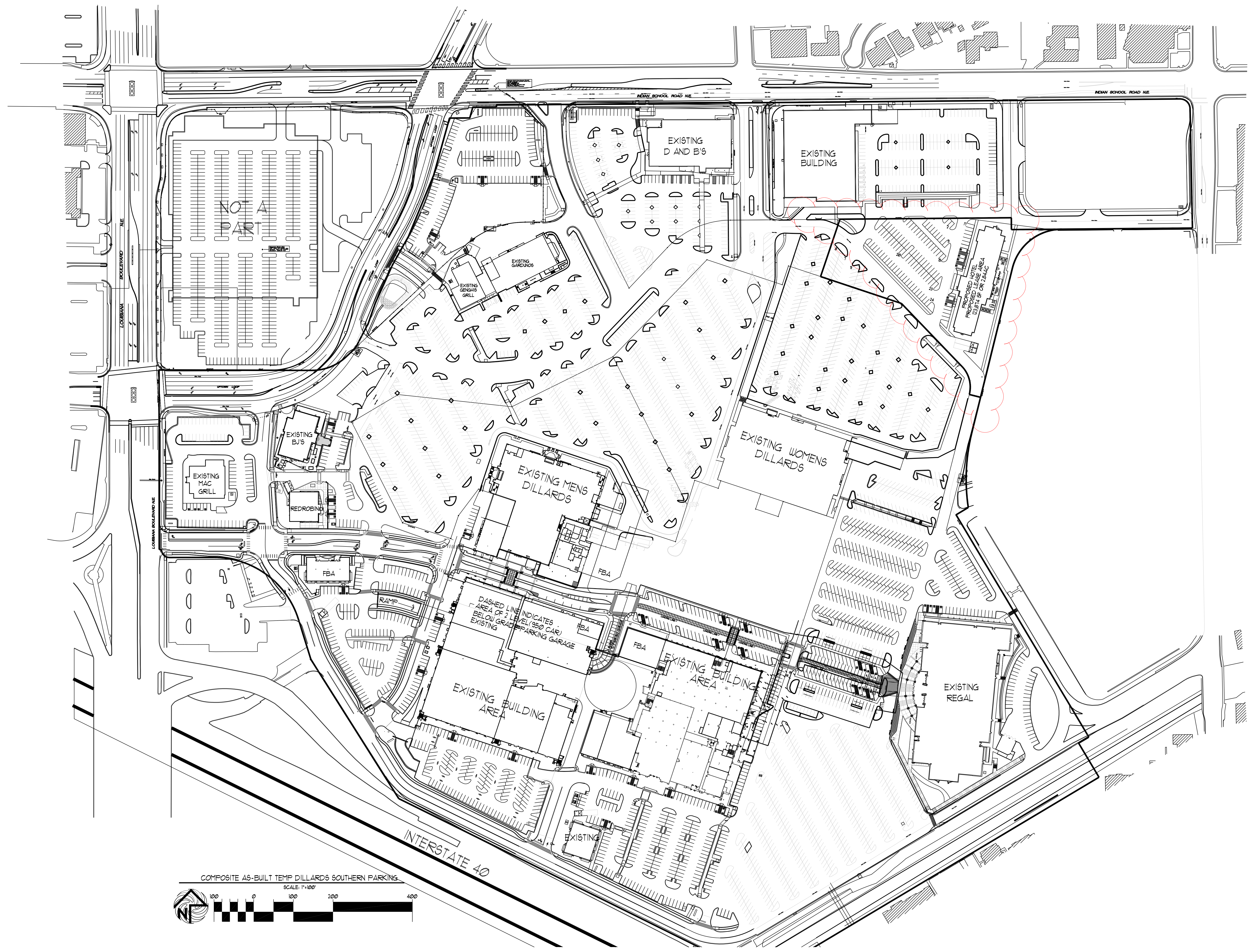


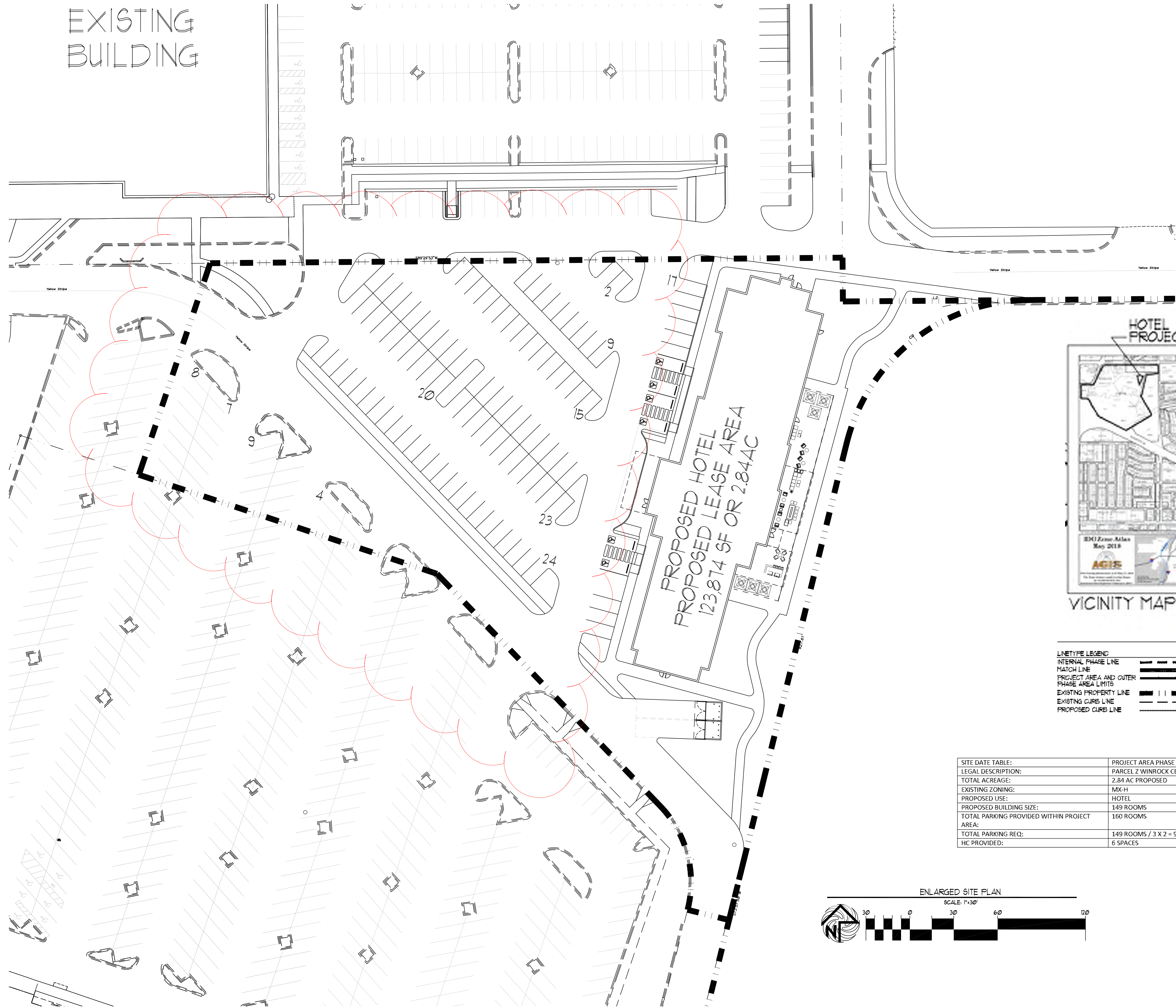
ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

