

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



April 1, 2015

Scott Eddings, P.E.
Huitt-Zollars
6501 Americas Parkway NE
Albuquerque, New Mexico 87110

Richard J. Berry, Mayor

**RE: Winrock Redevelopment Parking Structure
Drainage Report
Grading Plan for Grading Permit
Engineer's Stamp Date 3-7-2015 (J19D058C)**

Dear Mr. Eddings:

Based upon the information provided in your submittal received 3-9-15, the above referenced plan is approved for Grading Permit with the following condition:

- Winrock Development on the overall site is being constructed in phases. All interim phases must limit the runoff to any one of the discharge points to less than the existing capacity shown on sheet C-103.
- In the interim phases, the total proposed runoff to the 3 discharge points must be less than or equal to the total existing discharge at those same points.
- The interim phases must comply with the overall concept of the Master Drainage Plan.

PO Box 1293

Albuquerque

New Mexico 87103 If you have any questions, you can contact me at 924-3695.

www.cabq.gov

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf Addressee via Email, Monica Ortiz, Curtis Cherne

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



March 23, 2015

Scott M. McGee, P.E.
9700 Tanoan Dr NE
Albuquerque, NM 87111

Richard J. Berry, Mayor

**RE: Winrock Redevelopment Parking Structure
Drainage Report
Grading Plan for Grading Permit
Engineer's Stamp Date 3-7-2015 (J19D058C)**

Dear Mr. McGee:

Based upon the information provided in your submittal received 3-9-15, the above referenced plan is approved for Grading Permit with the following condition:

- Winrock Development on the overall site is being constructed in phases. All interim phases must limit the runoff to any one of the discharge points to less than the existing capacity shown on sheet C-103.
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DRAINAGE NARRATIVE

PURPOSE

THE PURPOSE OF THIS DRAINAGE PLAN ADDRESSES STORM WATER RUNOFF AND PROPOSED INFRASTRUCTURE NECESSARY TO CONVEY RUNOFF FROM THE PROPOSED SECTION 2 AND SECTION 4 WINROCK TOWN CENTER SITE PLAN. THE PLAN WILL EXHIBIT COMPLIANCE WITH THE CITY OF ALBUQUERQUE DPM CHAPTER 22 AND THE DRAINAGE MASTER PLAN (DMP) FOR WINROCK TOWN CENTER PREPARED BY ISAACSON AND ARFMAN, P.A. DATED FEBRUARY 5, 2015.

EXISTING CONDITIONS

THE WINROCK SITE IS A COMPLEX OF BUILDINGS THAT INCLUDES THE MAIN MALL, A NUMBER OF OUTLYING RESTAURANTS, THE TOYS 'R' US, AND A RECENTLY COMPLETED MOVIE THEATER. THE EXISTING MALL BUILDING IS COMPOSED OF A NUMBER OF INDIVIDUAL BUILDINGS THAT WERE ENCLOSED BY AN OVERALL STRUCTURE.

THE SITE IS BOUNDED BY INDIAN SCHOOL ROAD TO THE NORTH, AMERICA'S PARKWAY (AKA UPTOWN LOOP) TO THE NORTHWEST, LOUISIANA BLVD TO THE WEST, I-40 AND THE EMBUDO ARROYO TO THE SOUTH, THE WINROCK VILLAS CONDO COMPLEX TO THE EAST, AND PENNSYLVANIA AVE TO THE NORTHEAST. THE SITE GENERALLY SLOPES FROM THE EAST TOWARDS THE SOUTHWEST CORNER.

EXISTING DRAINAGE PATTERNS DIRECT STORM WATER TOWARDS ONE OF THE EXISTING STORM DRAINS, OR TO THE SURROUNDING ROADS. THE SITE IS COMPLETELY DEVELOPED WITH ABOUT 88% IMPERVIOUS AREA.

RELATED REPORTS

- "DRAINAGE MASTER PLAN" FOR WINROCK TOWN CENTER BY ISAACSON AND ARFMAN, P.A. DATED 2/5/2015
- "PHASE 1 AMENDMENT TO THE FINAL DRAINAGE STUDY FOR WINROCK REDEVELOPMENT" BY HUITT- ZOLLARS, INC. DATED 09/07/2011 (H-Z AMENDMENT)
- "FINAL DRAINAGE STUDY FOR WINROCK REDEVELOPMENT WINROCK MARKET CENTER" BY HUITT- ZOLLARS, INC. DATED 03/13/2006 (H-Z DRAINAGE STUDY)

IN THE EXISTING CONDITION THE SITE IS FULLY DEVELOPED AND DOESN'T PROVIDE ANY ONSITE DETENTION, RESULTING IN A HISTORIC FREE-DISCHARGE FROM THE OVERALL WINROCK SITE. DOWNSTREAM DRAINAGE INFRASTRUCTURE IS SIZED TO ACCEPT THE EXISTING FLOWS FROM EACH EXISTING DISCHARGE POINT.

DMP DRAINAGE BASINS INCLUDED IN THIS PROJECT :

- BASIN 110 BASIN 300 BASIN 400
- BASIN 500 BASIN 500P BASIN 510 BASIN 530

DMP REQUIREMENTS INCLUDE THE FOLLOW:

- DESIGN EACH PROJECT USING THE LAND TREATMENTS CALLED OUT FOR EACH BASIN IN THE HYDROLOGY CALCULATIONS IN APPENDIX B.
- EVERY NEW DEVELOPMENT IS REQUIRED TO BUILD DOWNSTREAM STORM DRAINS THAT ARE SHOWN IN THIS DMP. THE IMPROVEMENTS MUST MEET CITY OF ALBUQUERQUE STANDARDS.
- THE DEVELOPMENTS ARE ALSO REQUIRED TO DESIGN HOW FLOWS ARE DIRECTED TO THAT INFRASTRUCTURE.
- EXAMPLES INCLUDE NUMBER AND LOCATION OF STORM INLETS, ROOF DRAIN CONNECTIONS, SIDEWALK CULVERTS, STREET FLOW CAPACITY, ETC.
- AS PART OF THE INDIVIDUAL GRADING & DRAINAGE PLANS, EVERY NEW DEVELOPMENT WITHIN THE PROJECT IS REQUIRED TO TREAT "FIRST FLUSH" STORM WATER PER CITY OF ALBUQUERQUE DPM REQUIREMENTS.
- "ROOFTOP" BASINS WILL BE DIRECTED TO THE WATER FEATURE IN BASIN 500P FOR TREATMENT.
- EXISTING STORM DRAINS THAT ARE UNDER PROPOSED BUILDINGS MUST BE REMOVED. OTHER EXISTING STORM DRAINS THAT ARE NOT TO BE USED MAY BE ABANDONED IN-PLACE.

