SEATING RE: DETAIL SHEET PLAN A10 FOR PATIO DETAIL INFO
- 24 NOT A PART-FUTURE REDEVELOPMENT PHASE
- 25 6" HIGH CONC. ISLAND RE: DET 4/A11 RE: SITE GRADING PLAN FOR INFO
- 26 SERVICE YARD RE: DETAIL PLAN SHEET A6.0 FOR YARD DETAILS
- 27 H.C. PARKING STALL RE: DET 5/A12
- 28 DUAL CONFIGURATION H.C. PARKING STALL RE: DET 9/A12
- 29 WHEELSTOP RE: DET 5/A12 NOTE: WHEEL STOPPS OCCUR AT EACH PARKING SPACE AS REQUIRED BY USDP
- 30 INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION NOTE: EACH ON SITE STALL MEASURES 4' X 8' IN SIZE RE: SITE PLAN FOR LOCATIONS. RE: DET. 1/A12 FOR "MOTOR CYCLE PARKING" SIGN DETAIL
- 31 COMBINATION PET-HUMAN WATER FOUNTAIN RE: DETAIL 11/A13
- 32 EXTERIOR 12" X 24" BRAZILIAN SLATE TILE AT BU'S (LOT 6) MAIN BUILDING ENTRY PATHWAY
- 33 PROPOSED CENTER ID SIGN RE: DETAIL 1/A14 FOR SIGN ELEV.
- 34 PERIMETER CONCRETE STREET SIDEWALK WITH DECORATIVE BORDER RE: DETAIL 9/A13
- 35 INDICATES PROPOSED OUTDOOR DEVELOPED PLAZA AREA ON THE SOUTHEAST CORNER OF THE BU'S RESTAURANT. AREA SHALL CONTAIN LANDSCAPE PLANTING BEDS ADJACENT TO CONCRETE WALKWAYS. THE CENTER PORTION OF THE PLAZA AREA SHALL CONTAIN RAISED CONCRETE PLANTERS AND A DRINKING FOUNTAIN FOR PET AND PEDESTRIAN USE. THE NORTHERN PART OF THE PROPOSED PLAZA AREA SHALL BE FURTHER ENHANCED WITH SLATE TILE BETWEEN THE ENTRY FACADE AND FACE OF CURB RE: ENLARGED DETAIL 5/A14 FOR INFO
- 36 PLAZA SIDEWALK EDGE DETAIL RE: DETAIL 2/A14
- 37 PROPOSED DEVELOPED OPEN SPACE AREA RE: ENLARGED DETAIL 3/A14 FOR INFO
- 38 PROPOSED DEVELOPED OPEN SPACE AREA RE: ENLARGED DETAIL 4/A14 FOR INFO
- 39 EXISTING PEDESTRIAN CROSSWALK LOCATION TO BE REMOVED AND REPLACED WITH PAVEMENT TO MATCH ADJACENT

PROJECT NUMBER: 1002202
APPLICATION NUMBER: 12070121

Is an Infrastructure List required? () YES () NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date 05-09-12
DRB ARIZONA ENGINEER	Date 05-12-12
Carol S. Dumont	Date 5-9-12
Parks and Recreation Department	Date 5-9-12
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date 5-29-12
DRB Chairperson, Planning Department	Date
Environmental Health, if necessary	



PEDESTRIAN SEATING TABULATION

PEDESTRIAN SEATING TABULATION (LOT-6 BU'S) WITHIN BU'S DEVELOPED OPEN SPACE

(1) 4 PERSON BENCHES

(2) 13 PERSON RAISED PLANTER BED WALLS

35 TOTAL PROVIDED PUBLIC SEATS

TOTAL PROVIDED PUBLIC SEATS LOT-6/LOT 5 PHASE 2-A: 35 SEATS

NOTE: ALL CROSS WALK LOCATIONS SHALL BE MAINTAINED BY THE LANDOWNER

NOTE: ALL LANDSCAPED AREAS TO BE DEPRESSED BELOW ADJACENT PAVING TO ALLOW FOR PASSIVE SHEET FLOW WATER HARVESTING INTO LANDSCAPE AREAS THROUGH CONCRETE CURB NOTCHES

NOTE: PROPOSED PEDESTRIAN ACCESS ALONG THE UPTOWN LOOP ROW SHALL BE PROVIDED BY A SERIES OF RAMPS AND TEXTURED PAVING SECTIONS FROM THE NORTHWEST CORNER OF LOT-6 TO THE PROPOSED MASS TRANSIT STOP LOCATED AT THE SIGNALIZED INTERSECTION AS SHOWN ON THE OVERALL SITE PLAN FOR BUILDING PERMIT

NOTE: LOT 6 AND LOT 5 PHASE-2A SHALL BE COMPLETED CONCURRENTLY UNDER LOT 6 IMPROVEMENTS

NOTE: LOT 6 AND LOT 5 PARKING AREAS SHALL HAVE SHARED PARKING AGREEMENTS IN PLACE

LINE TYPE LEGEND

INTERNAL PHASE LINE

PROPOSED LOT LINE

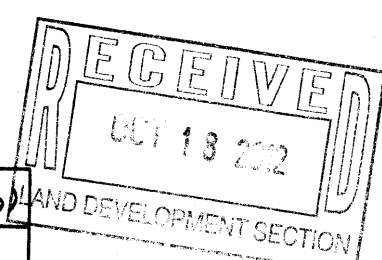
PROJECT AREA AND OUTER PHASE AREA LIMITS

