

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

December 13, 2018

Scott Eddings, P.E.
Huitt-Zollars
333 Rio Rancho Blvd., Suite 101
Rio Rancho, NM, 87124

**RE: Winrock Road B Extension
2100 Louisiana Blvd NE
Grading and Drainage Plan
Engineer's Stamp Date: 12/10/18
Hydrology File: J19D058G**

Dear Mr. Eddings:

PO Box 1293
Albuquerque
NM 87103
www.cabq.gov

Based on submittal received on 12/11/18, the Grading Plan cannot be approved for Site Plan for Building Permit until the following are corrected:

1. Show the proposed access easement. Describe what aspects of this project are public vs. private? Who will maintain what?
2. The series of peaks and valleys along the profile between Sta 17+50 and Sta 23+00 don't make sense as there are no inlets to drain them. A 0.50% slope is recommended, but care needs to be taken here to ensure ponding in the road doesn't occur.
3. Additional information is needed for the First Flush Facility. Is it public or private? Provide pond details such as stormwater quality water surface elevation, 100-yr WSE, top of pond bottom of pond, include sections.
4. How will stormwater be prevented from entering the parking garage? The High Point needs to be supported with depth of flow calculated at the top of the ramp along Road B. A drain will be needed at the base of the ramp and will need to be able to discharge downstream, either by sump pump or gravity.
5. Please note that the updated Master Site Plan for Winrock is now required prior to DRB approval of the Road B Site Plan. As part of this, an updated Master Grading and Drainage Plan is required by Hydrology. I recommend this updated plan be submitted prior to or concurrent to this grading plan.

Prior to Work Order, a detailed drainage report for the Road-B extension will be required to substantiate many of the hydraulics shown on the conceptual plan. If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

Sincerely,

A handwritten signature in dark ink, appearing to read 'D. Peterson', is written over a light gray circular background.

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

Project Title: Road B Extension Winrock Town Center Building _____ Hydrology File #: J19

Permit #: DRB#: 2018-001579 Work Order#: 4553.**

EPC#: _____

Legal Description: A-1-A-1-A-1 Winrock Town Center

City Address: 2100 Louisiana Blvd NE

Applicant: Huitt-Zollars, Inc Contact: Scott Eddings

Address: 333 Rio Rancho Blvd, Rio Rancho NM, 87124

Phone#: 505-892-5141 Fax#: 505-892-3259 E-mail: seddings@huitt-zollars.com

Other Contact: Goodman Realty Contact: Fred Gorenz

Address: 100 Sun Avenue

Phone#: 881-0100 Fax#: NA E-mail: NA

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION

☒ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☒ OTHER (SPECIFY) Permanent CO

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ TEMPORARY CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

☐ OTHER (SPECIFY) _____

DATE SUBMITTED: December 10, 2018

By: Scott Eddings

THIS SITE IS UNDER THE EXISTING WINROCK MALL. STORM WATER FROM THE ROOF DISCHARGES TO THE EXISTING PARKING FIELD WHICH DISCHARGES INTO THE LARGE DIAMETER STORM DRAIN IN UPTOWN LOOP.

PER THE FEMA MAP NUMBER 35001 C0352G DATED
SEPTEMBER 26, 2008 SHOWS THE SITE IS NOT
LOCATED WITHIN A FLOOD HAZARD ZONE AREA.

SITE DRAINAGE IS IN ACCORDANCE WITH THE APPROVED WINROCK TOWN CENTER MASTER DRAINAGE PLAN. DRAINAGE FROM THIS PROJECT DISCHARGES INTO BASIN 300 OF THE MASTER DRAINAGE BASIN. OUTFALLS INTO THE LARGE DIAMETER STORM DRAIN IN UPTOWN LOOP.

DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE APPROVED DRAINAGE MASTER PLAN FOR WINROCK TOWN CENTER. THE DRAINAGE PLAN IS ONLY FOR THE EXTENSION OF ROAD B THRU THE EXISTING MALL.

THE TOTAL SITE AREA IS APPROXIMATELY 2.72 ACRES WITH THE FOLLOWING ESTIMATED LAND TREATMENTS FOR BASIN 300:

A: 0% B: 0% C: 0% D: 100%

EXISTING SITE IS FULLY DEVELOPED AND DIRECT DISCHARGES ONTO SECOND STREET. IMPROVEMENTS FROM THIS PROJECT DISTURBS APPROXIMATELY 118,805 SQUARE FEET.

