

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



April 28, 2016

Scott Eddings, P.E.
Huitt-Zollars
6501 Americas Parkway NE
Albuquerque, New Mexico 87110

Richard J. Berry, Mayor

RE: Winrock Town Center – Phase A, Pad 2 (J19D058D)
Grading Plan, Engineer's Stamp Date: 4-14-2016

Dear Mr. Eddings:

Based upon the information provided in your submittal received 4-14-16, the above referenced plan is approved for Building Permit. It is noted that the ESC plan is incorporated into the Winrock Section 2&4 Drainage plan currently under construction.

Please attach a copy of this approved plan in the construction sets when submitting for a building permit.

PO Box 1293

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

If you have any questions, you can contact me at 924-3695.

New Mexico 87103

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

Orig: Drainage file
c.pdf via Email: Recipient

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: Winrock Town Center – Phase A Pad 2 ZONE MAP: J-19-Z
DRB#: _____ EPC#: _____ WORK ORDER#: 4553.84

LEGAL DESCRIPTION: Parcel A-1-A-1-A Winrock Center Addition
CITY ADDRESS: _____

ENGINEERING FIRM: Huitt-Zollars CONTACT: Scott Eddings
ADDRESS: 6501 Americas Parkway NE PHONE: 892-5141
CITY, STATE: ABQ, NM ZIP CODE: 87110

OWNER: Winrock Partners, LLC CONTACT: Fred Gorenz
ADDRESS: 100 South Ave NE, Suite 100 PHONE: 881-0100
CITY, STATE: ABQ, NM ZIP CODE: 87109

ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
<input type="checkbox"/> DRAINAGE REPORT	<input type="checkbox"/> SIA/FINANCIAL GUARANTEE RELEASE
<input type="checkbox"/> DRAINAGE PLAN 1 st SUBMITTAL	<input type="checkbox"/> PRELIMINARY PLAT APPROVAL
<input checked="" type="checkbox"/> DRAINAGE PLAN RESUBMITTAL	<input type="checkbox"/> S. DEV. PLAN FOR SUB'D APPROVAL
<input type="checkbox"/> CONCEPTUAL G & D PLAN	<input type="checkbox"/> S. DEV. FOR BLDG. PERMIT APPROVAL
<input checked="" type="checkbox"/> GRADING PLAN	<input type="checkbox"/> SECTOR PLAN APPROVAL
<input type="checkbox"/> On File EROSION CONTROL PLAN	<input type="checkbox"/> FINAL PLAT APPROVAL
<input type="checkbox"/> ENGINEER'S CERT (HYDROLOGY)	<input type="checkbox"/> FOUNDATION PERMIT APPROVAL
<input type="checkbox"/> CLOMR/LOMR	<input checked="" type="checkbox"/> BUILDING PERMIT APPROVAL
<input type="checkbox"/> TRAFFIC CIRCULATION LAYOUT	<input type="checkbox"/> CERTIFICATE OF OCCUPANCY (PERM)
<input type="checkbox"/> ENGINEER'S CERT (TCL)	<input type="checkbox"/> CERTIFICATE OF OCCUPANCY (TEMP)
<input type="checkbox"/> ENGINEER'S CERT (DRB SITE PLAN)	<input type="checkbox"/> GRADING PERMIT APPROVAL
<input type="checkbox"/> OTHER (SPECIFY)	<input type="checkbox"/> PAVING PERMIT APPROVAL
	<input type="checkbox"/> WORK ORDER APPROVAL
	<input type="checkbox"/> OTHER (SPECIFY)