EXISTING PROPERTY LINE

EXISTING CURB LINE

PROPOSED CURB LINE

SITE DATA TABLE	BU'S RESTAURANT (LOT-6)	PHASE AREA TOTALS/LOT 5-P2A AND 6
LEGAL DESCRIPTION	PARCEL 1-A-1 WINROCK CENTER ADDITION	
TOTAL ACRES:	RE: SITE PLAN FOR SUBDIVISION	
EXISTING ZONING:	BU-3 MU-UPT	
PROPOSED USE:	RESTAURANT AND GENERAL RETAILING	
BUILDING SIZE:	9,156 SF + 1,582 SF PATIO = 10,738	
TOTAL PARKING PROVIDED:	11 SPACES	30 PROVIDED SPACES
TOTAL PARKING REQ:	10 SPACES	2 PER 1000 = 32 SPACES
HC PROVIDED:	4 SPACES	4 HC (INCLUDING 4 VAN ACCESSIBLE)
HC REQUIRED:	1 SPACES	4 HC SPACES
BIKE SPACES PROVIDED:	5 SPACES	5 BIKE SPACES
BIKE SPACES REQUIRED:	1 SPACES	1 PER 20 CAR SPACES = 2
MOTORCYCLE SPACES PROVIDED:	2 SPACES	2 SPACES
MOTORCYCLE SPACES REQUIRED:	1 SPACES	2 SPACES



MODULUS ARCHITECTS
220 COPPER AVE. N.W. SUITE 350
ALBUQUERQUE, NEW MEXICO 87102
PHONE (505) 338-1499 FAX (505) 338-1498

PROJECT TITLE: WINROCK TOWN CENTER
2200 LOUISIANA BLVD. NE
ALBUQUERQUE, NEW MEXICO

TRUST MANAGER: STEPHEN DUNBAR, AIA

JOB NO.: WIN-BU

DRAWN BY: S-J

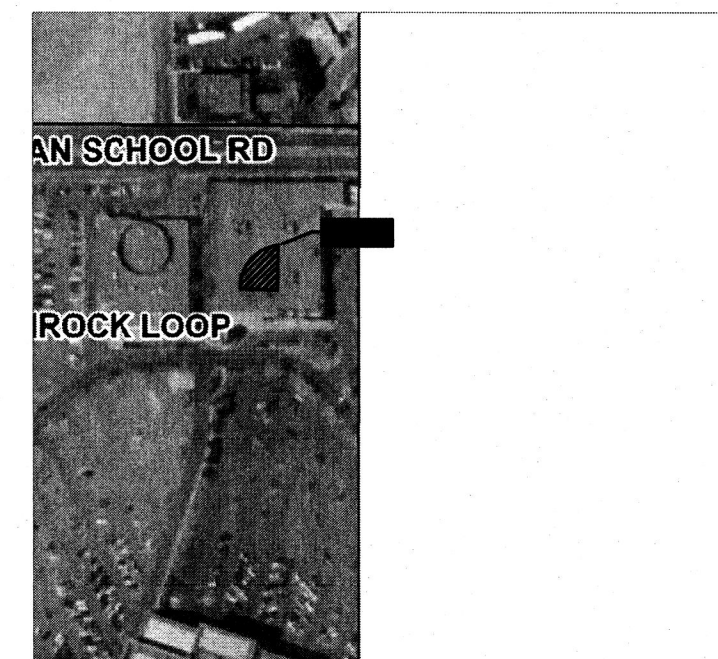
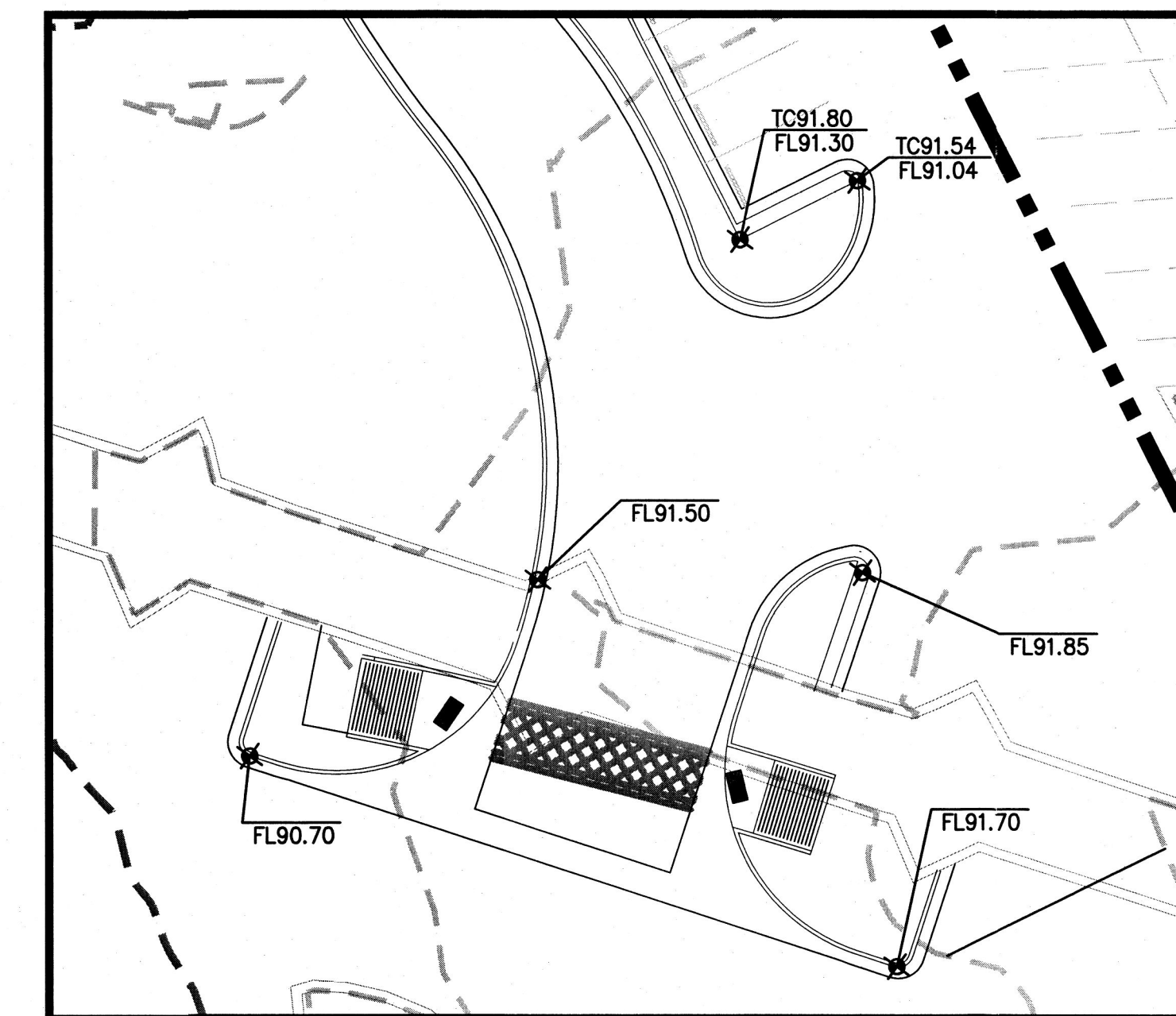
SHEET TITLE: SITE PLAN FOR BUILDING PERMIT