FIRST FLUSH REQUIREMENTS TREATING THE DISTURBED AREA.

VOLUME = 118,805 SF * 0.26IN/12 = 2,574 CUBIC FEET

THIS PROJECT INCLUDES A FIRST FLUSH POND ON THE NORTH SIDE OF THE ROAD B. STORM WATER SHALL BE CONVEYED TO THE FIRST FLUSH POND BY EITHER SURFACE CONVEYANCE OR THE STORM DRAIN IF PRACTICAL.

DRAINAGE AREA 1 AREA = 2.72 ac.

DRAINAGE ZONE 3

PRECIPITATION: 360 = 2.60 in.
 1140 = 3.10 in.
 10day = 4.90 in.

EXCESS PRECIPITATION: PEAK DISCHARGE:

TREATMENT A	0.66 in.	1.87	cfs/ac.
TREATMENT B	0.92 in.	2.60	cfs/ac.
TREATMENT C	1.29 in.	3.45	cfs/ac.
TREATMENT D	2.36 in.	5.02	cfs/ac.

EXISTING CONDITIONS: PROPOSED CONDITIONS:

TREATMENT A	0.00 ac.	0.00 ac.
TREATMENT B	0.00 ac.	0.00 ac.
TREATMENT C	0.00 ac.	0.41 ac.
TREATMENT D	2.72 ac.	2.31 ac.

EXISTING EXCESS PRECIPITATION:

$$\begin{aligned}\text{Weighted E} &= (0.66 \times (0.00)) + (0.92 \times (0.00)) + (1.29 \times (0.00)) + (2.36 \times (2.72)) / 2.72 \text{ ac.} \\ &= 2.36 \text{ in.} \\ V_{100-360} &= (2.36 \times (2.72)) / 12 = 0.534933 \text{ ac-ft} = 23302 \text{ cf}\end{aligned}$$

EXISTING PEAK DISCHARGE:

$$Q_{100} = (1.87) \times (0.00) + (2.60) \times (0.00) + (3.45) \times (0.00) + (5.02) \times (2.72) = 13.65 \text{ cfs}$$

PROPOSED EXCESS PRECIPITATION:

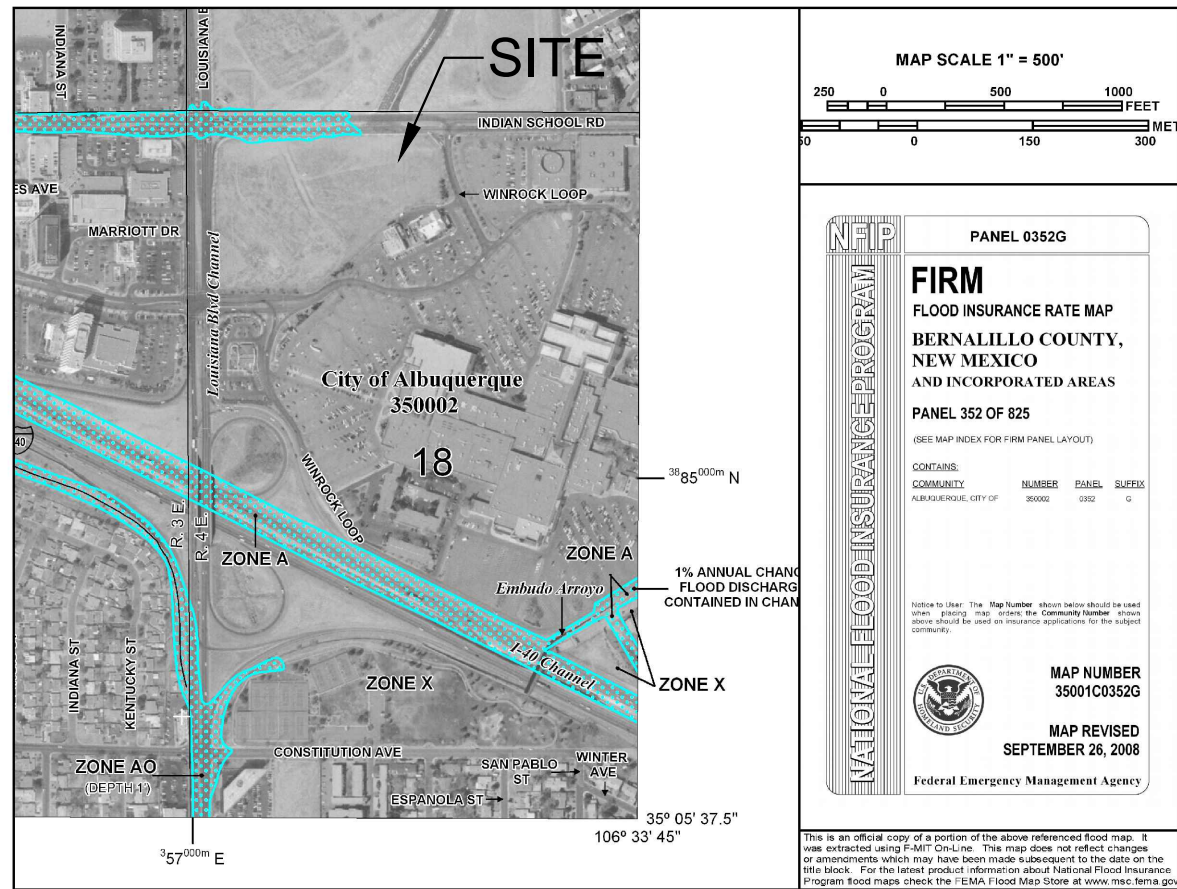
$$\begin{aligned}\text{Weighted E} &= (0.66) \times (0.00) + (0.92) \times (0.00) + (1.29) \times (0.41) + (2.36) \times (2.31) / 2.72 \text{ ac.} \\ &= 2.20 \text{ in.} \\ V_{100-360} &= (2.20) \times (2.72) / 12.0 = 0.498553 \text{ ac-ft} = 21717 \text{ cf}\end{aligned}$$
$$V_{100-1440} = (0.50) + (2.31) \times (3.10 - 2.60) / 12 = 0.594887 \text{ ac-ft} = 25913 \text{ cf}$$
$$V_{100-10\text{day}} = (0.50) + (2.31) \times (4.90 - 2.60) / 12 = 0.941687 \text{ ac-ft} = 41020 \text{ cf}$$

