

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

March 22, 2021

Scott Eddings, P.E.
Huitt-Zollars
333 Rio Rancho Blvd., Suite 101
Rio Rancho, NM 87124

**RE: Winrock Town Center Park
2100 Louisiana Blvd.
Grading and Drainage Plan Stamp Date: 3/5/21
Hydrology File: J19D058G**

Dear Mr. Eddings:

Based on the submittal received on 3/5/21, the Rough Grading Plan cannot be is approved for Grading Permit until the following items are addressed:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

1. These plans are too vague on details. Please provide further information for review.
2. Please provide drainage basin limits with flow arrows showing storm drain runoff direction. The grading limits shown have some flows leaving the graded area and these flows need their SWQV addressed.
3. It appears the roadway and parking lot re-graded on the west portion of the graded area are blocked from the SWQ pond by curb and there are two large areas of ponding where there is parking.
4. The section describing the proposed flows mentions an existing storm drain. Please show this on the plans, show how the flows get there and show calculations showing it is adequately sized to handle these flows.
5. Are the lakes planned to be filled? If so, please state the elevation they are planned to be filled to. Show the available volume for SWQ.
6. Is there a drain on the lakes? How are these to be cleaned as SWQ waters are planned to be retained in here which would create murky water.

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If you have any questions, please contact me at 924-3986 or earmijo@cabq.gov.

Sincerely,

A handwritten signature in black ink, appearing to read 'E. Armijo', is written over a light gray circular stamp.

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

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City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (___# OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

EXISTING DRAINAGE CONDITIONS

THIS SITE IS UNDER THE EXISTING WINROCK DRAINAGE IMPLEMENTATION PLAN. STORM WATER FROM THIS PORTION OF THE SITE ENTERS THE EXISTING STORM DRAIN WHICH OUTFALLS INTO THE I-40 CHANNEL.

FLOOD ZONE

PER THE FEMA MAP NUMBER 35001 C0352G DATED SEPTEMBER 26, 2008 SHOWS THE SITE IS NOT LOCATED WITHIN A FLOOD HAZARD ZONE AREA.

MASTER DRAINAGE PLAN

SITE DRAINAGE IS IN ACCORDANCE WITH THE APPROVED WINROCK TOWN CENTER MASTER DRAINAGE PLAN.

PROPOSED DRAINAGE CONDITIONS

DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE APPROVED DRAINAGE MASTER PLAN FOR WINROCK TOWN CENTER. THE DRAINAGE PLAN IS ONLY FOR THE NEW PARK. **A MORE DETAILED DRAINAGE REPORT FOR THE PUBLIC INFRASTRUCTURE IS FORTHCOMING.**

THE TOTAL SITE AREA IS APPROXIMATELY 4.88 ACRES WITH THE FOLLOWING ESTIMATED LAND TREATMENTS FOR BASIN 300:
A: 0% B: 30% C: 30% D: 40%

STORM WATER QUALITY

EXISTING SITE IS PARTIALLY PAVED AND THE EXISTING PAVED AREAS DISCHARGE INTO THE EXISTING STORM DRAIN WITHOUT WATER QUALITY.

WATER QUALITY REQUIREMENTS TREATING THE PAVED AREAS.

VOLUME = 85,029 SF * 0.26IN/12 = 1,842 CUBIC FEET

THIS PROJECT ROUTES STORM WATER THROUGH THE PROPOSED LAKE.

HYDROLOGY

DRAINAGE AREA 1 AREA = 4.88 ac.

DRAINAGE ZONE 3
PRECIPITATION:
360 = 2.60 in.
1140 = 3.10 in.
10day = 4.90 in.

TREATMENT	EXCESS PRECIPITATION:	PEAK DISCHARGE:
TREATMENT A	0.66 in.	1.87 cfs/ac.
TREATMENT B	0.92 in.	2.60 cfs/ac.
TREATMENT C	1.29 in.	3.45 cfs/ac.
TREATMENT D	2.36 in.	5.02 cfs/ac.

EXISTING CONDITIONS:	PROPOSED CONDITIONS:
AREA	AREA
TREATMENT A	0.00 ac.
TREATMENT B	1.46 ac.
TREATMENT C	1.46 ac.
TREATMENT D	1.95 ac.