SUMMARY

STORM DRAIN 1 - 36" RCP

FIVE BASINS WILL DISCHARGE STORM WATER INTO STORM DRAIN 1.

- **BASINS 500 A3, A4, A5 & A6** ARE ROOF TOP BASINS AND WILL DISCHARGE VIA ROOF DRAINS ONTO **BASIN 500 C1**.
- **BASIN 500 C1** IS THE LOADING DOCK AREA AND IS GRADED TO A SUMP CONDITION AND A QUAD TYPE 'D' INLET IS LOCATED IN THE LOWEST POINT. THE INLET IS ANALYSIS POINT 1 (**AP 1**). NOTE THAT ROOF TOP BASINS WILL BE REROUTED IN THE FUTURE TO CISTERN LOCATED AT THE PROPOSED PARK.

STORM DRAIN 2 - 42" RCP

TWO BASINS PLUS STORM DRAIN 1 WILL DISCHARGE STORM WATER INTO STORM DRAIN 2.

- **BASIN 500 C2 IS AN ACCESS ROAD AND DISCHARGES ONTO BASIN 500 C5.**
- **BASIN 500 C5 HAS A BANK OF DOUBLE C INLETS AT ANALYSIS POINT 2 (AP 2) DISCHARGING INTO STORM DRAIN 2.**

STORM DRAIN 3 - 24" RCP

ONE BASIN DISCHARGES INTO STORM DRAIN 3.

BASIN 530 A1 DISCHARGES INTO STORM DRAIN 3 IN A BANK OF INLETS AT ANALYSIS POINT 3 (AP 3).

STORM DRAIN 4 - 36" RCP

FIVE BASINS AND STORM DRAIN 3 WILL DISCHARGE STORM WATER INTO STORM DRAIN 4.

- **BASIN 500 A7** IS A ROOF TOP BASIN AND HAS ROOF DRAINS DISCHARGING INTO **BASIN 500 C4** VIA SIDEWALK CULVERTS.
- **BASIN 500 C4** IS A PARKING FIELD HAS A TYPE DOUBLE C INLET DISCHARGING INTO STORM DRAIN 3 AT ANALYSIS POINT 4 (**AP 4**).
- **BASIN 500 C3** IS A PARKING FIELD HAS A TYPE DOUBLE C INLET DISCHARGING INTO STORM DRAIN 3 AT ANALYSIS POINT (**AP 4**).
- **BASIN 530 A3** IS A PORTION OF THE RING ROAD AND DISCHARGES INTO **BASIN 500 C5** VIA SURFACE FLOW.
- **BASIN 500 C5** IS ALSO A PORTION OF THE RING ROAD. **BASIN 500 C5** HAS A DOUBLE C A TYPE DOUBLE C INLET DISCHARGING INTO STORM DRAIN 4 AT ANALYSIS POINT 5 (**AP 5**).

STORM DRAINS 2 AND 4 DISCHARGE INTO THE EXISTING 42" STORM DRAIN WHICH DISCHARGES AT OUTFALL 3 INTO THE I-40 CHANNEL.

STORM DRAIN 5 - 18" HDPE

TWO BASINS WILL DISCHARGE INTO STORM DRAIN 5.

- **BASIN 500 A1** IS A ROOF TOP BASIN AND THE ROOF DRAINS WILL BE TIED INTO STORM DRAIN 5.
- **BASIN 500 A2** IS A ROOF TOP BASIN AND THE ROOF DRAINS WILL BE TIED INTO STORM DRAIN 5.

STORM DRAIN 6 - 42" RCP

DMP STORM DRAIN FOR BASIN 300. STORM DRAIN DISCHARGES TO EXISTING 84" STORM DRAIN

STORM DRAIN 7 - 36" RCP

DMP STORM DRAIN FOR BASIN 300. STORM DRAIN DISCHARGES INTO STORM DRAIN 6.

STORM DRAIN 8 - 36" RCP

DMP STORM DRAIN FOR BASIN 300. STORM DRAIN DISCHARGES INTO STORM DRAIN 7.

"FIRST FLUSH" TREATMENT

BASINS WITH PARKING FIELDS HAVE DEPRESSED LANDSCAPE PARKING ISLANDS AND ARE GRADED TO ACCEPT SURFACE FLOWS ON THE HIGH SIDE AND EXCESS WATER WILL SPILL OVER THE HIGH SIDE CURBING IN ORDER TO TREAT THE "FIRST FLUSH" EVENT. THESE BASIN INCLUDED:

- **BASIN 500 C4**
- **BASIN 500 C3**
- **BASINS WITHIN 400**
- **BASINS WITH 300**
- **BASIN 500 B1** IS THE UPPER LEVEL OF THE PARKING STRUCTURE. **BASIN 500 B1** DISCHARGES ONTO **BASIN 500 D1**. **BASIN 500 D1** IS A DEPRESSED LANDSCAPE STRIP EXTENDING THE FULL LENGTH OF THE PARKING STRUCTURE.