PROPOSED PEAK DISCHARGE:

WINROCK TOWN CENTER - ROAD B EXTENSION

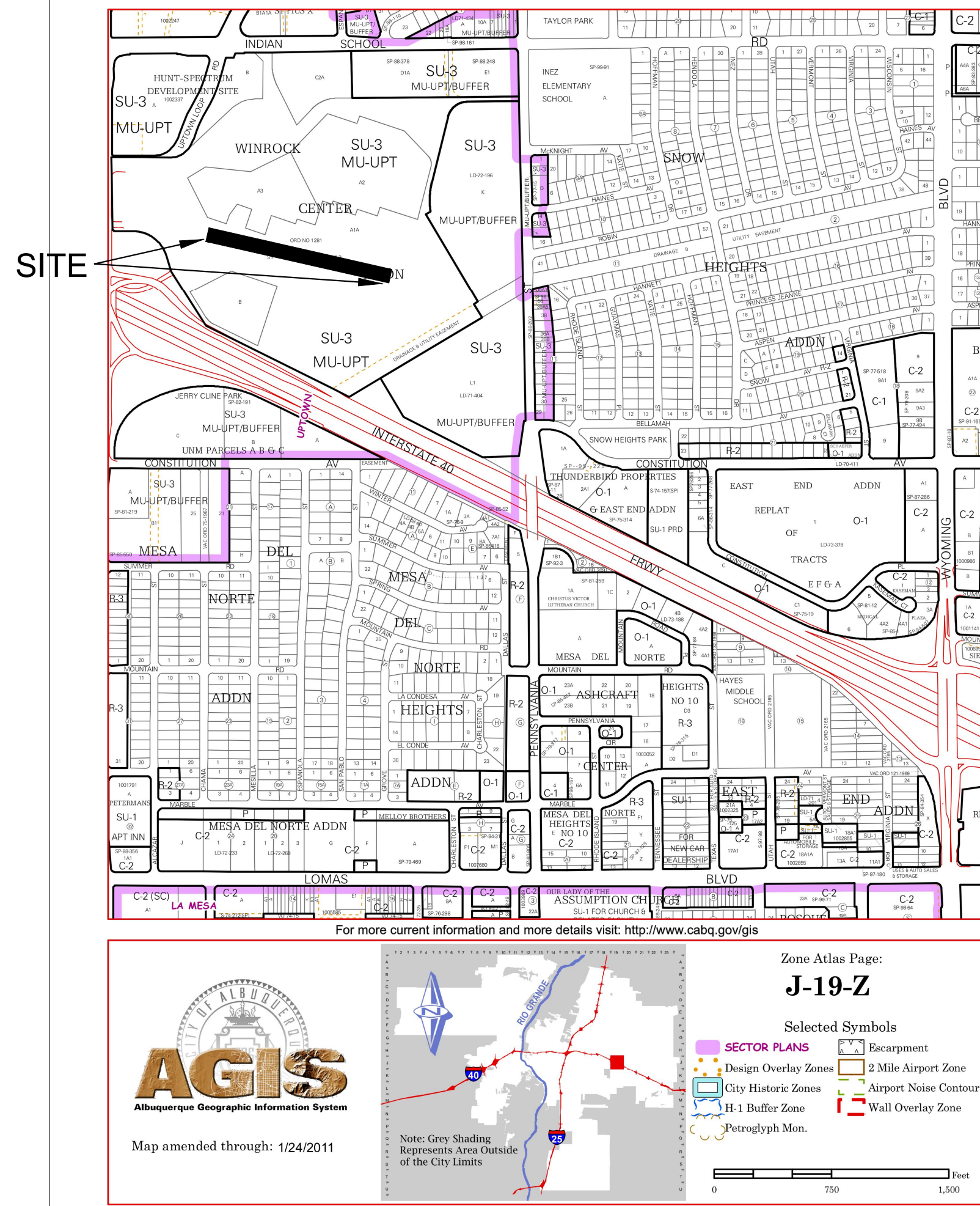
10-Dec-18
pondvol.xls

Pond				
Elevation	Area	Average Area	Volume	Accumulative Volume
	sf	sf	Cu-Ft	Cu-Ft
5293.0	1927			
		1831	1830.625	1830.625
5293.5	5395.5			
		3565	3564.875	5395.500
5294.0	8864			



LEGEND

- BASIN BOUNDARY
 DISCHARGE LOCATION
 FLOW DIRECTION
 LIMITS OF DISTURBANCE



Designed By:

HUITT-ZOLLARS
Huitt-Zollars, Inc. Rio Rancho
333 Rio Rancho Drive NE, Suite 101
Rio Rancho, New Mexico 87124
Phone (505) 892-5141 Fax (505) 892-3259

WINROCK TOWN CENTER

TITLE: ROAD B
CONCEPTUAL DRAINAGE PLAN
STA 17+00 TO STA 29+15

Design Review Committee		City Engineer		Last Update	Mo./Day/Yr.		Mo./Day/Yr.	
City Project No.		Zone Map No.		Sheet		Of		
4553.85		J-19-Z		1		4		

SURVEY INFORMATION			BENCH MARKS		AS BUILT INFORMATION	
FIELD NOTES						