EXISTING EXCESS PRECIPITATION:

$$\text{Weighted E} = (0.66 \times 0.00) + (0.92 \times 1.46) + (1.29 \times 1.46) + (2.36 \times 1.95) = 4.88 \text{ ac.} = 1.61 \text{ in.}$$

$$V_{100-360} = (1.61 \times 4.88) \times 12 = 0.653513 \text{ ac-ft} = 28467 \text{ cf}$$

EXISTING PEAK DISCHARGE:

$$Q_{100} = (1.87 \times 0.00) + (2.60 \times 1.46) + (3.45 \times 1.46) + (5.02 \times 1.95) = 18.66 \text{ cfs}$$

PROPOSED EXCESS PRECIPITATION:

$$\text{Weighted E} = (0.66 \times 0.00) + (0.92 \times 1.46) + (1.29 \times 1.46) + (2.36 \times 1.95) = 4.88 \text{ ac.} = 1.61 \text{ in.}$$

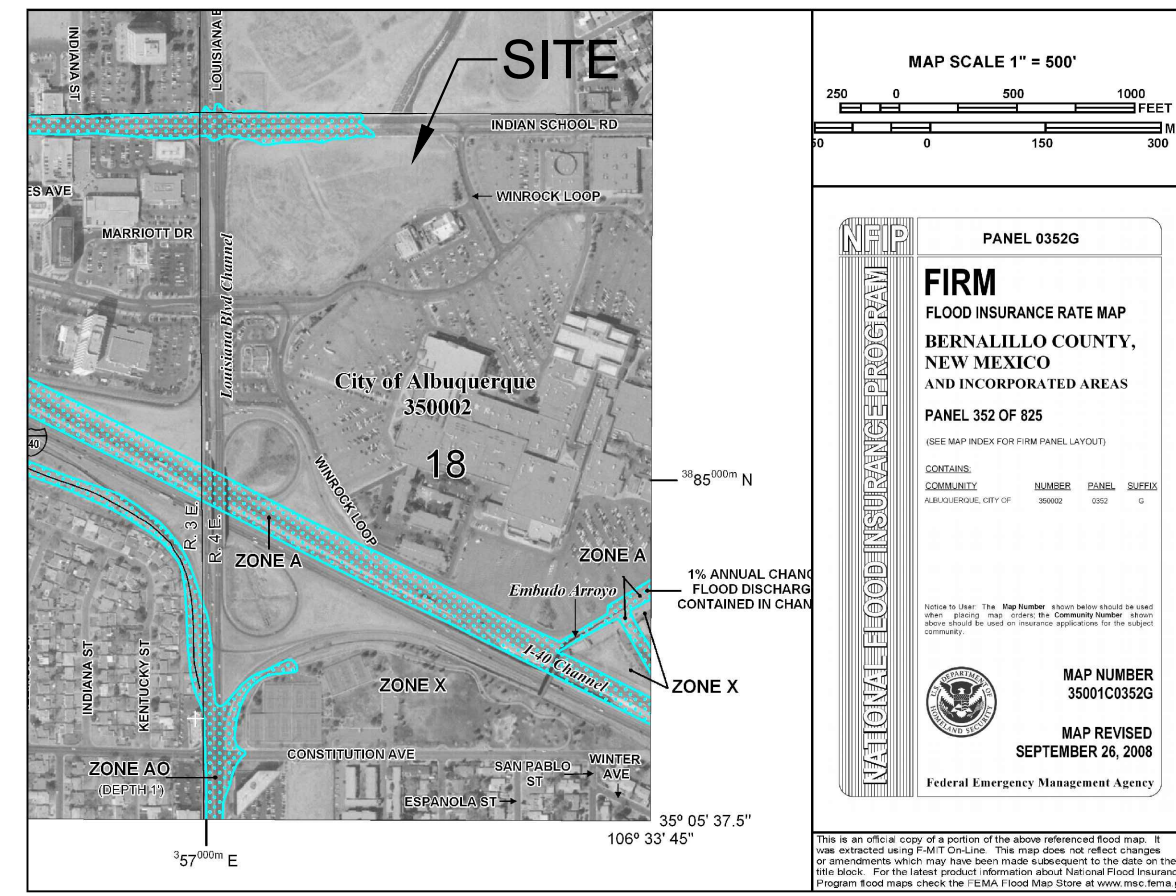
$$V_{100-360} = (1.61 \times 4.88) \times 12.0 = 0.653513 \text{ ac-ft} = 28467 \text{ cf}$$