DATE: 5/4/12

SCALE: AS NOTED

Stamp: BPI





FIRM PANEL 35001C0352G

GENERAL NOTES

1. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
2. ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM EXISTING PLANS, AND THE INFORMATION MAY BE OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND FACILITY SHOWN ON OR NEAR THE AREA, IN ADVANCE OF AND DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES, IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
4. THE CONTRACTOR SHALL INSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND BY WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED FROM THE CITY OF ALB. FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.

Designed E

HUITT-ZOLLARS
Huitt-Zollars, Inc. Rio Rancho
333 Rio Rancho Drive NE, Suite 101
Rio Rancho, New Mexico 87124
Phone (505) 892-5141 Fax (505) 892-3255

TITLE: BJ'S BUILDING PERMIT
GRADING PLAN

Design Review Committee		City Engineer		Last Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.		Zone Map No.		Sheet	Of	
		J-10-7		C102		

100% SUBMITTAL

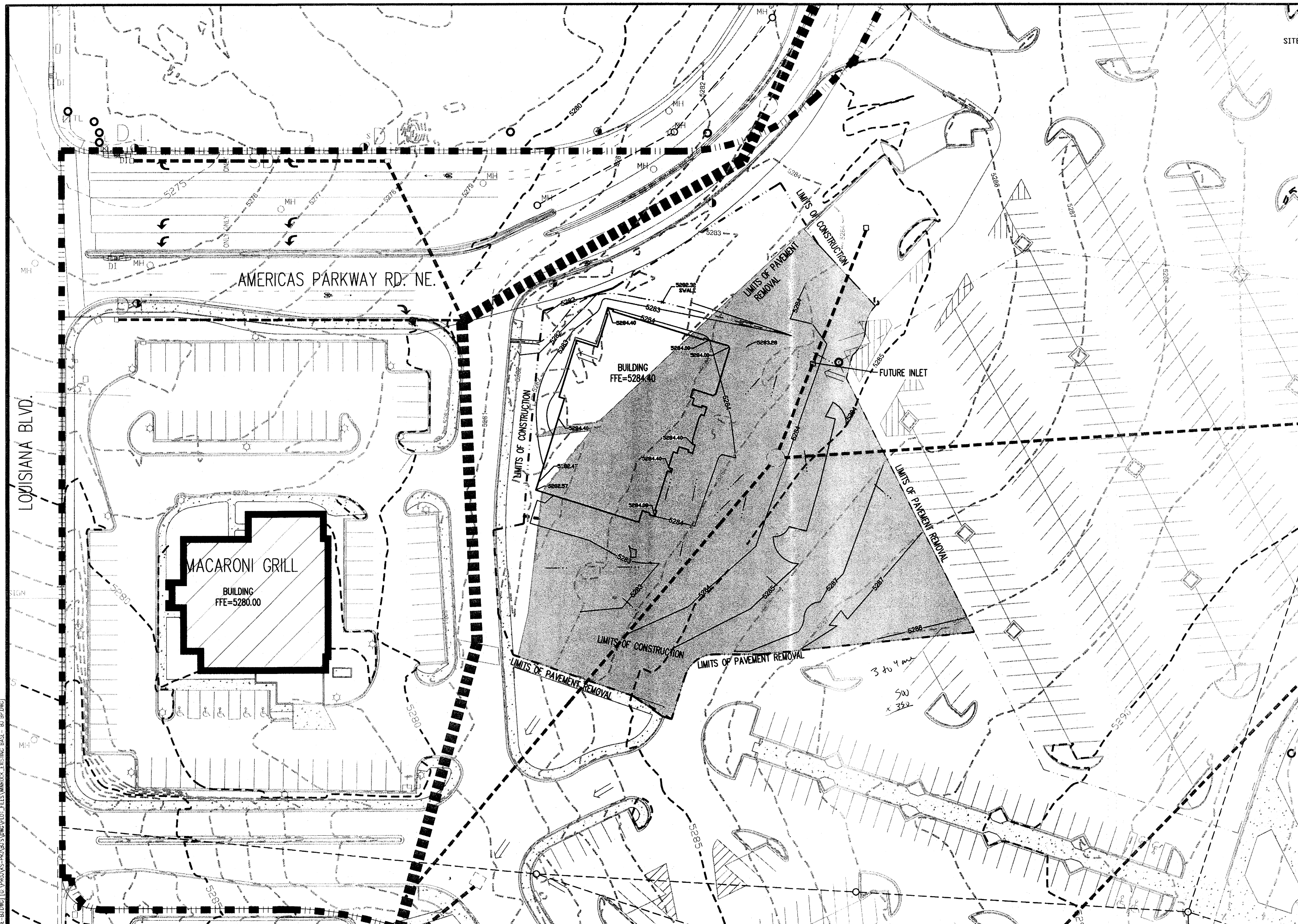
FLOOD ZONE

PER THE FEMA MAP NUMBER 35001 C0352G DATED
SEPTEMBER 26, 2008 SHOWS THE SITE IS NOT
LOCATED WITHIN A FLOOD HAZARD ZONE AREA.

ENGINEER'S CERTIFICATION

I PERSONALLY INSPECTED THIS SITE AND NO GRADING,
FILLING, OR EXCAVATION HAS OCCURRED SINCE THE
PREPARATION OF THE TOPOGRAPHY SHOWN ON THIS PLAN

Aug 29, 2012 1:20:14pm - User settings
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PROPOSED DRAINAGE CONDITIONS

FINAL LOCATIONS SHALL BE ESTABLISHED AND INCLUDED IN THE BUILDING PERMIT SUBMITTAL WAS SUBMITTED TO THE URT IN MID MARCH 2012. FOLLOWING URT THE SITE PLAN FOR BUILDING PERMIT SHALL BE SUBMITTED TO THE DRB.

FLOOD ZONE

ENGINEER'S CERTIFICATION

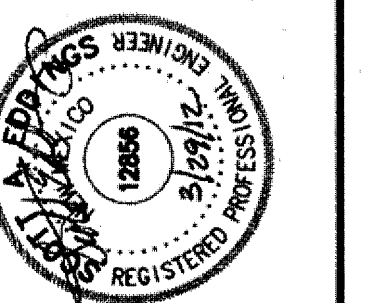
ZONE ATLAS PAGE J-19-Z

FIRM PANEL 35001C0352G

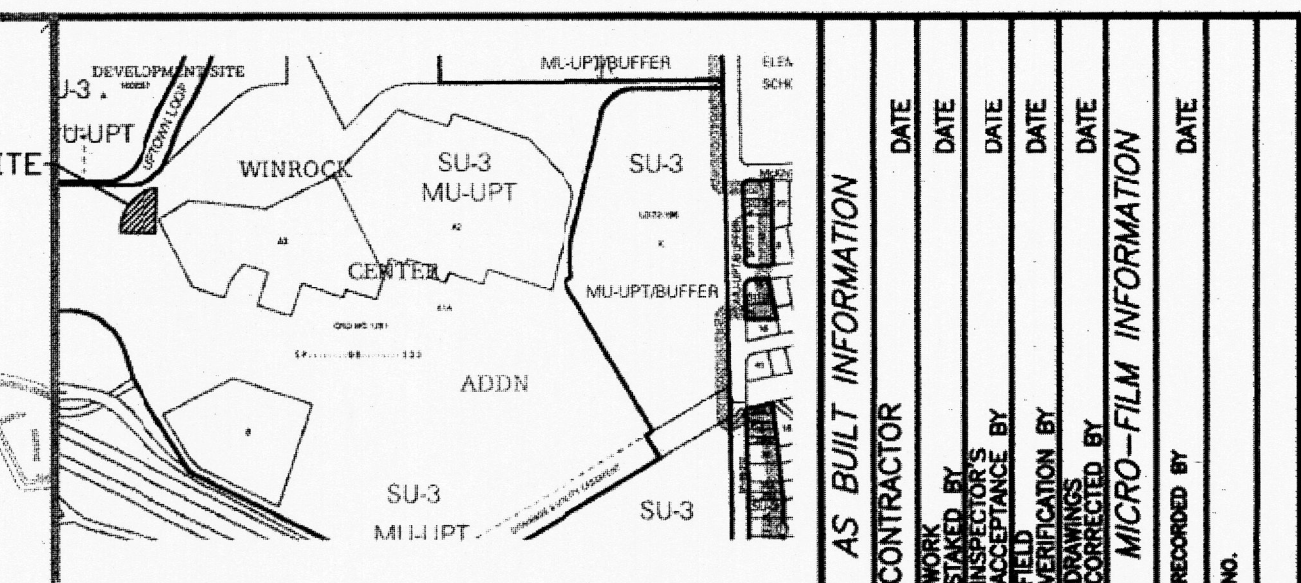
Designed By:

CITY OF ALBUQUERQUE RECEIVED

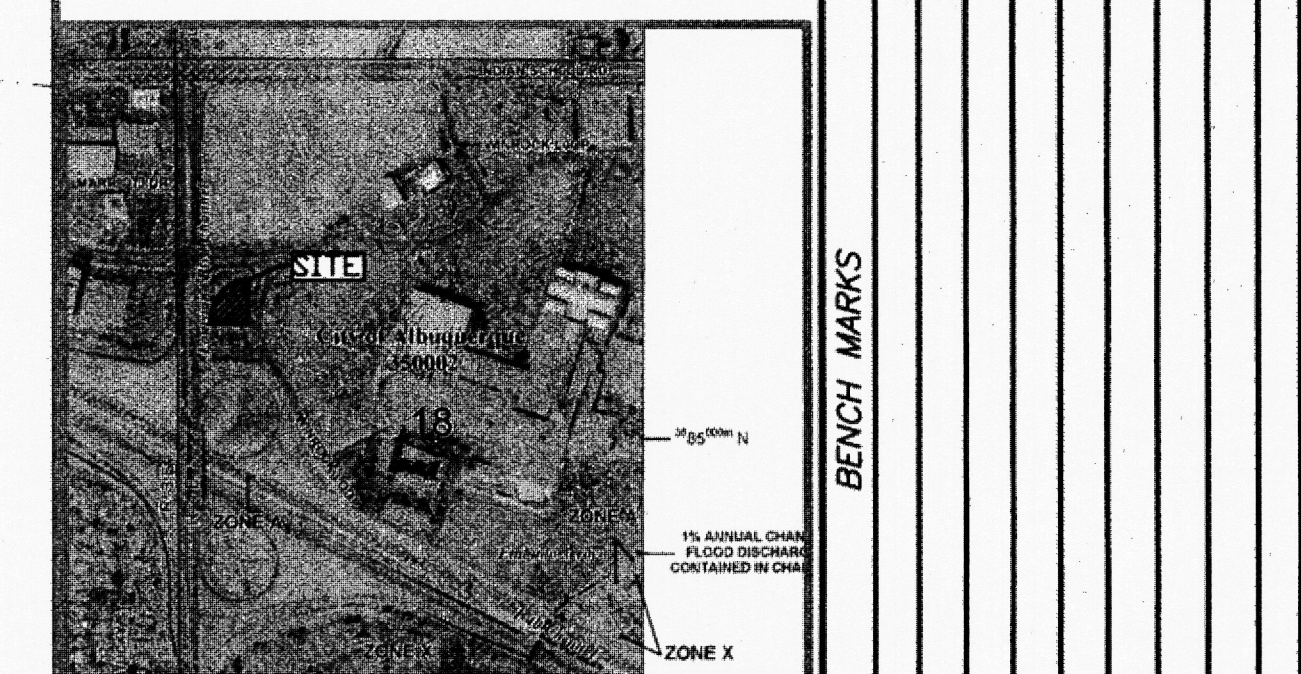
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FIELD NOTES				CONTRACTOR	
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				INSPECTOR'S	DATE
				FIELD	DATE
				VERIFICATION BY	DATE
				CORRECTED BY	DATE
				MICRO-FILM INFORMATION	
				RECORDED BY	DATE
				NO.	



NO.	DATE	REMARKS	BY
REVISIONS			
DESIGN			
DESIGNED BY:		DATE:	
DRAWN BY:		DATE:	
DWG NAME:		PROJ. #: 17-0833-01	
CHECKED BY:		DATE:	




ZONE ATLAS PAGE J-19-Z

[illegible]

GENERAL NOTES	DN	DAT							
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- [illegible]

Designed By: **HUITT-ZOLLARS**
 Huitt-Zollars, Inc. Rio Rancho
 333 Rio Rancho Drive NE, Suite 101
 Rio Rancho, New Mexico 87124
 Phone (505) 892-5141 Fax (505) 892-3259

 CITY OF ALBUQUERQUE

TITLE: B-1 RESTAURANT DEMOLITION PLAN

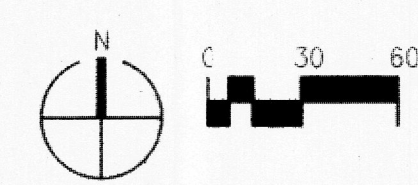
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City Project No.	Zone Map No. J-10-Z	Sheet C100	Of
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Mar 29, 2012 3:41:33pm - User settings
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EXISTING DRAINAGE CONDITIONS

THIS PORTION OF THE WINROCK PARKING SLOPE FROM SOUTHEAST TO NORTHWEST. OVERLAND STORMWATER IS DIRECT TO STORM DRAIN INLET NUMBER 1. OVERFLOWS AND ADDITIONAL PAVEMENT PARING AREAS SLOPE TO PARKING LOTS EXTERIOR CURB AND GUTTER. CONCENTRATED FLOWS ARE DIRECTED TO CONCRETE RUNDOWN NUMBER 1 DISCHARGING INTO A SMALL LANDSCAPE AREA. THE LANDSCAPE AREA IS GRADED TO SOUTH WHERE STORMWATER IS DISCHARGED ONTO THE RING ROAD AND ENTERS THE 84" STORM DRAIN.