HYRDOLOGY

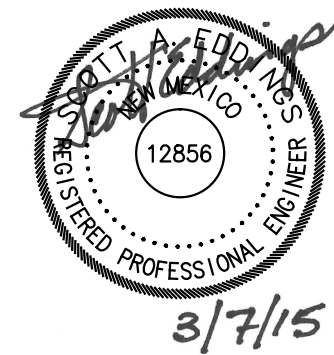
Basin	Sub-Basin	Description	Land Treatments (DEVELOPED)						10-YR Peak Discharge				100-YR Peak Discharge						Drainage Master Plan
			Percentage				AREA	AREA	CFS/ACRE				CFS/ACRE				10-YR PEAK FLOW	100-YR PEAK FLOW	100-YR PEAK FLOW
			A	B	C	D	SF	AC	A	B	C	D	A	B	C	D	CFS	CFS	CFS
110	A1	Roads and Parking Field	0	17	0	83	68,124	1,564	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	4.7	7.2	
110	A2	Roads and Parking Field	0	17	0	83	6,001	0.138	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	0.4	0.6	
TOTAL								1.702									5.1	7.8	10.4
300	A1	Building Roof Top	0	0	0	100	33,966	0.780	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	2.6	3.9	
300	A2	Building Roof Top	0	0	0	100	193,967	4.453	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	15.1	22.4	
300	A3	Building Roof Top	0	0	0	100	31,477	0.723	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	2.4	3.6	
300	A4	Roads and Parking Field	0	17	0	83	15,869	0.364	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	1.1	1.7	
300	A5	Roads and Parking Field	0	17	0	83	93,477	2.146	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	6.5	9.9	
300	A6	Roads and Parking Field	0	17	0	83	36,154	0.830	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	2.5	3.8	
300	A7	Pad Site	0	17	0	83	16,756	0.385	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	1.2	1.8	
300	A8	Road	0	17	0	83	8,992	0.206	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	0.6	1.0	
300	A9	Road	0	17	0	83	10,214	0.234	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	0.7	1.1	
TOTAL								10.121									32.8	49.1	120.2
400	A1	Roads and Parking Field	0	9	0	91	70,877	1.627	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	5.2	7.8	
400	A2	Roads and Parking Field	0	9	0	91	31,688	0.727	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	2.3	3.5	
400	A3	Parking Garage Ramp To Below Grade	0	0	0	100	4,445	0.102	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	0.3	0.5	
400	A4	Parking Garage Ramp To Below Grade	0	0	0	100	4,971	0.114	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	0.4	0.6	
400	A5	Roads and Parking Field	0	9	0	91	14,071	0.323	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	1.0	1.6	
TOTAL								2.894									9.3	13.9	15.2
500	A1	Building Roof Top	0	0	0	100	17,042	0.391	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	1.3	2.0	
500	A2	Building Roof Top	0	0	0	100	19,339	0.444	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	1.5	2.2	
500	A3	Building Roof Top	0	0	0	100	43,404	0.996	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	3.4	5.0	
500	A4	Building Roof Top	0	0	0	100	51,894	1.191	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	4.0	6.0	
500	A5	Building Roof Top	0	0	0	100	27,646	0.635	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	2.2	3.2	
500	A6	Building Roof Top	0	0	0	100	33,374	0.766	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	2.6	3.8	
500	A7	Building Roof Top	0	0	0	100	46,707	1.072	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	3.6	5.4	
TOTAL								5.496									18.6	27.6	26.5
500	B1	Exposed Parking Structure	0	0	0	100	63891	1.467	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	5.0	7.4	
TOTAL								1.467									5.0	7.4	
500	C1	Roads and Parking Field	0	17	0	83	43,269	0.993	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	3.0	4.6	
500	C2	Roads and Parking Field	0	17	0	83	15,659	0.359	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	1.1	1.7	
500	C3	Roads and Parking Field	0	17	0	83	44,893	1.031	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	3.1	4.7	
500	C4	Roads and Parking Field	0	17	0	83	64,510	1.481	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	4.5	6.8	
500	C5	Roads and Parking Field	0	17	0	83	38,683	0.888	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	2.7	4.1	
TOTAL								4.752									14.3	21.9	30.8
500	D1	Landscape	0	100	0	0	6,886	0.158	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	0.2	0.4	
TOTAL								0.158									0.2	0.4	
500P	A1	Building Roof Top	0	0	0	100	62,937	1.445	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	4.9	7.3	
TOTAL								1.445									4.9	7.3	10.1
510	A1	Building Roof Top	0	0	0	100	50,928	1.169	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	4.0	5.9	
510	A2	Roads and Parking Field	0	17	0	83	117,825	2.705	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	8.2	12.5	
TOTAL								3.874									12.1	18.3	17.9
530	A1	Roads and Parking Field	0	17	0	83	98,598	2.263	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	6.8	10.4	
530	A2	Roads and Parking Field	0	17	0	83	12,152	0.279	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	0.8	1.3	
530	A3	Roads and Parking Field	0	17	0	83	8,385	0.193	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	0.6	0.9	
TOTAL								2.735									8.2	12.6	10.0
600	A1	Roads	0	3	12	85	10,289	0.236	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	0.7	1.1	
600	A2	Roads and Parking Field	0	3	12	85	113,392	2.603	0.58	1.19	2.00	3.39	1.87	2.60	3.45	5.02	8.2	12.4	
TOTAL								2.839									9.0	13.5	18.4

DRB SUBMITTAL

REV	DATE	BY	REVISION
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MODULUS ARCHITECTS
220 COPPER AVE. N.W. SUITE 350
ALBUQUERQUE, NEW MEXICO 87102
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE WINROCK SECTION 2 AND 4		DRAWN BY: KLS	
WINROCK TOWN CENTER, ALBUQUERQUE, NEW MEXICO		JOB NO. 303699.01	
PROJECT MANAGER SCOTT EDDINGS P.E.			
SHEET TITLE DRAINAGE PLAN			