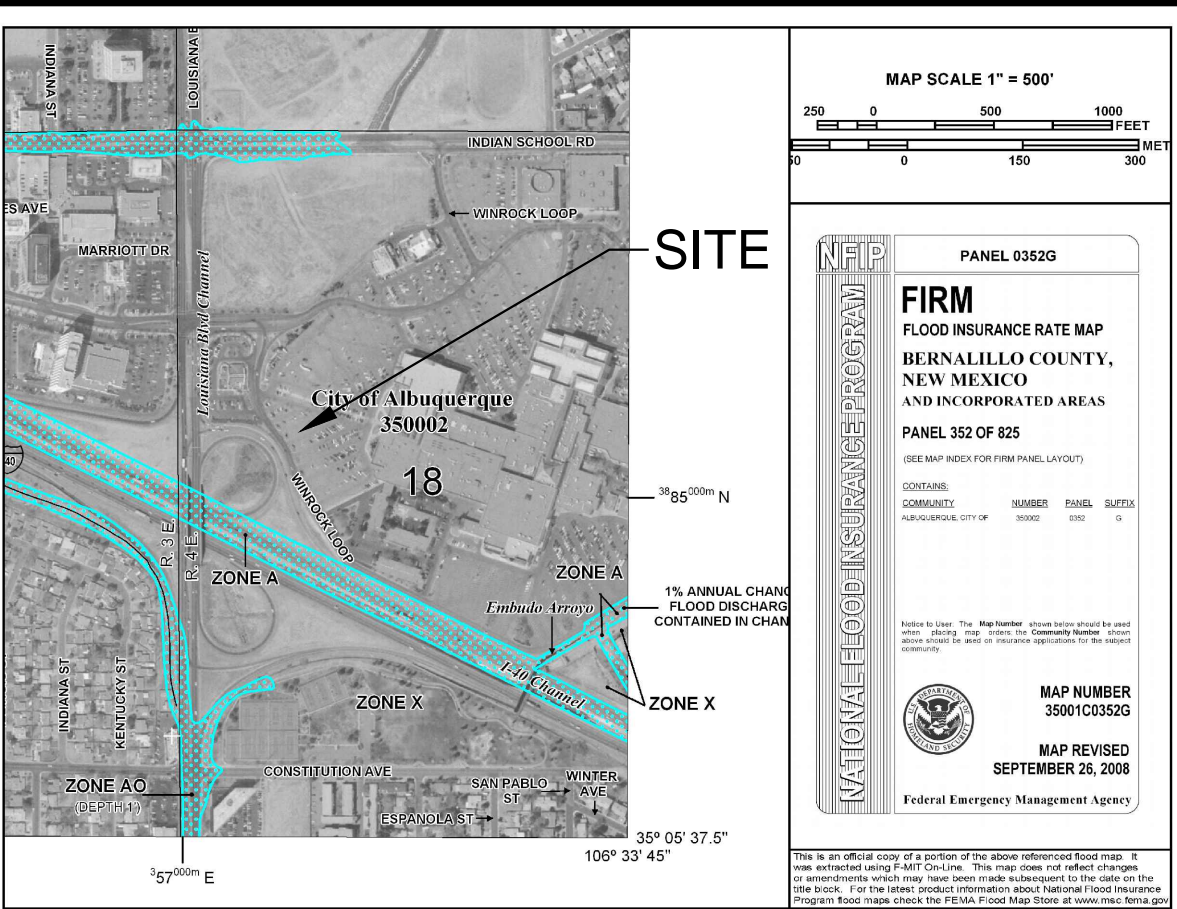
WAS A PRE-DESIGN CONFERENCE ATTENDED:

☒ YES
☐ NO
☐ COPY PROVIDED

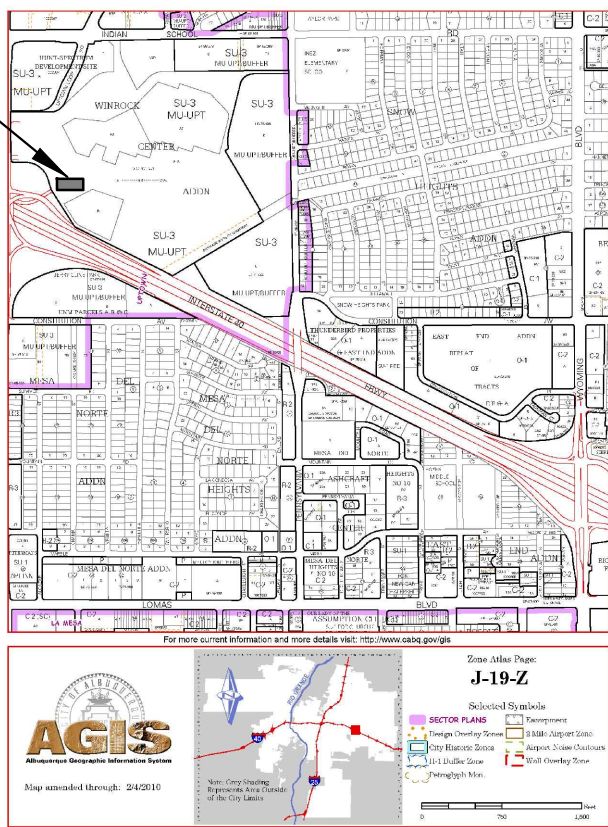
DATE SUBMITTED: 4-14-16 BY: Scott Eddings

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



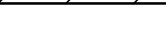







FIRM PANEL 35001C0352G



ZONE ATLAS PAGE J-19-Z

LEGEND

-
-  BUILDING
 CONCRETE
 ASPHALT
 UNDER SEPARATE PERMIT/ LIMITS OF WORK
 RETAINING WALL - SEE ARCH PLANS FOR DETAILS
 RIGHT-OF-WAY
 GRADE BREAK
 ROOF DRAIN LOCATION

FLOOD ZONE

PER THE FEMA MAP NUMBER 35001 C0352G DATED SEPTEMBER 26, 2008
SHOWS THE SITE IS NOT LOCATED WITHIN A FLOOD HAZARD ZONE AREA.