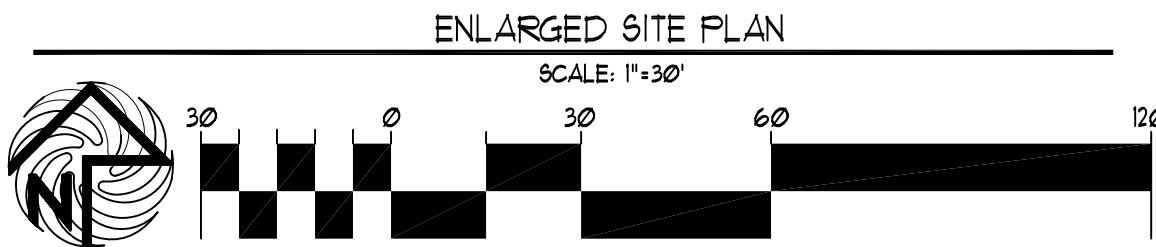
DATE





LINETYPE LEGEND	
INTERNAL PHASE LINE	---
MATCH LINE	---
PROJECT AREA AND OUTER PHASE AREA LIMITS	---
EXISTING PROPERTY LINE	---
EXISTING CURB LINE	---
PROPOSED CURB LINE	---

SITE DATE TABLE:	
LEGAL DESCRIPTION:	PROJECT AREA PHASE LIMITS (LO)
TOTAL ACREAGE:	PARCEL Z WINROCK CENTER ADDITION
EXISTING ZONING:	2.84 AC PROPOSED
PROPOSED USE:	MX-H
PROPOSED BUILDING SIZE:	HOTEL
TOTAL PARKING PROVIDED WITHIN PROJECT AREA:	149 ROOMS
TOTAL PARKING REQ:	149 ROOMS / 3 X 2 = 99 REQUIRED PARKS
HC PROVIDED:	6 SPACES



REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			



MODULUS ARCHITECTS

100 SUN AVE. N.W. SUITE 305
ALBUQUERQUE, NEW MEXICO 87102
PHONE (505) 338-1499 FAX (505) 338-1498

PROJECT TITLE WINROCK TOWN CENTER 2000 LOUISIANA BLVD NE ALBUQUERQUE, NEW MEXICO		DRAWN BY: XXX	
PROJECT MANAGER STEPHEN DINBAR, AIA		JOB NO. WIN-HOTEL	
SHEET TITLE PROPOSED HOTEL DEVELOPMENT		DATE: 1/11/21	
SCALE: RE: SCALE		SHEET NO. SP-1A2	

EXISTING
BUILDING

PROJECT NUMBER: PR-2018-002519

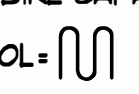
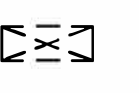
APPLICATION NUMBER:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (YES / NO) If yes, then a set of approved LDC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
ABCMA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