DATE: 03/06/15	sheet- C100	X
SCALE: 1"=100'	gt	XX

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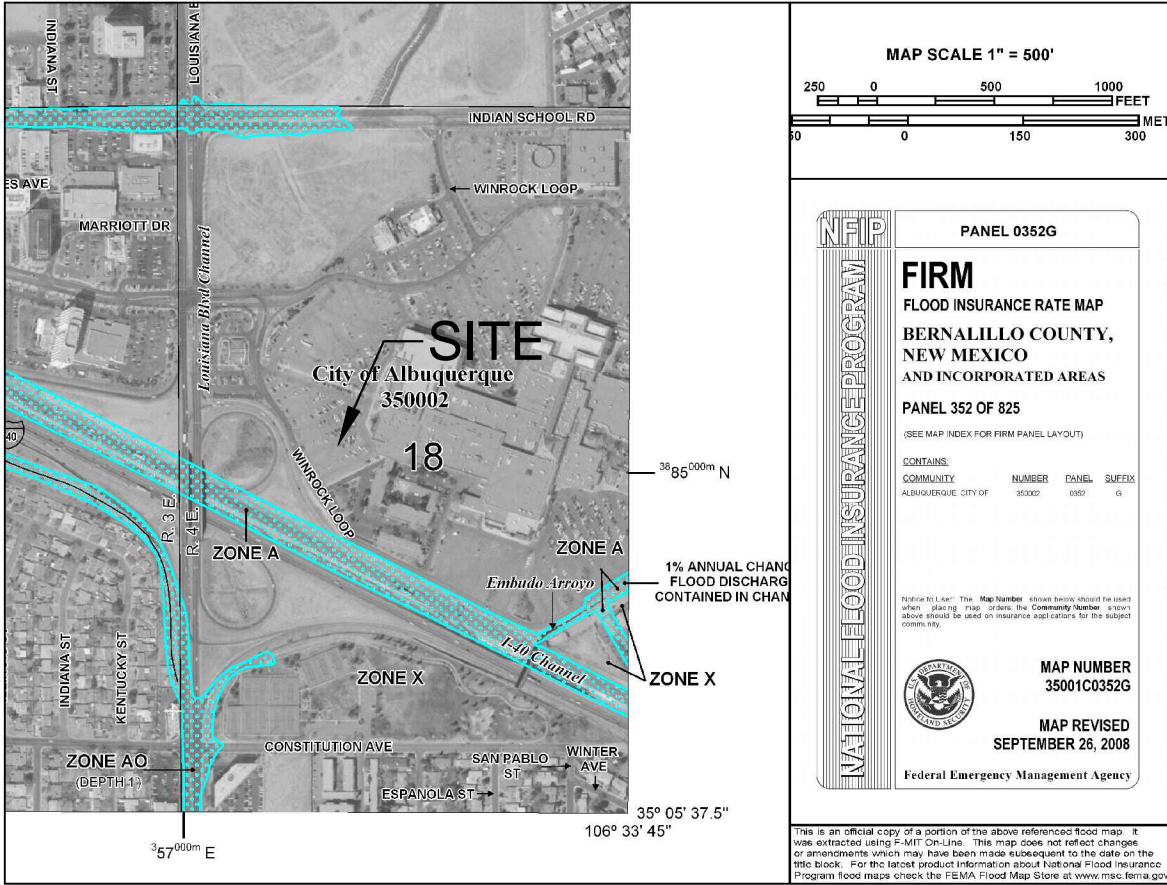
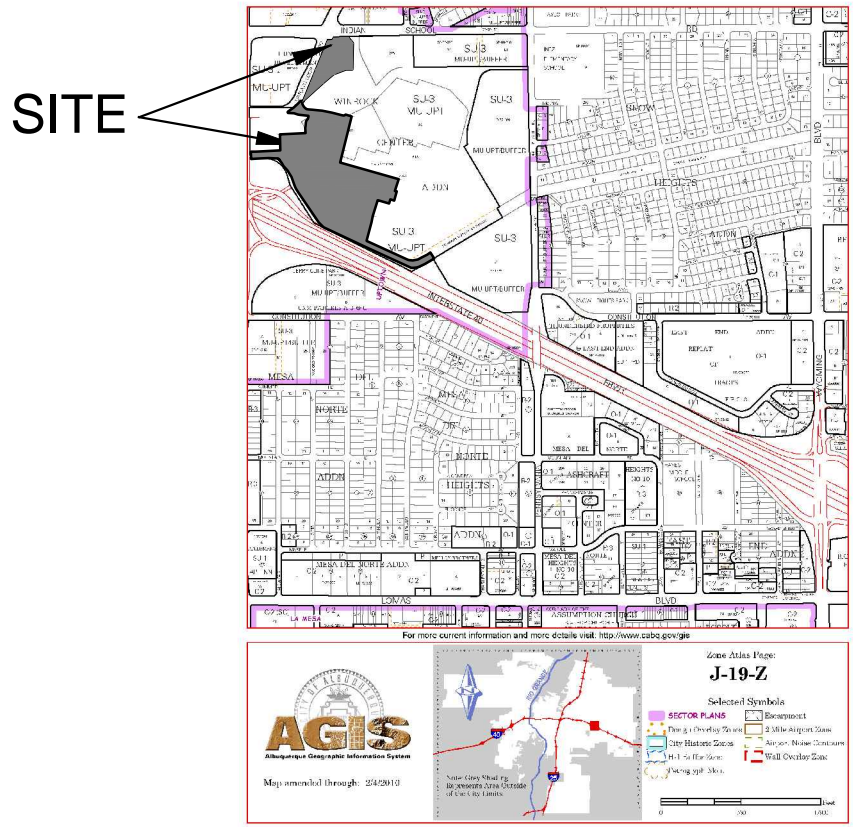
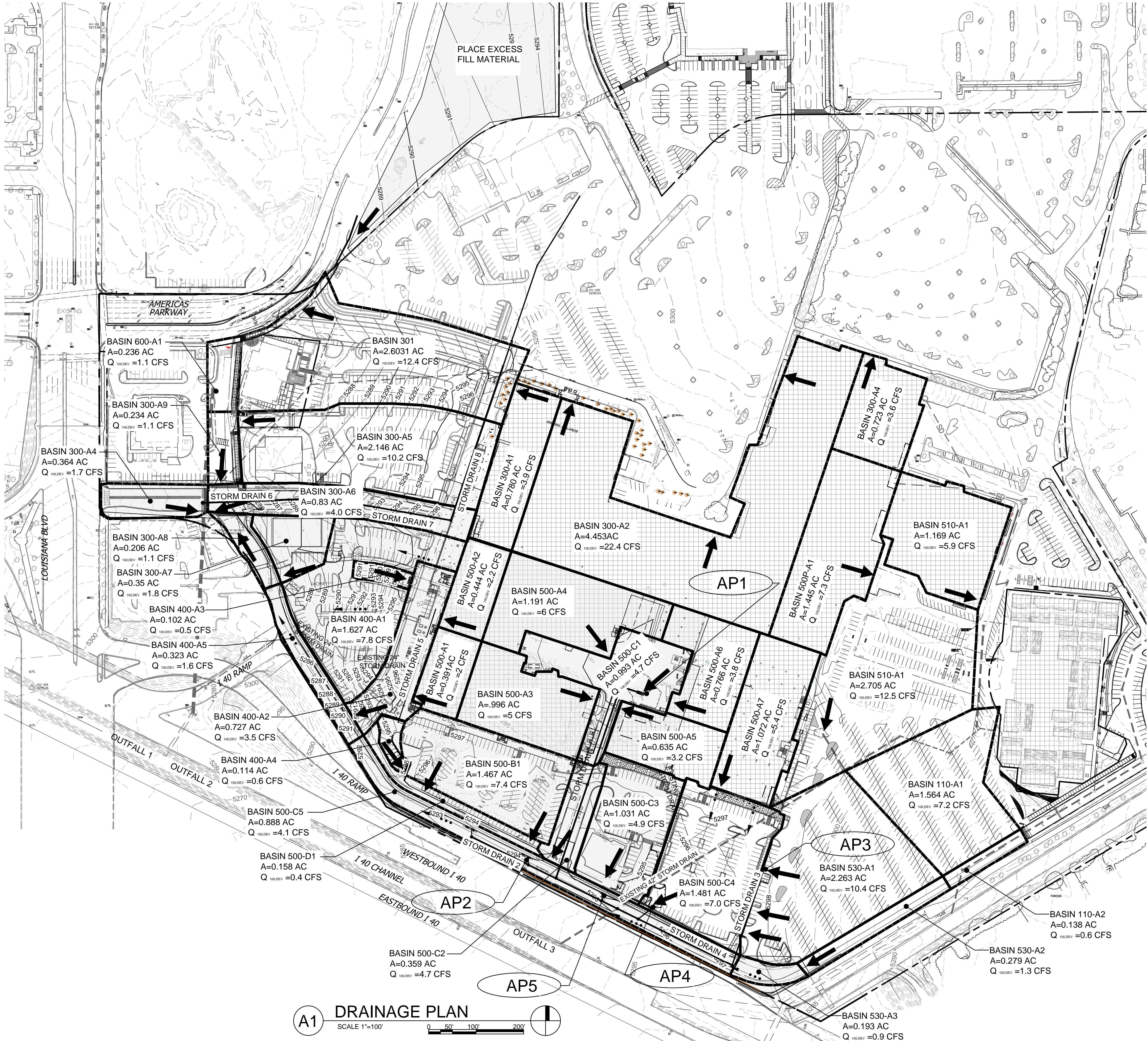
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DRB SUBMITTAL