$$V_{100-1440} = (0.65) \times (1.95 \times 3.10 - 2.60) \times 12 = 0.734847 \text{ ac-ft} = 32010 \text{ cf}$$

$$V_{100-10day} = (0.65) \times (1.95 \times 4.90 - 2.60) \times 12 = 1.027647 \text{ ac-ft} = 44764 \text{ cf}$$

PROPOSED PEAK DISCHARGE:

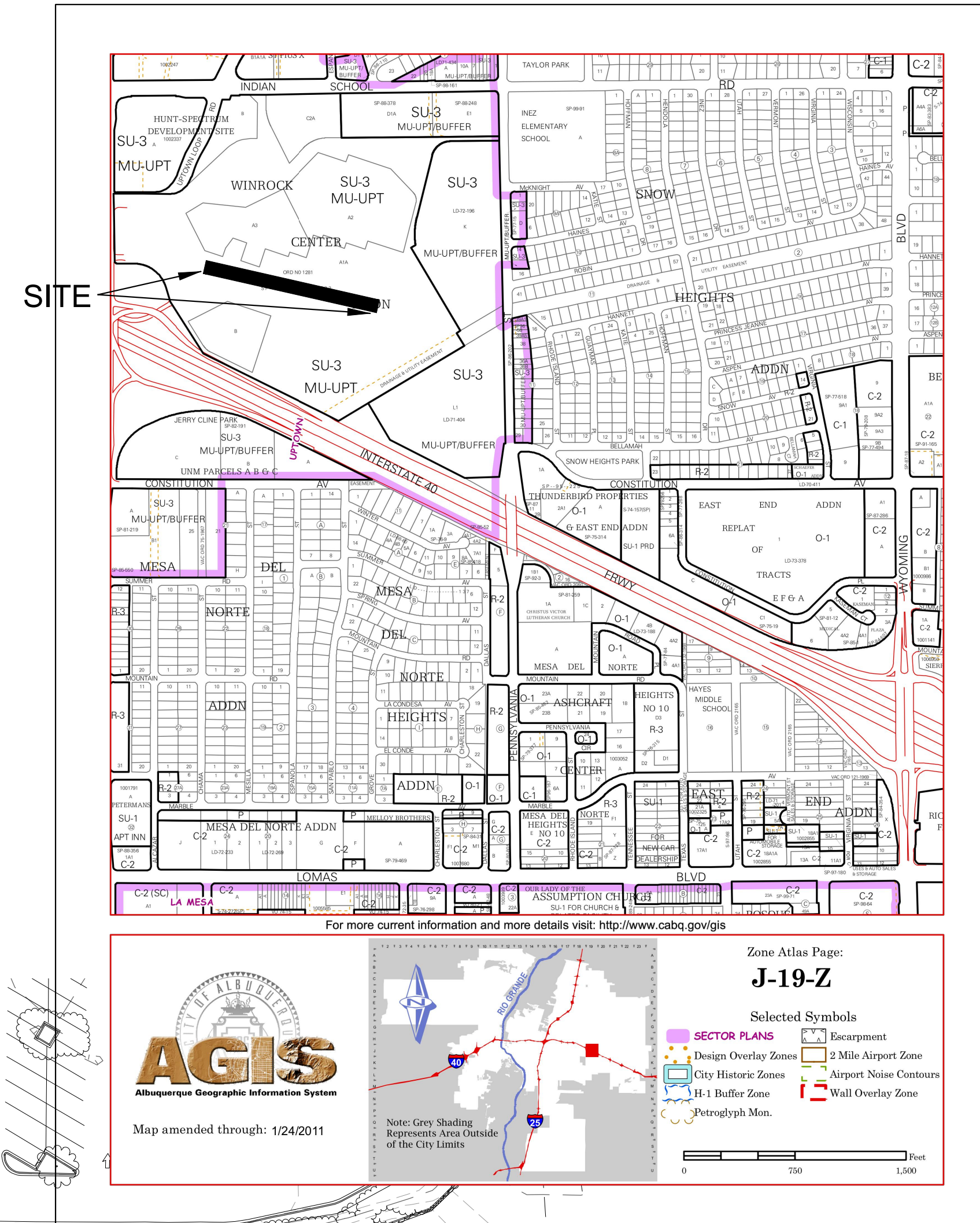
$$Q_{100} = (1.87 \times 0.00) + (2.60 \times 1.46) + (3.45 \times 1.46) + (5.02 \times 1.95) = 18.66 \text{ cfs}$$