$$Q_{100} = (1.87) \times (0.00) + (2.60) \times (0.00) + (3.45) \times (0.03) + (5.02) \times (1.71) = 8.68 \text{ cfs}$$
$$Q_{100} = (1.87) \times (0.00) + (2.60) \times (0.00) + (3.45) \times (0.00) + (5.02) \times (0.13) = 0.65 \text{ cfr}$$
$$Q_{100} = (1.87 \times 0.00) + (2.60 \times 0.00) + (3.45 \times 0.04) + (5.02 \times 1.92) = 9.78 \text{ cfs}$$
$$Q_{100} = (1.87) \times (0.00) + (2.60) \times (0.06) + (3.45) \times (0.00) + (5.02) \times (0.00) = 0.16 \text{ cf}$$
$$Q_{100} = (-1.87) \times (-0.00) + (-2.60) \times (-0.00) + (-3.45) \times (-0.01) + (-5.02) \times (-0.30) = 1.55 \text{ cf}$$
$$Q_{100} = (1.87) \times (0.00) + (2.60) \times (0.05) + (3.45) \times (0.05) + (5.02) \times (0.01) = 0.38$$

EXISTING 18" STORM DRAIN CAPACITY

g1. 10'x12'admin/drainage/sidem drain.fr2 Hutt Zellers Inc. Project Engineer: Hutt Zellers, Inc.
FlowMaster v7.0 (7,000)

HUITT-ZOLLARS
Hutt-Zollars, Inc. Rio Rancho
333 Rio Rancho Drive NE, Suite 101
Rio Rancho, New Mexico 87124
Phone (505) 892-5141 Fax (505) 892-3255

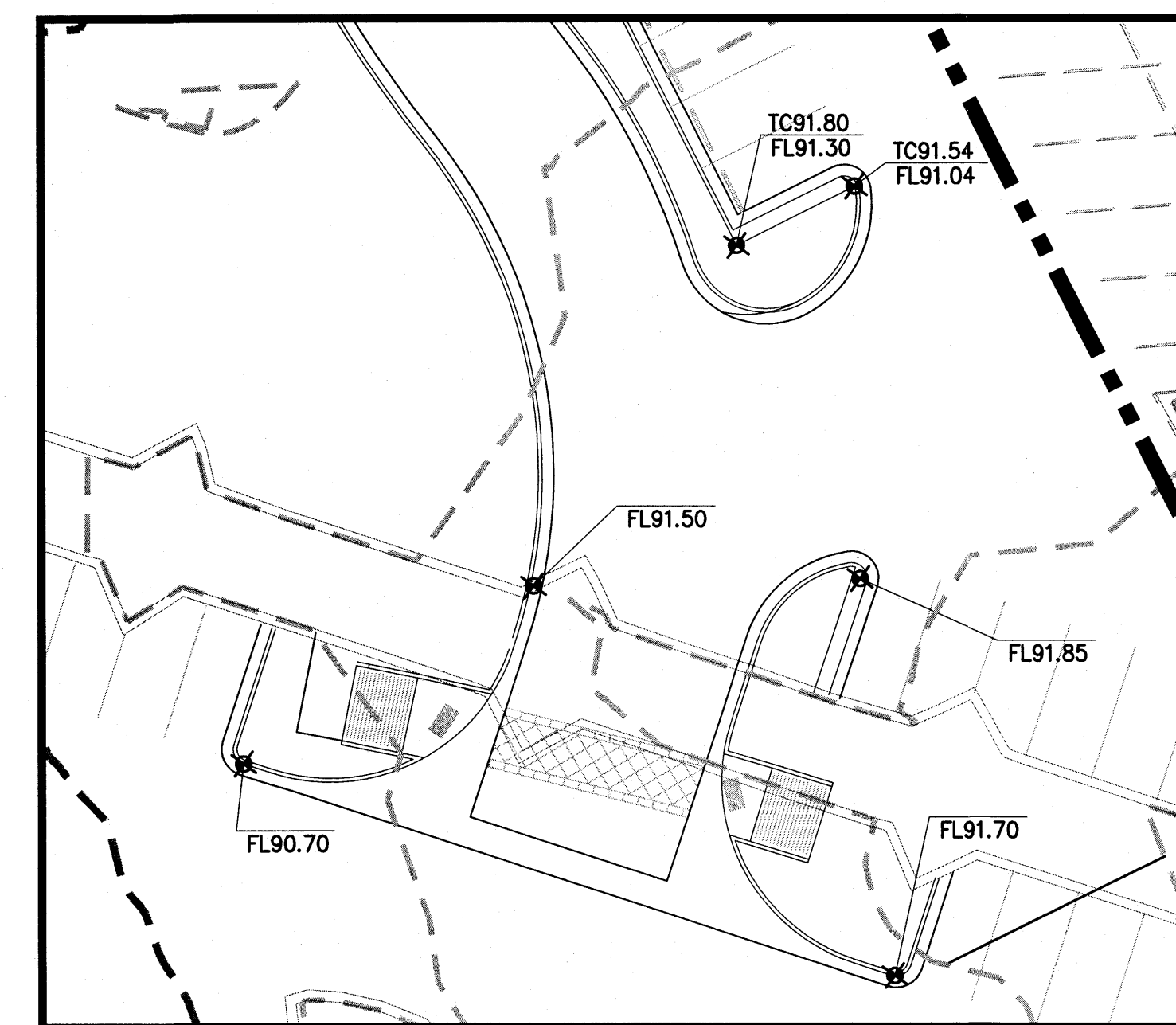
BJ'S BUILDING PERMIT DRAINAGE PLAN

Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.
		Last Update	
City Project No.	Zone Map No.	Sheet	Of
	J-10-Z	C101	