HUITT-ZOLLARS
Huitt-Zollars, Inc. Rio Rancho
333 Rio Rancho Drive NE, Suite 101
Rio Rancho, New Mexico 87124
Phone (505) 892-5141 Fax (505) 892-3259



- LEGEND
- CONSTRUCTION LIMITS
 - BASIN BOUNDARY
 - DISCHARGE LOCATION
 - FLOW DIRECTION

FLOOD ZONE

PER THE FEMA MAP NUMBER 35001 C0352G DATED SEPTEMBER 26, 2008 SHOWS THE SITE IS NOT LOCATED WITHIN A FLOOD HAZARD ZONE AREA.

ENGINEER'S CERTIFICATION

I PERSONALLY INSPECTED THIS SITE AND NO GRADING, FILLING, OR EXCAVATION HAS OCCURRED SINCE THE PREPARATION OF THE TOPOGRAPHY SHOWN ON THIS PLAN.

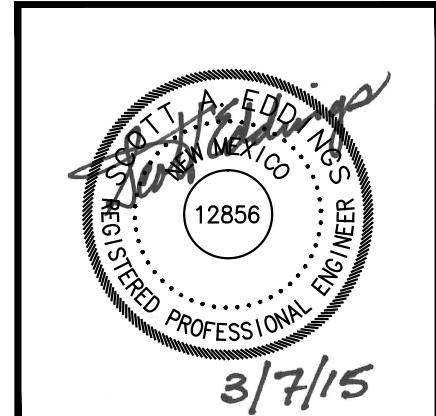
DRB SUBMITTAL

PROJECT TITLE	WINROCK SECTION 2 AND 4
PROJECT LOCATION	WINROCK TOWN CENTER, ALBUQUERQUE, NEW MEXICO
PROJECT MANAGER	SCOTT EDDINGS P.E.
JOB NO.	303699.01
DRAWN BY:	KLS
SHEET TITLE	DRAINAGE PLAN

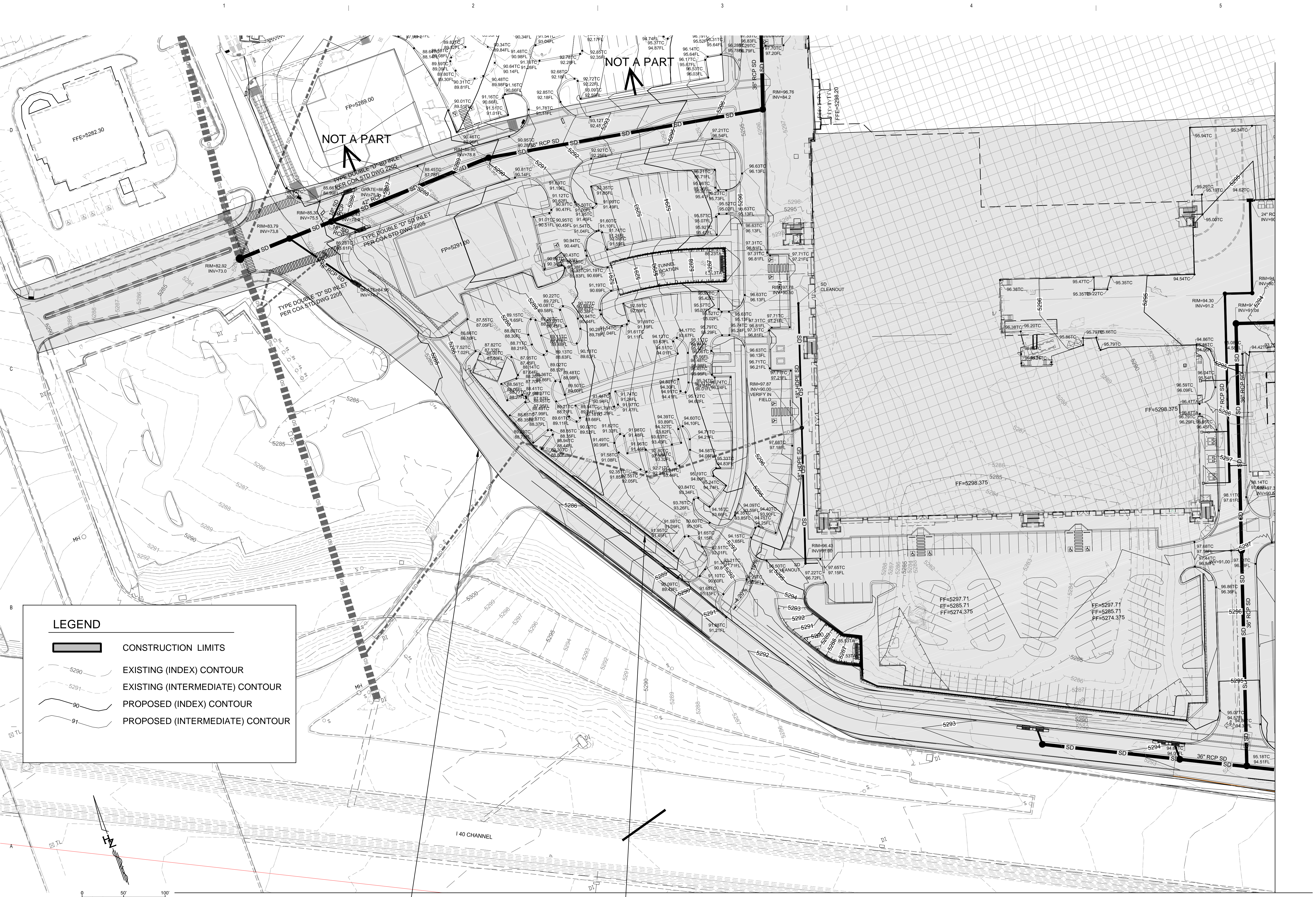
DATE	03/06/15	SHEET	X
SCALE	1"=100'	C102	XX