DRAINAGE NARRATIVE

POSE
PURPOSE OF THIS DRAINAGE PLAN ADDRESSES STORM WATER RUNOFF FROM THE
POSED BUILDING. THIS SITE IS WITHIN THE APPROVED WINROCK SECTION 2 & 4 (AKA PHASE A
DRAINAGE FILE NUMBER **J19D058C**) DRAINAGE PLAN. THE SITE DRAINAGE COMPLIES WITH THE
CITY OF ALBUQUERQUE DPM CHAPTER 22 .

TESTING CONDITIONS

SITE DISCHARGES ONTO THE PRIVATE PARKING LOT SOUTH OF THE PROPOSED BUILDING.

ATED REPORTS

- "SECTION 2 & 4 WINROCK TOWN CENTER DRAINAGE PLAN, PREPARED BY HUITT-ZOLLARS INC. DATED 7/20/2015
"DRAINAGE MASTER PLAN" FOR WINROCK TOWN CENTER BY ISAACSON AND ARFMAN, P.A. DATED 6/26/2015
"PHASE 1 AMENDMENT TO THE FINAL DRAINAGE STUDY FOR WINROCK REDEVELOPMENT" BY HUITT-ZOLLARS, INC. DATED 09/07/2011 (H-Z AMENDMENT)
"FINAL DRAINAGE STUDY FOR WINROCK REDEVELOPMENT WINROCK MARKET CENTER" BY HUITT-ZOLLARS, INC. DATED 03/03/2006 (H-Z DRAINAGE STUDY)

"FAST FLUSH" TREATMENT

ST FLUSH TREATMENT IS INCORPORATED INTO THE SECTION 2 & 4 WINROCK TOWN CENTER
DRAINAGE PLAN CURRENTLY UNDER CONSTRUCTION.EVENT. SEE SHEET C103 FOR ADDITIONAL
ST FLUSH INFORMATION.

OF AND PATIO DRAINAGE"

OF DRAINAGE IS ROUTED VIA AN UNDERGROUND PRIVATE STORM DRAIN TO THE DEPRESSED
DSCAPE AREA. ROOF AND PATIO AREA GENERATES 1,207 CF OF RUNOFF FROM THE
YEAR 6-HOUR EVENT AT A RATE OF 0.72 CFS. THE DEPRESSED LANDSCAPE AREA INCLUDES
5 CF OF STORAGE.

NO. 10. ROOF DISCHARGE RATE IS 0.7 CFS.

ST FLUSH TREATMENT IS INCORPORATED INTO THE SECTION 2 & 4 WINROCK TOWN CENTER DRAINAGE PLAN CURRENTLY UNDER CONSTRUCTION.

EROSION SEDIMENT CONTROL

SECTION SEDIMENT CONTROL IS INCORPORATED INTO THE SECTION 2 & 4 WINROCK TOWN WATER DRAINAGE PLAN CURRENTLY UNDER CONSTRUCTION.

HUITT-ZOIJARS

Huitt-Zollars, Inc. Rio Rancho
333 Rio Rancho Drive NE, Suite 101
Rio Rancho, New Mexico 87124
Phone (505) 892-5141 Fax (505) 892-3259