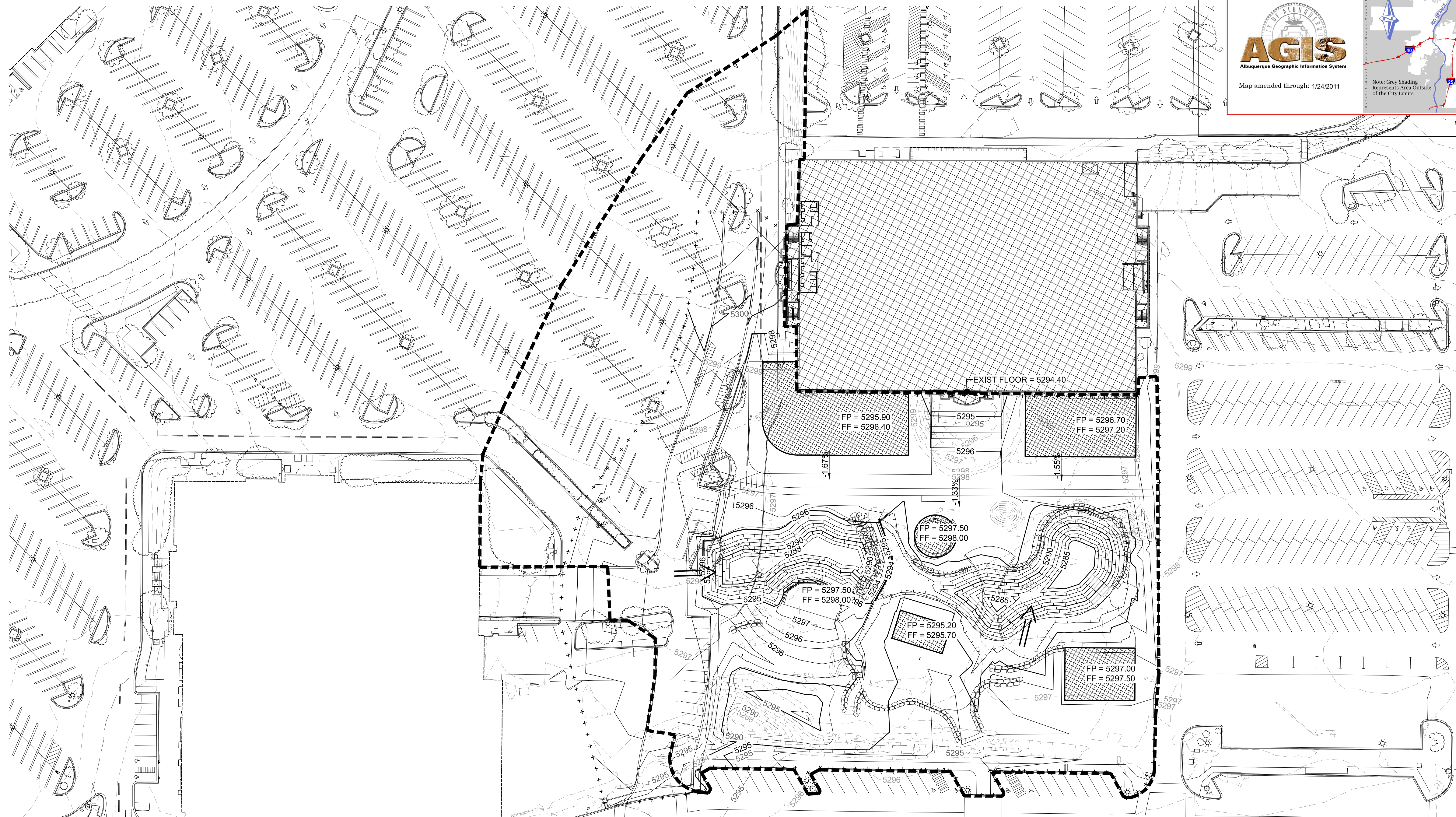
FIRM PANEL 35001C0352G

LEGEND

- BASIN BOUNDARY
- ← DISCHARGE LOCATION
- FLOW DIRECTION
- LIMITS OF DISTURBANCE



ZONE ATLAS PAGE J-19-Z

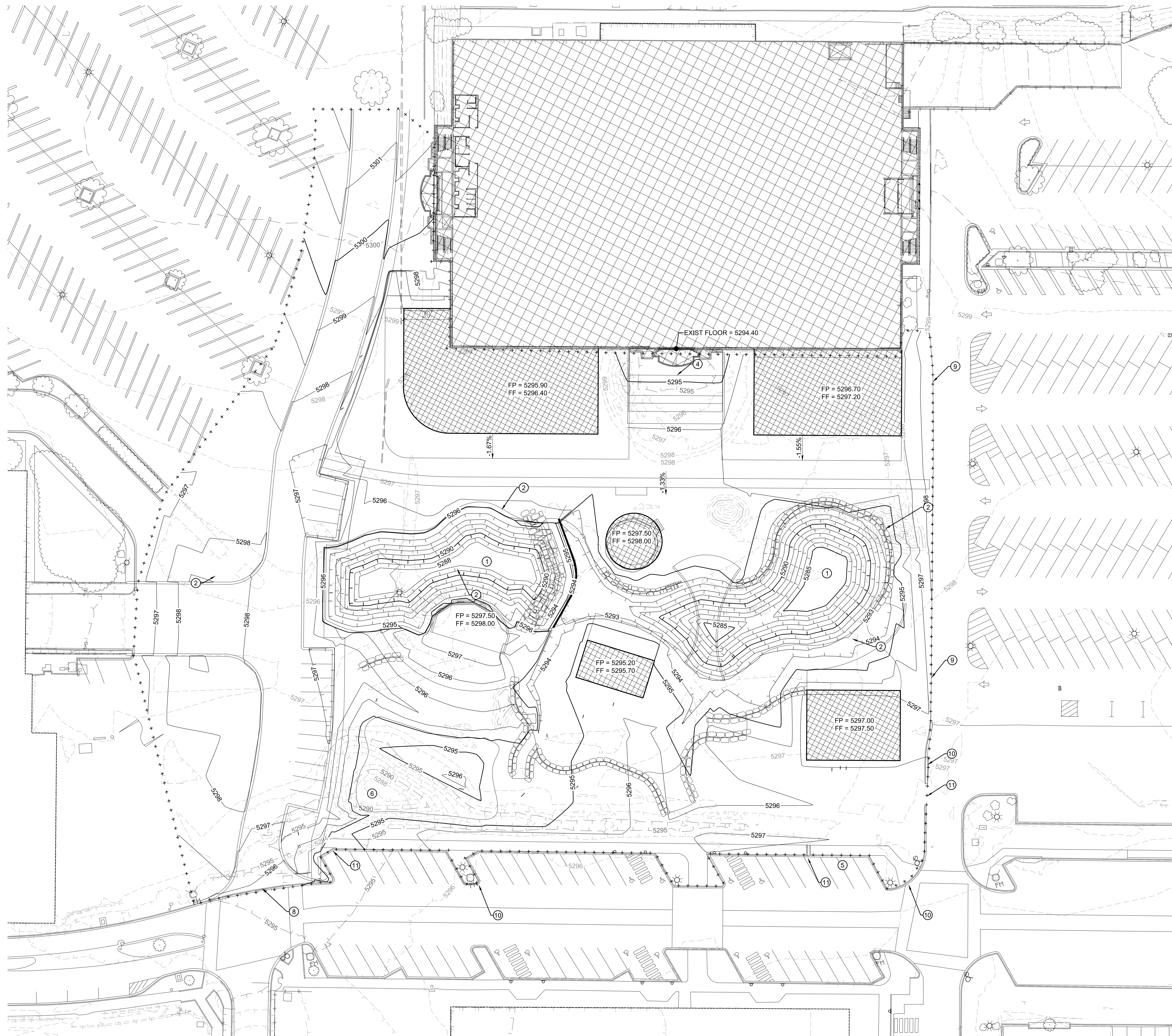


REV	DATE	BY	REVISION

MODULUS ARCHITECTS
100 SUN AVE. N.W. SUITE 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

John Adams
3/5/21

PROJECT TITLE WINROCK TOWN CENTER 2100 LOUISIANA BLVD.	DRAWN BY: JOB NO.	SHEET TITLE DRAINAGE PLAN
DATE 03/05/21	SCALE AS NOTED	SHEET NO. C100



CONSTRUCTION NOTES

1. ROUGH CUT LAKE - SEE LAKE PLANS FOR DETAILS
2. EDGE CONDITION- SEE LAKE PLANS
3. BUILDING PAD - OVEREX 4 FEET BELOW FOOTING
4. TRENCH DRAIN AT ENTRY WAY
5. SWALE - DISCHARGE INTO LAKE