- KEYED NOTE:
- 1 INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN CROSSWALK RE: DETAIL 1/A11
 - 2 20' LIGHT POLE LOCATION RE: DETAIL 3/A11
 - 3 INTEGRALLY COLORED CONC. SIDEWALK RE: DET 2/A12
 - 4 INDICATES EXISTING SIDEWALK AREA TO REMAIN
 - 5 INDICATES NEW CONC. SIDEWALK FLUME WITH STEEL COVER PLATE RE: DETAIL 12/A12
 - 6 INDICATES NEW TEMP ASPHALT 6" EXTRUDED CURB
 - 7 INDICATES OFFSITE TEMP LANDSCAPE AREA TO BE GRAVELED ONLY (RE: LANDSCAPE PLAN)
 - 8 INDICATES BIKE RACK LOCATION (5 BIKE CAPACITY) RE: DETAIL 11/A12
TYPICAL BIKE RACK GRAPHIC SYMBOL = 
 - 9 BENCH LOCATION
TYPICAL BENCH GRAPHIC SYMBOL = 
 - 10 TRASH RECEPTACLE 
 - 11 6" STEEL BOLLARD WITH CUSTOM CAP
 - 12 HANDICAP RAMP RE: 15/A11
 - 13 HANDICAP RAMP RE: 16/A11
 - 14 HANDICAP RAMP RE: 12/A11
 - 15 HANDICAP RAMP RE: 17/A11
 - 16 INDICATES LANDSCAPE AREA
G.C. TO PROVIDE/COORDINATE REQ. SLEEVING FOR EA. WELL LOCATION RE: LANDSCAPE PLAN FOR INFO
 - 17 INDICATES 1' CURB CUT TO ALLOW FOR PASSIVE WATER SHEET FLOW HARVESTING FROM ADJACENT PAVEMENT SURFACE TO PROPOSED LANDSCAPE PLANT BEDS. RE: DETAIL 1/A11 FOR KNOTCH DETAIL
 - 18 NOT A PART-FUTURE REDEVELOPMENT PHASE
 - 19 6" HIGH CONC. ISLAND RE: DET 4/A11
RE: SITE GRADING PLAN FOR INFO
 - 20 DUAL CONFIGURATION H.C. PARKING STALL RE: DET 9/A12
 - 21 WHEELSTOP RE: DET 5/A12
 - 22 INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION
NOTE: EACH ONSITE STALL MEASURES 4' X 8' IN SIZE
RE: SITE PLAN FOR LOCATIONS. RE: DET. 1/A12 FOR "MOTOR CYCLE PARKING" SIGN DETAIL
 - 23 EXTERIOR DECORATIVE RAISED CONCRETE PED. ENTRY AREA RE: DETAIL 20/A11
 - 24 INDICATES PROPOSED CURBING TO RECIEVE FIRE STRIPE PAINT CURB RED IN COLOR
 - 25 EXISTING ASPHALT DRIVE TO REMAIN
 - 26 NEW ASPHALT DRIVE RE: CIVIL FOR GRADES/PROFILE
 - 27 TIE NEW SIDEWALK INTO FACE OF EXISTING SIDEWALK LOCATION
 - 28 H.C. PARKING STALL RE: DET 5/A12
 - 29 INDIACTES HOTEL/TENANT WORK SCOPE AREA
 - 30 INDIACTES EXISTING PAVEMENT/FLATWORK/LANDSCAPE/CURB AND GUTTER TO BE REMOVED
 - 31 INDIACTES ISLAND AND LANDSCAPING TO REMAIN
 - 32 INDIACTES STOP SIGN LOCATION RE: DET 3A/A12
 - 34 INDIACTES CLEAR SITE TRIANGLE. SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8' FEET TALL, AS MEASURED FROM THE GUTTER PAN ARE NOT ALLOWED WITHIN CLEAR SITE TRIANGLE AREA
 - 35 INDIACTES REFUSE ENCLOSURE LOCATION. RE: DET 4/A13
 - 36 INDIACTES SPEED HUMP SIGN LOCATION. RE: DET 3B/A12
- NOTE: REFER TO PLAT FOR ALL EXISTING EASEMENTS WITHIN PROJECT SCOPE AREA. SLOPE NOT TO EXCEED 8%.

SITE DATA TABLE	PROJECT AREA PHASE LIMITS (LOT-A-1-A-1-A)
LEGAL DESCRIPTION	PARCEL 1-A-1 UNROCK CENTER ADDITION
TOTAL ACREAGE:	2.84 ACRES PROPOSED
EXISTING ZONING:	MX-H
PROPOSED USE:	HOTEL
PROPOSED BUILDING SIZE:	143 ROOMS
TOTAL PARKINGS PROVIDED WITHIN PROJECT AREA:	138 PARKS
TOTAL PARKING REQ:	143 ROOMS / 3 X 2 = 99 REQUIRED PARKS
HC PROVIDED:	6 SPACES (NOTE: ALL SPACES VAN ACCESSIBLE)
HC REQUIRED:	6 SPACES
BIKE SPACES PROVIDED:	10 SPACES
BIKE SPACES REQUIRED:	6 SPACES
MOTORCYCLE SPACES PROVIDED:	3 SPACES
MOTORCYCLE SPACES REQUIRED:	3 SPACES