WINROCK TOWN CENTER

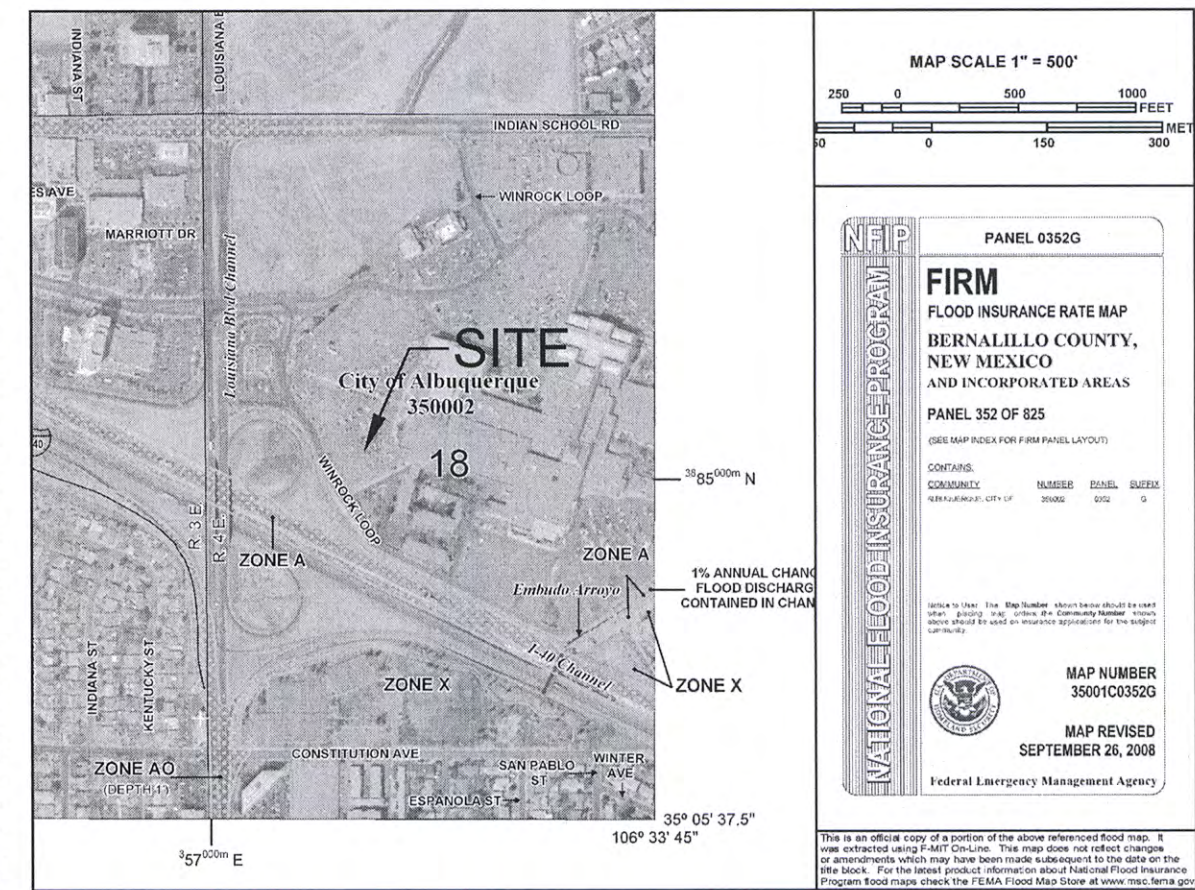