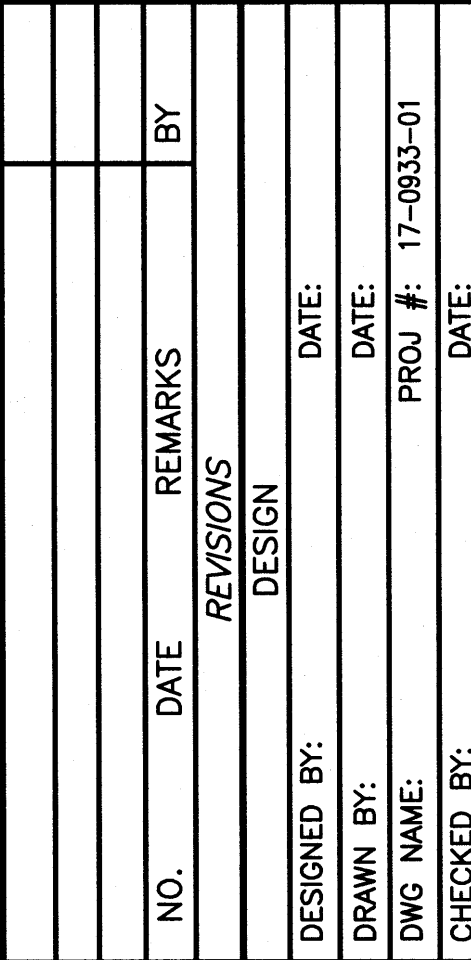
100% SUBMITTAL

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Xrefs: [BASE-BJ-12APR12.DWG] [WRC-2012-EXISTING BASE.DWG] [BJ-5212-BASE.DWG]