HUETT-ZOLLARS
Huett-Zollars, Inc. Rio Rancho
333 Rio Rancho Drive NE, Suite 101
Rio Rancho, New Mexico 87124
Phone (505) 892-5141 Fax (505) 892-3259

MODULUS ARCHITECTS
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ALBUQUERQUE, NEW MEXICO 87102
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REV	DATE	BY	REVISION
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2			
3			
4			

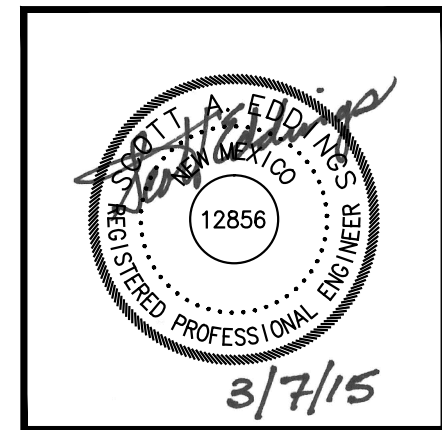


LEGEND

- CONSTRUCTION LIMITS
- EXISTING (INDEX) CONTOUR
- EXISTING (INTERMEDIATE) CONTOUR
- PROPOSED (INDEX) CONTOUR
- PROPOSED (INTERMEDIATE) CONTOUR

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

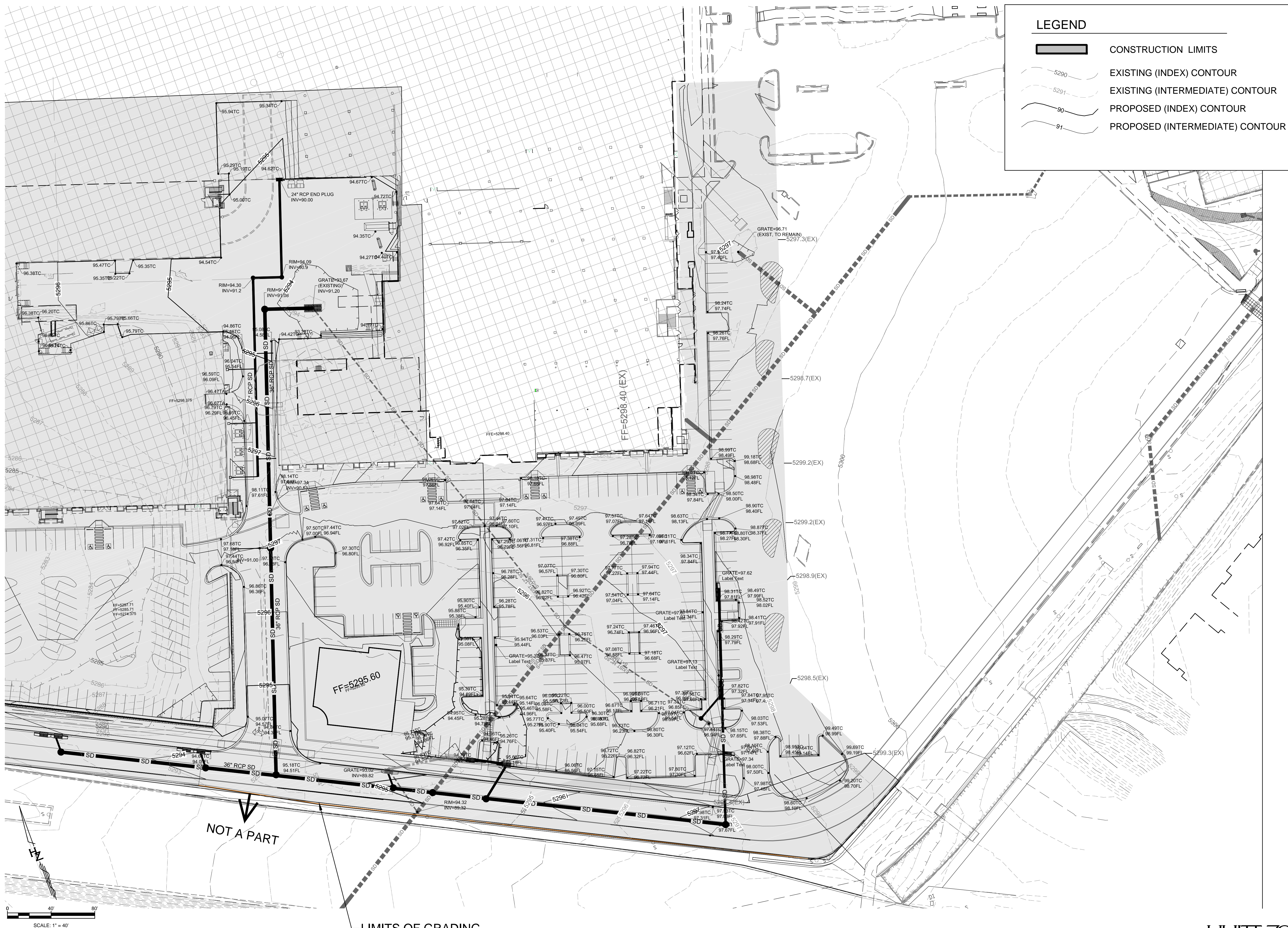
MODULUS ARCHITECTS
220 COPPER AVE. N.W. SUITE 350
ALBUQUERQUE, NEW MEXICO 87102
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE	WINROCK SECTION 2
PROJECT MANAGER	SCOTT EDDINGS P.E.
JOB NO.	R303699.01
DRAWN BY:	KLS
SHEET TITLE	GRADING PLAN