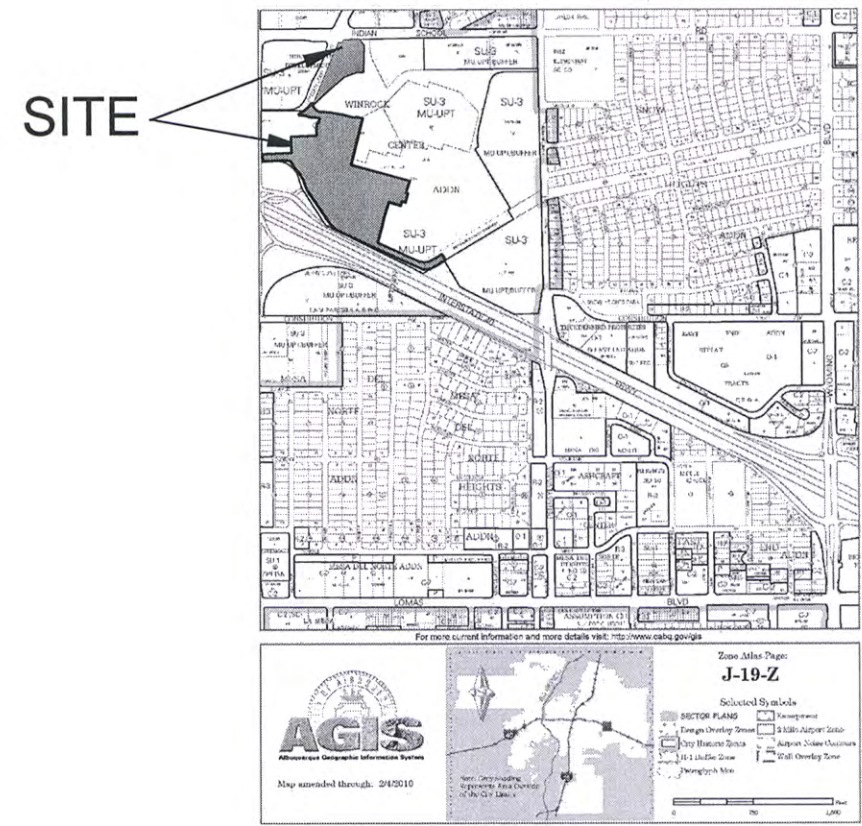
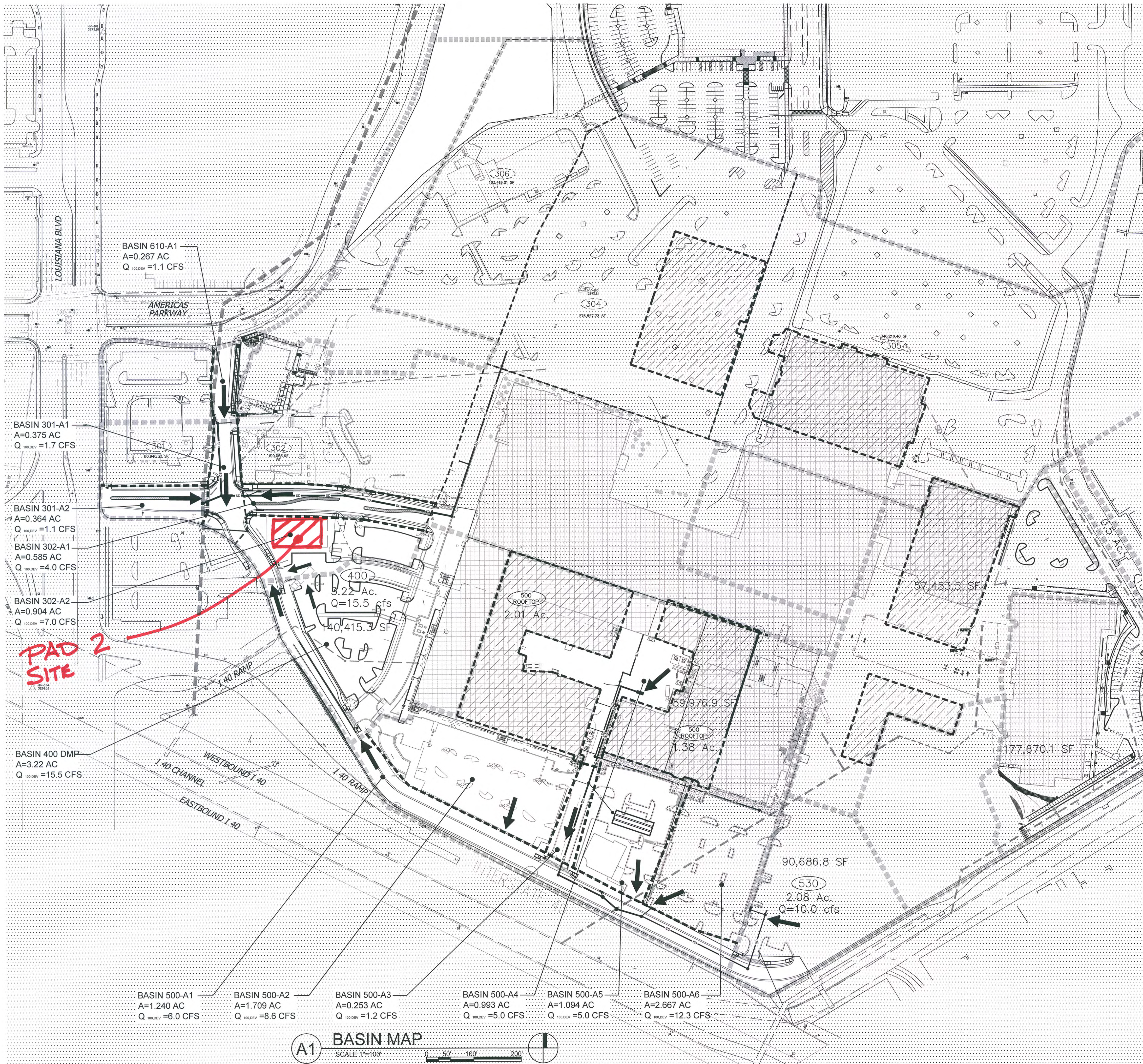
TITLE:

GRADING PLAN

Design Review Committee		City Engineer		Last Update	Mo./Day/Yr.		Mo./Day/Yr.	
City Project No.		Zone Map No.		Sheet		Of		
4553.84		J-19-Z		C100				

Plotted: 4/14/2016 1:37:41 PM, By:Eddings, Scott
 File: \\p:\proj\R303699 Winrock\CAD\Sheet Set\Section 2\Grading Permit\C100 PAD2.dwg
 Last Saved: 4/14/2016 1:37:13 PM, seedings

Printed: 7/20/2015 11:59:10 AM By: Kasey J. Jick, Vena
H:\proj\330599 Winrock\CAD\Sheet Set\Section 2\Grading Permit\C100-C102.dwg
Last Saved: 7/20/2015 11:52:46 AM, Vernald



LEGEND

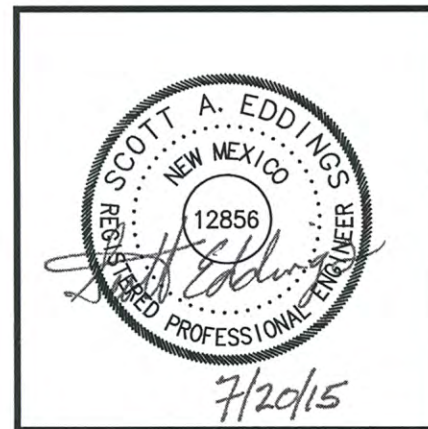
- OUTSIDE OF CONSTRUCTION LIMITS (NOT INCLUDED)
- BASIN BOUNDARY
- DRAINAGE MASTER PLAN BASIN BOUNDARY
- DISCHARGE LOCATION
- SECTION 2 & 4 DRAINAGE SUB BASIN
- DMP SUB BASIN

FLOOD ZONE

PER THE FEMA MAP NUMBER 35001 C0352G DATED SEPTEMBER 26, 2008 SHOWS THE SITE IS NOT LOCATED WITHIN A FLOOD HAZARD ZONE AREA.

REV	DATE	BY	REVISION
6			
5			
4			
3			
2			
1			

MODULUS ARCHITECTS
220 COPPER AVE. N.W. SUITE 350
ALBUQUERQUE, NEW MEXICO 87102
PHONE (505) 338-1499 FAX (505) 338-1498



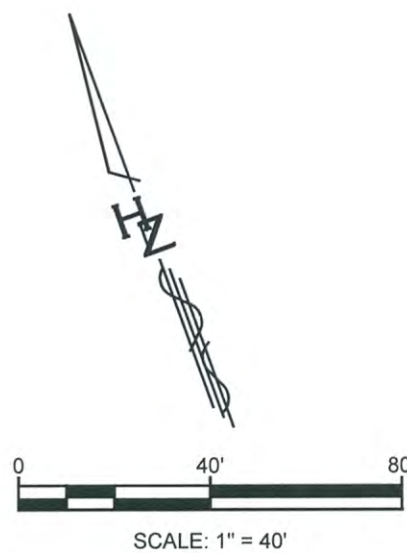
BUILDING PERMIT

PROJECT TITLE	WINROCK SECTION 2 AND 4	DRAWN BY:	KLS
PROJECT LOCATION	WINROCK TOWN CENTER ALBUQUERQUE, NEW MEXICO	JOB NO.	303695.01
PROJECT MANAGER	SCOTT EDDINGS P.E.	SHEET TITLE	BASIN MAP