LINE TYPE LEGEND

INTERNAL PHASE LINE 

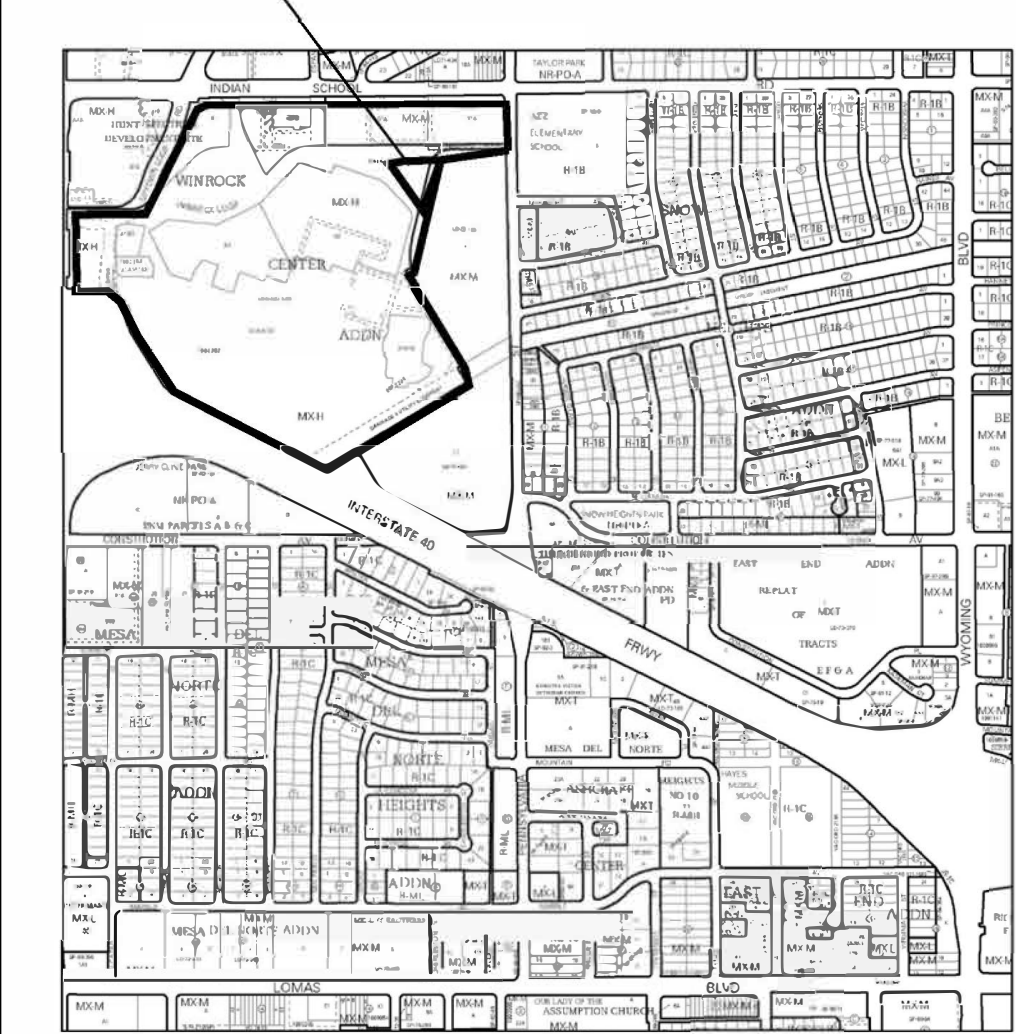
MATCH LINE 

EXISTING PROPERTY LINE 

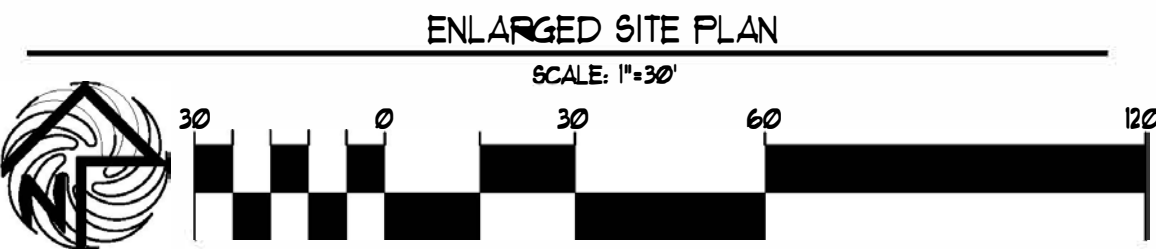
EXISTING CURB LINE 

PROPOSED CURB LINE 

HOTEL
PROJECT LOCATION



VICINITY MAP

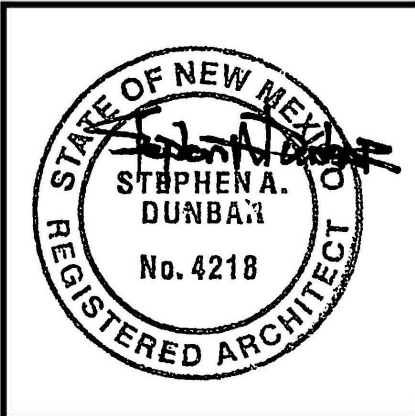


REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

MODULUS ARCHITECTS

100 SUN AVE. N.W. SUITE 600
ALBUQUERQUE, NEW MEXICO 87102
PHONE (505) 338-1499 FAX (505) 338-1498





PROJECT TITLE
UNROCK TOWN CENTER
2000 LOUISIANA BLVD. NE
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER
STEPHEN DUNBAR, AIA