NO.	BY	DATE	FOUND MONUMENT "20_H18"	CONTRACTOR	DATE	
			STANDARD 3 1/4" ALUMINUM DISC (FOUND IN PLACE)	WORK BY INSPECTOR'S		
			NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)	ACCEPTANCE BY	DATE	
			N=1,493,154.978	VERIFICATION BY	DATE	
			E=1,545,048.210	DRAWINGS CORRECTED BY	DATE	
			PUBLISHED EL=5283.22 (NAD 1988)	MICRO-FILM INFORMATION		
			GROUND TO GRID FACTOR=0.999661580	RECORDED BY	DATE	
			DELTA ALPHA ANGLE=-0711'00.11"	NO.		

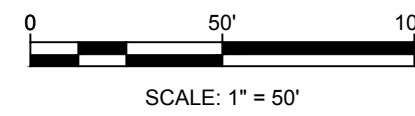
ENGINEER'S SEAL

12/10/18

PROFESSIONAL ENGINEER
12856
REGISTERED PROFESSIONAL ENGINEER
SOUTHERN CALIFORNIA
STATE OF CALIFORNIA

[illegible]

Plotted: 12/11/2018 11:32:07 AM, By:Eddings, Scott
H:\proj\R303699_05 - Dillards Storm Drain Analysis\10 CADD & BIM\10.1 AutoCAD\Sheet Set\CONCEPTUAL DRAINAGE
PLAN 1-3.dwg
Last Saved: 12/11/2018 11:28:08 AM, sections



0 50' 100'

SCALE: 1" = 50'