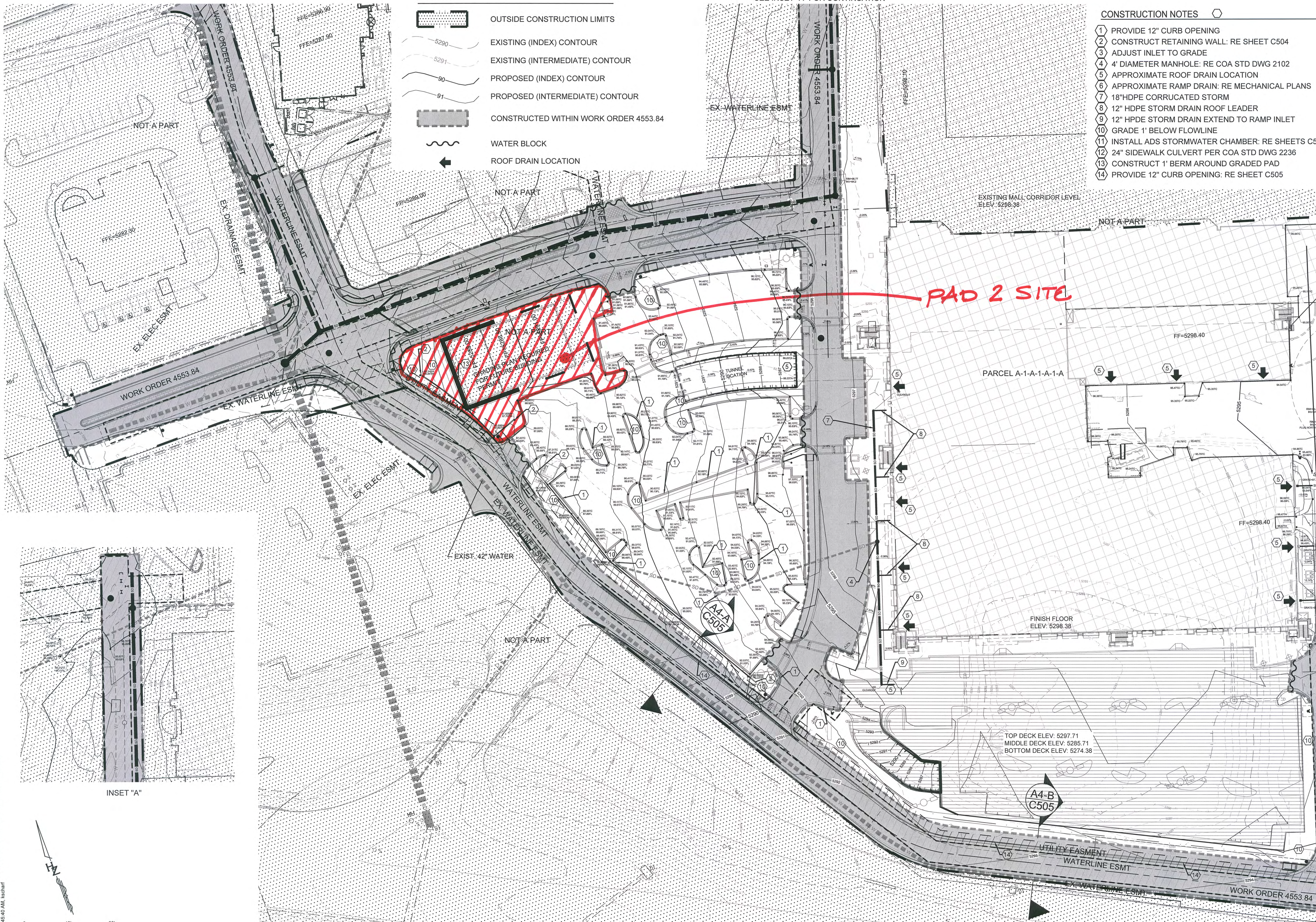
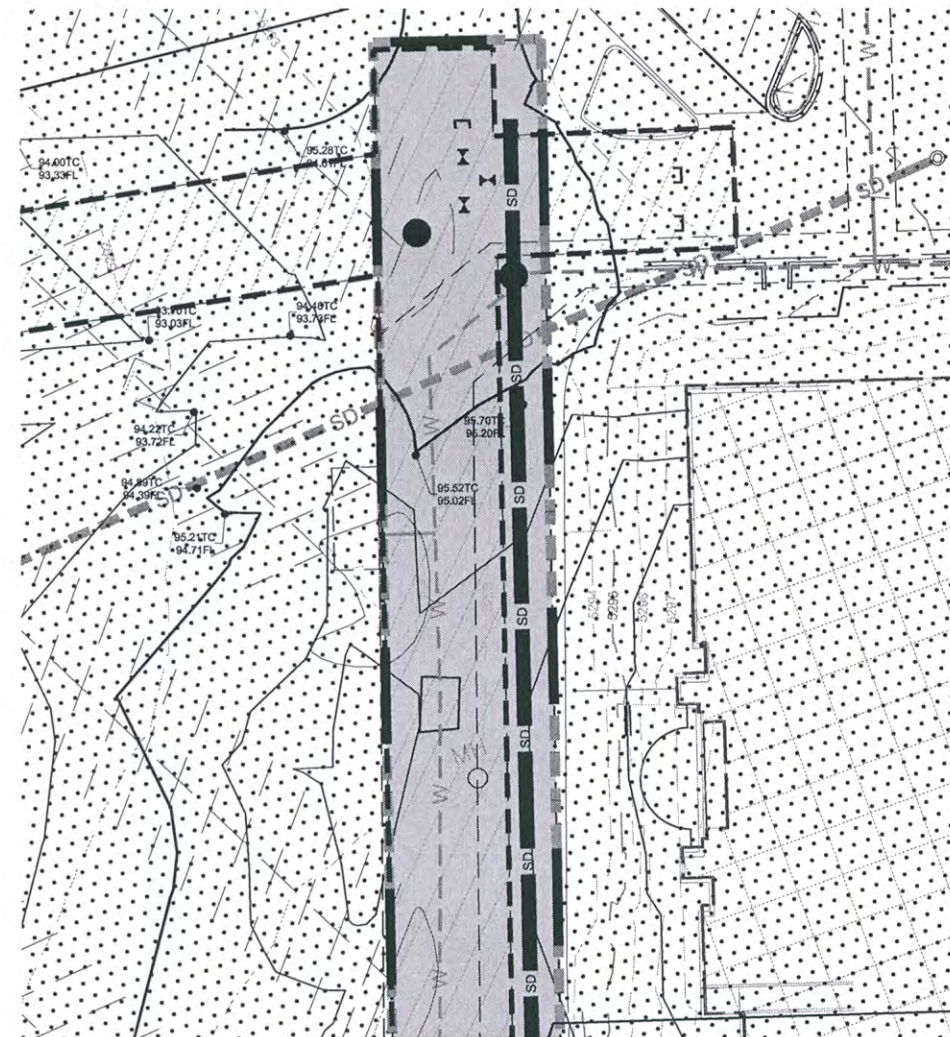
HUITT-ZOLLARS
Huitt-Zollars, Inc. Rio Rancho
333 Rio Rancho Drive NE, Suite 101
Rio Rancho, New Mexico 87124
Phone (505) 892-5141 Fax (505) 892-3259