6. REMOVE TEMPORARY STORM WATER QUALITY FACILITY
7. LAKE PROVIDES STORM WATER QUALITY FOR WINROCK TOWN CENTER
8. REMOVE EXISTING CURB
9. EXISTING ASPHALT TO REMAIN
10. EXISTING CURB OPENING TO REMAIN
11. EXISTING CURB AND GUTTER TO REMAIN

LEGEND

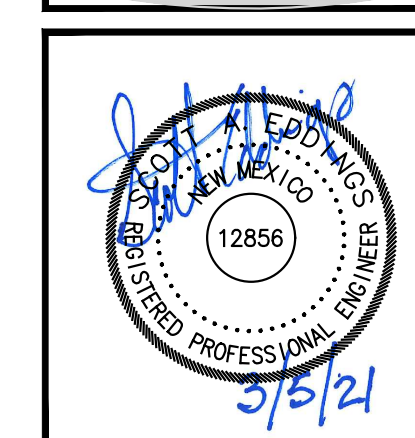
- - - - - EXISTING (INDEX) CONTOUR
- - - - - EXISTING (INTERMEDIATE) CONTOUR
- - - - - PROPOSED (INDEX) CONTOUR
- - - - - PROPOSED (INTERMEDIATE) CONTOUR
- ~~~~~ WATER BLOCK
- ===== NEW CURB & GUTTER
- FUTURE CURB & GUTTER
- XX.XTTP TOP OF PAVEMENT
- XX.XXTC TOP OF CURB ELEVATION
- XX.XXFL FLOW LINE ELEVATION
- XX.XXTOC TOP OF CONCRETE
- > FLOW DIRECTION
- + + + + + GRADING LIMITS
- █ SLOPE STABILIZATION

GENERAL NOTES

1. ALL DISTURBED COMMERCIAL LOTS AND NON-RESIDENTIAL LOTS AREAS NOT PROPOSED TO BE IMPROVED SHALL BE STRAW CRIMPED W/ NATIVE SEEDING PER COA SPECIFICATION 1011 & 1012.
2. SEE PLAT FOR LOT DIMENSIONS.
3. EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION FOR THIS PROJECT.
4. CONTRACTOR SHALL PREPARE AND PROCESS DUST CONTROL AND EROSION SEDIMENT CONTROL PLAN THROUGH CITY OF ALBUQUERQUE.
5. THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PROJECT.

REV	DATE	BY	REVISION

MODULUS ARCHITECTS
 100 SUN AVE. N.W. SUITE 600
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE: WINROCK TOWN CENTER
 2100 LOUISIANA BLVD.
 PROJECT NUMBER: JOB NO. DRAWN BY:
 SHEET TITLE: ROUGH GRADING PLAN

DATE: 03/05/21	SHEET: C101
SCALE: AS NOTED	