DATE	02/2015	SHEET	X
SCALE	1" = 30'	C200	XX

HUITT-ZOLLARS
Huitt-Zollars, Inc. Rio Rancho
333 Rio Rancho Drive NE, Suite 101
Rio Rancho, New Mexico 87124
Phone (505) 892-5141 Fax (505) 892-3259



SCALE: 1" = 40'

— LIMITS OF GRADING
(SHADED AREA ONLY)

LEGEND



CONSTRUCTION LIMITS

EXISTING (INTERMEDIATE) C

PROPOSED (INDEX) CONTOUR

PROPOSED (INTERMEDIATE) CONTOUR

DRB SUBMITTAL

HUITT-ZOLLARS
Huitt-Zollars, Inc. Rio Rancho
333 Rio Rancho Drive NE, Suite 101
Rio Rancho, New Mexico 87124
Phone (505) 892-5141 Fax (505) 892-3259

PROJECT TITLE
WINROCK SECTION 2
WINROCK TOWN CENTER
AT RIQUERQUE, NEW MEXICO

PROJECT MANAGER	JOB NO.	DRAWN BY:
SCOTT EDDINGS PE	P303690.01	KLS

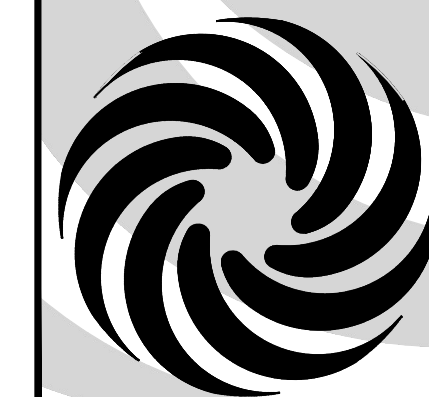
DRAWN BY:
KLS

HEET TITLE
GRADING PLAN

DATE: 02/2015	sheet- X C201
SCALE: 1" = 30'	

MODULUS ARCHITECTS

220 COPPER AVE. N.W. SUITE 350
ALBUQUERQUE, NEW MEXICO 87102
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REV	DATE	BY	REVISION
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DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: Winrock Redevelopment Sections 2 and 4 ZONE MAP: J-19-Z
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Parcel A-1-A-1-A Winrock Center Addition
CITY ADDRESS: _____

ENGINEERING FIRM: Huitt-Zollars CONTACT: Scott Eddings
ADDRESS: 6501 Americas Parkway NE PHONE: 892-5141
CITY, STATE: ABQ, NM ZIP CODE: 87110

OWNER: Winrock Partners, LLC CONTACT: Fred Gorenz
ADDRESS: 100 South Ave NE, Suite 100 PHONE: 881-0100
CITY, STATE: ABQ, NM ZIP CODE: 87109

ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

<u>TYPE OF SUBMITTAL:</u>	<u>CHECK TYPE OF APPROVAL SOUGHT:</u>
<input checked="" type="checkbox"/> DRAINAGE REPORT	_____ SIA/FINANCIAL GUARANTEE RELEASE _____
_____ DRAINAGE PLAN 1 st SUBMITTAL	_____ PRELIMINARY PLAT APPROVAL
_____ DRAINAGE PLAN RESUBMITTAL	<input checked="" type="checkbox"/> S. DEV. PLAN FOR SUB'D APPROVAL
_____ CONCEPTUAL G & D PLAN	<input checked="" type="checkbox"/> S. DEV. FOR BLDG. PERMIT APPROVAL
<input checked="" type="checkbox"/> GRADING PLAN	_____ SECTOR PLAN APPROVAL
_____ EROSION CONTROL PLAN	_____ FINAL PLAT APPROVAL
_____ ENGINEER'S CERT (HYDROLOGY)	_____ FOUNDATION PERMIT APPROVAL
_____ CLOMR/LOMR	<input checked="" type="checkbox"/> BUILDING PERMIT APPROVAL
_____ TRAFFIC CIRCULATION LAYOUT	_____ CERTIFICATE OF OCCUPANCY (PERM)
_____ ENGINEER'S CERT (TCL)	_____ CERTIFICATE OF OCCUPANCY (TEMP)
_____ ENGINEER'S CERT (DRB SITE PLAN)	<input checked="" type="checkbox"/> GRADING PERMIT APPROVAL
_____ OTHER (SPECIFY)	_____ PAVING PERMIT APPROVAL
	_____ WORK ORDER APPROVAL
	_____ OTHER (SPECIFY)