DATE	07/20/15	SHEET	X
SCALE	1"=100'	C101	XX

Plotted: 7/21/2015 9:46:50 AM By: Scharf, Karen
Hydro/R303699 WinrockCAD/Sheet Set/Section 2/Grading Permit/C201-C202 Grading Plan.dwg
Last Saved: 7/21/2015 9:45:40 AM Ischlar



INSET "A"



- LEGEND
- OUTSIDE CONSTRUCTION LIMITS
 - EXISTING (INDEX) CONTOUR
 - EXISTING (INTERMEDIATE) CONTOUR
 - PROPOSED (INDEX) CONTOUR
 - PROPOSED (INTERMEDIATE) CONTOUR
 - CONSTRUCTED WITHIN WORK ORDER 4553.84
 - WATER BLOCK
 - ROOF DRAIN LOCATION

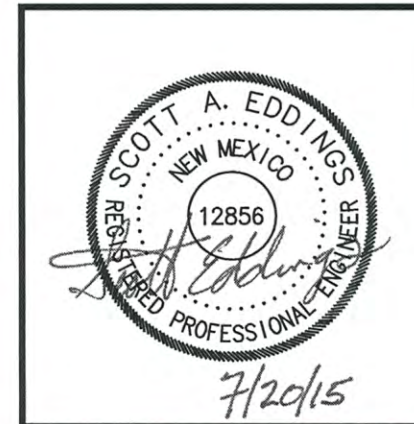
SEE INSET "A" FOR CONTINUATION

CONSTRUCTION NOTES

- 1 PROVIDE 12" CURB OPENING
- 2 CONSTRUCT RETAINING WALL: RE SHEET C504
- 3 ADJUST INLET TO GRADE
- 4 4' DIAMETER MANHOLE: RE COA STD DWG 2102
- 5 APPROXIMATE ROOF DRAIN LOCATION
- 6 APPROXIMATE RAMP DRAIN: RE MECHANICAL PLANS
- 7 18" HDPE CORRUGATED STORM
- 8 12" HDPE STORM DRAIN ROOF LEADER
- 9 12" HDPE STORM DRAIN EXTEND TO RAMP INLET
- 10 GRADE 1' BELOW FLOWLINE
- 11 INSTALL ADS STORMWATER CHAMBER: RE SHEETS C501-C504
- 12 24" SIDEWALK CULVERT PER COA STD DWG 2236
- 13 CONSTRUCT 1' BERM AROUND GRADED PAD
- 14 PROVIDE 12" CURB OPENING: RE SHEET C505

REV	DATE	BY	REVISION
1	7/20/15	KLS	ISSUED FOR PERMIT
2			
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14			

MODULUS ARCHITECTS
220 COPPER AVE. N.W. SUITE 350
ALBUQUERQUE, NEW MEXICO 87102
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE	WINROCK SECTION 2 AND 4
PROJECT LOCATION	WINROCK TOWN CENTER ALBUQUERQUE, NEW MEXICO
PROJECT MANAGER	SCOTT EDDINGS P.E.
JOB NO.	R303699.01
DRAWN BY:	KLS
SHEET TITLE	GRADING PLAN

HUITT-ZOLLARS
Huitt-Zollars, Inc. Rio Rancho
333 Rio Rancho Drive NE, Suite 101
Rio Rancho, New Mexico 87124
Phone (505) 892-5141 Fax (505) 892-3259

DATE:	7/20/15
SCALE:	1"=40'
SHEET NO.	C201
TOTAL SHEETS	13