RECEIVED
APR 23 2012

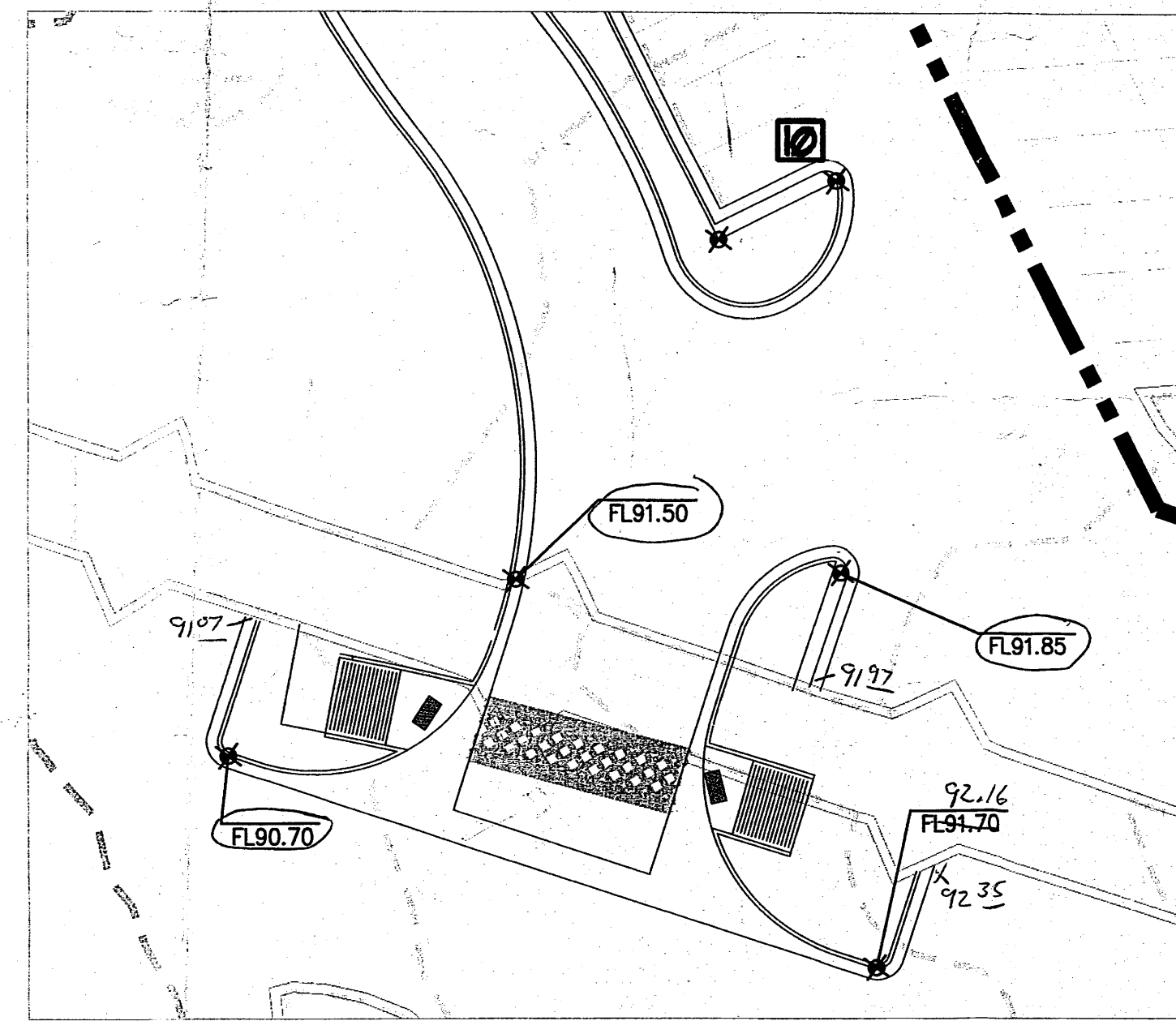


I PERSONALLY INSPECTED THIS SITE AND NO GRADING,
FILLING, OR EXCAVATION HAS OCCURRED SINCE THE
PREPARATION OF THE TOPOGRAPHY SHOWN ON THIS PLAN.



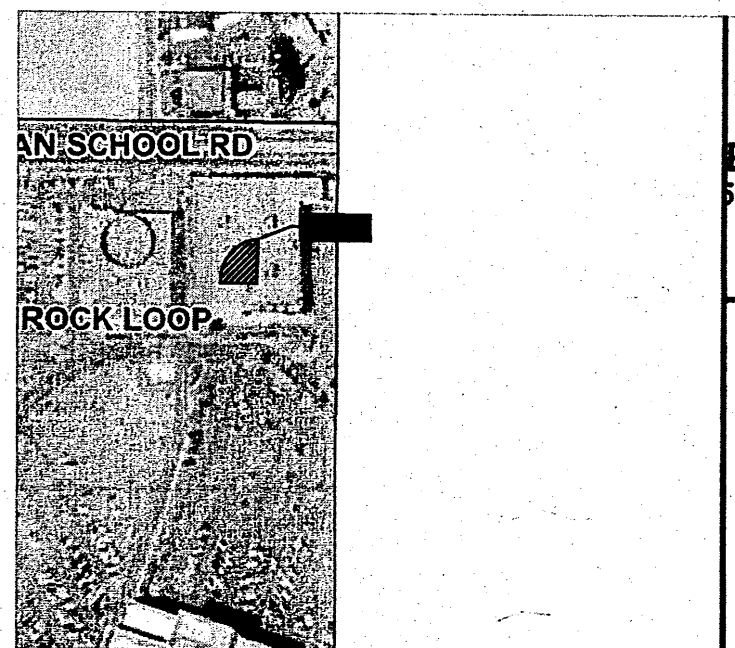
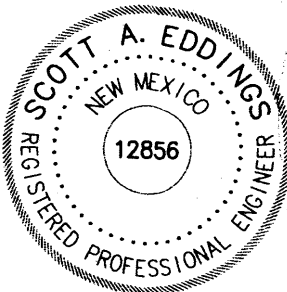
TITLE:				BJ'S BUILDING PERMIT GRADING PLAN				
Design Review Committee		City Engineer		Last Update	Mo./Day/Yr.		Mo./Day/Yr.	
City Project No.			Zone Map No.		Sheet		Of	
			J-10-Z		C102			

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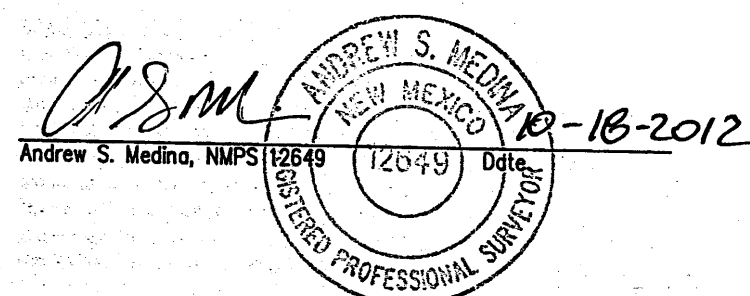


THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

DATE 10/19/12



SURVEYOR'S CERTIFICATE
I, Andrew S Medina, duly qualified Licensed Professional Surveyor under the laws of the State of New Mexico, do hereby certify; that the "as-built" information shown on these drawings was obtained from field construction and "as-built" surveys performed by me or under my supervision and that the "as built" information shown on these drawings was added by me or under my supervision; and that this "as-built" information is true and correct to the best of my knowledge and belief. I am not responsible for any of the design concepts, calculations, engineering, or intent of the record drawings.



Designed By:

HUITT-ZOLLARS

Huitt-Zollars, Inc. Rio Rancho
333 Rio Rancho Drive NE, Suite 101
Rio Rancho, New Mexico 87124
Phone (505) 892-5141 Fax (505) 892-3259

100% SUBMITTAL

"as-built" information shown on these drawings was obtained on field construction and "as-built" surveys performed by me or under my supervision that the "as built" information shown on these drawings was added by me of under my supervision; and that this "information is true and correct to the best of my knowledge and belief". I am not responsible for any of the design concepts, calculations, engineering, or intent of the record drawings.

Designed By:

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TITLE:

BJ'S BUILDING PERMIT GRADING PLAN

Design Review Committee		City Engineer		Last Update	Mo./Day/Yr.		Mo./Day/Yr.		
City Project No.				Zone Map No.		Sheet		Of	
				J-10-Z		C102			