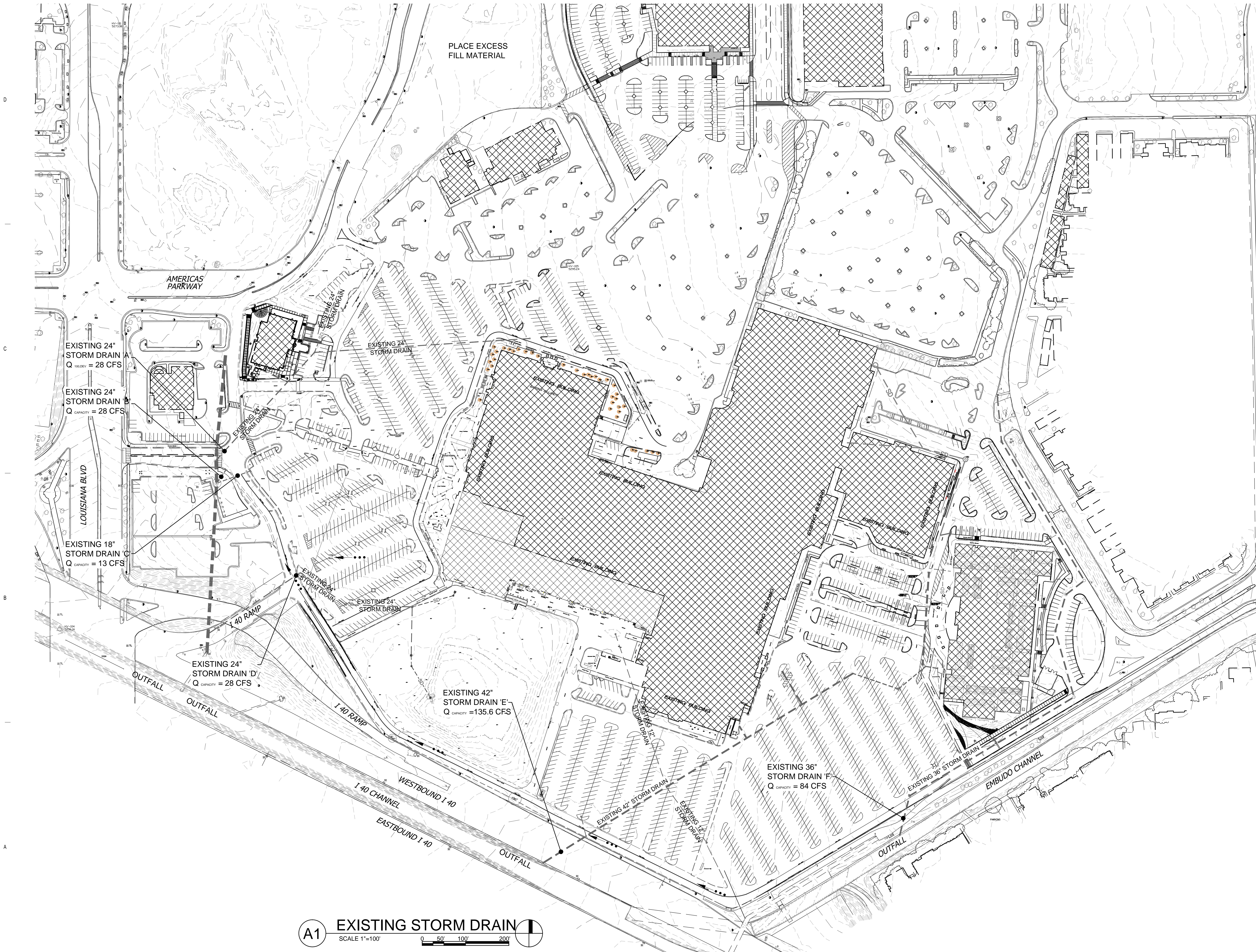
WAS A PRE-DESIGN CONFERENCE ATTENDED:

☒ YES
_____ NO
_____ COPY PROVIDED

DATE SUBMITTED: 3-09-15 BY: Scott Eddings

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



A1 EXISTING STORM DRAIN

SCALE 1"=100'

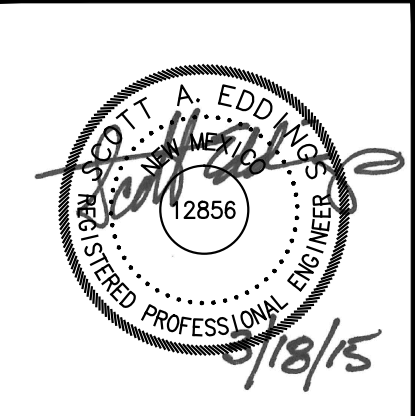
0 50 100 200

HUITT-ZOLLARS
Huitt-Zollars, Inc. Rio Rancho
333 Rio Rancho Drive NE, Suite 101
Rio Rancho, New Mexico 87124
Phone (505) 892-5141 Fax (505) 892-3259

DRB SUBMITTAL

PROJECT TITLE WINROCK SECTION 2 AND 4			
WINROCK TOWN CENTER ALBUQUERQUE, NEW MEXICO			
PROJECT MANAGER SCOTT EDDINGS P.E.	JOB NO. 303689.01	DRAWN BY: KLS	
SHEET TITLE EXISTING STORM DRAIN			

DATE 03/06/15	SHEET C103
SCALE 1"=100'	of XX



MODULUS ARCHITECTS
220 COPPER AVE. N.W. SUITE 350
ALBUQUERQUE, NEW MEXICO 87102
PHONE (505) 338-1499 FAX (505) 338-1498

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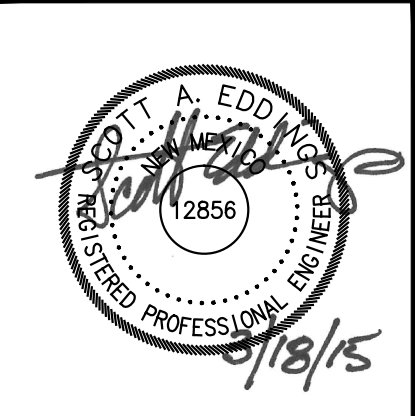
A1 PROPOSED STORM DRAIN
SCALE 1"=100'
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333 Rio Rancho Drive NE, Suite 101
Rio Rancho, New Mexico 87124
Phone (505) 892-5141 Fax (505) 892-3259

DRB SUBMITTAL

PROJECT TITLE WINROCK SECTION 2 AND 4			
WINROCK TOWN CENTER ALBUQUERQUE, NEW MEXICO			
PROJECT MANAGER SCOTT EDDINGS P.E.	JOB NO. 303689.01	DRAWN BY KLS	
SHEET TITLE PROPOSED STORM DRAIN			

DATE 03/06/15	SHEET C104
SCALE 1"=100'	of XX





MODULUS ARCHITECTS
220 COPPER AVE. N.W. SUITE 350
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