JOB NO.
UN-HOTEL

DRAWN BY
S

SHEET TITLE
PROPOSED HOTEL SITE PLAN

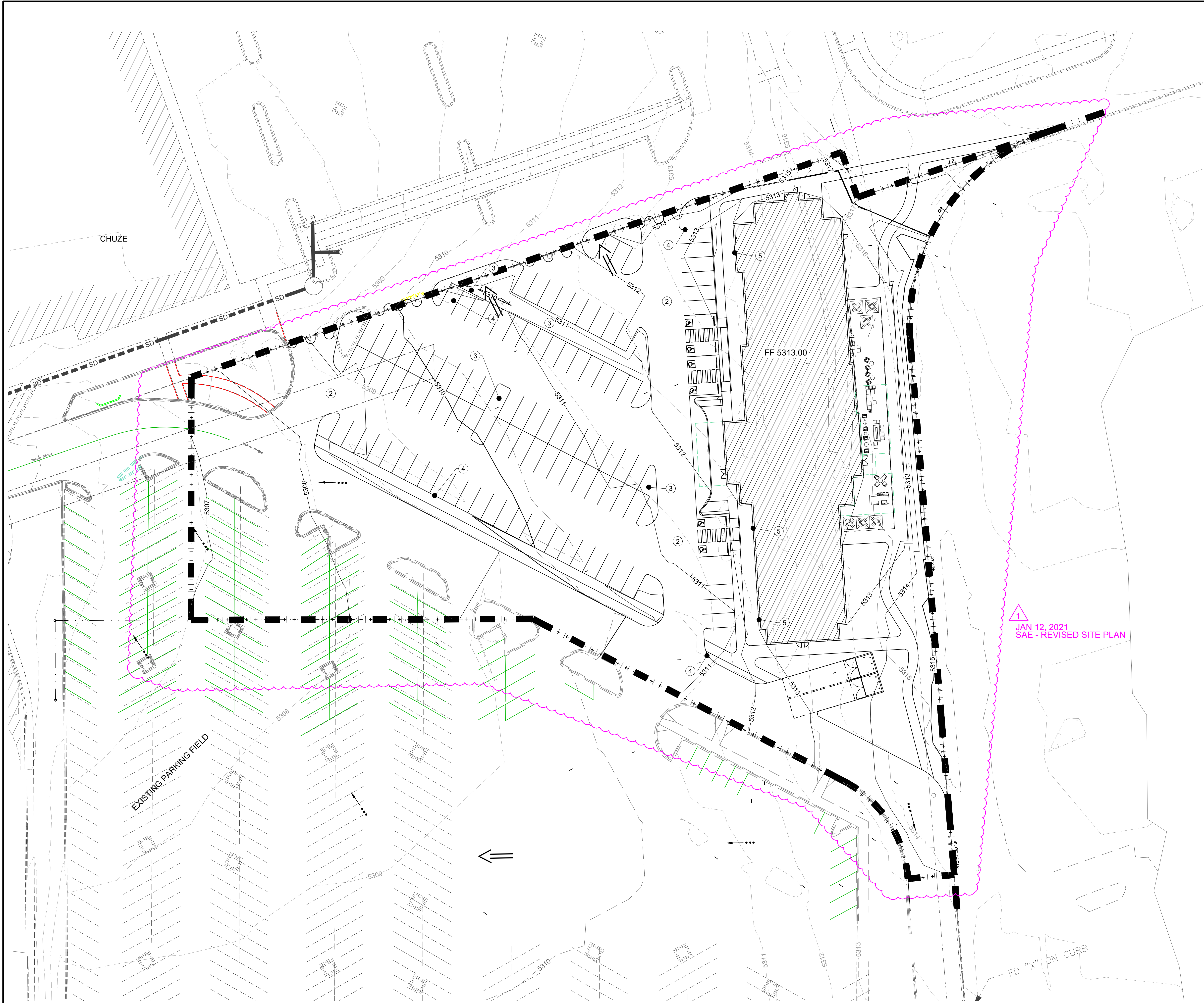
DATE:
2/16/2021

SCALE:
RE: SCALE

SHEET:
SP-1E

of

Plotted: 1/12/2021 12:45:55 PM By: Eldridge, Scott
Last Saved: 1/12/2021 12:40:00 PM
Town Center/10 CAD & BIM/10.1 AutoCAD/SHEET SET/10.dwg



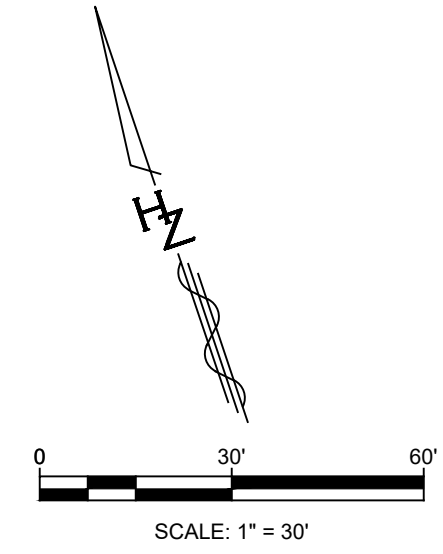
GRADING PLAN

- CONSTRUCTION NOTES
1. CONSTRUCT 6" ASPHALT CURB PER COA STD. DWG. 2415
 2. CONSTRUCT 3" SP-C ASPHALT PARKING LOT.
 3. STORM WATER QUALITY POND
 4. CURB CUT
 5. ROOF DRAIN

- LEGEND
- DISCHARGE LOCATION
 - FLOW DIRECTION
 - LIMITS OF DISTURBANCE
 - HIGH POINT

EARTHWORK SUMMARY

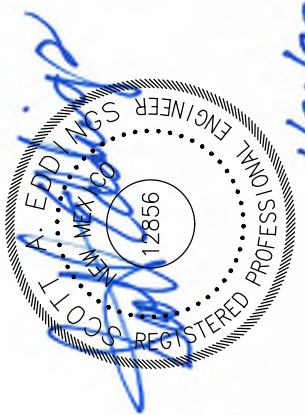
CUT: 1.00 CUBIC YARDS
FILL: 1.600 CUBIC YARDS
NET: 500 CUBIC YARDS (FILL)



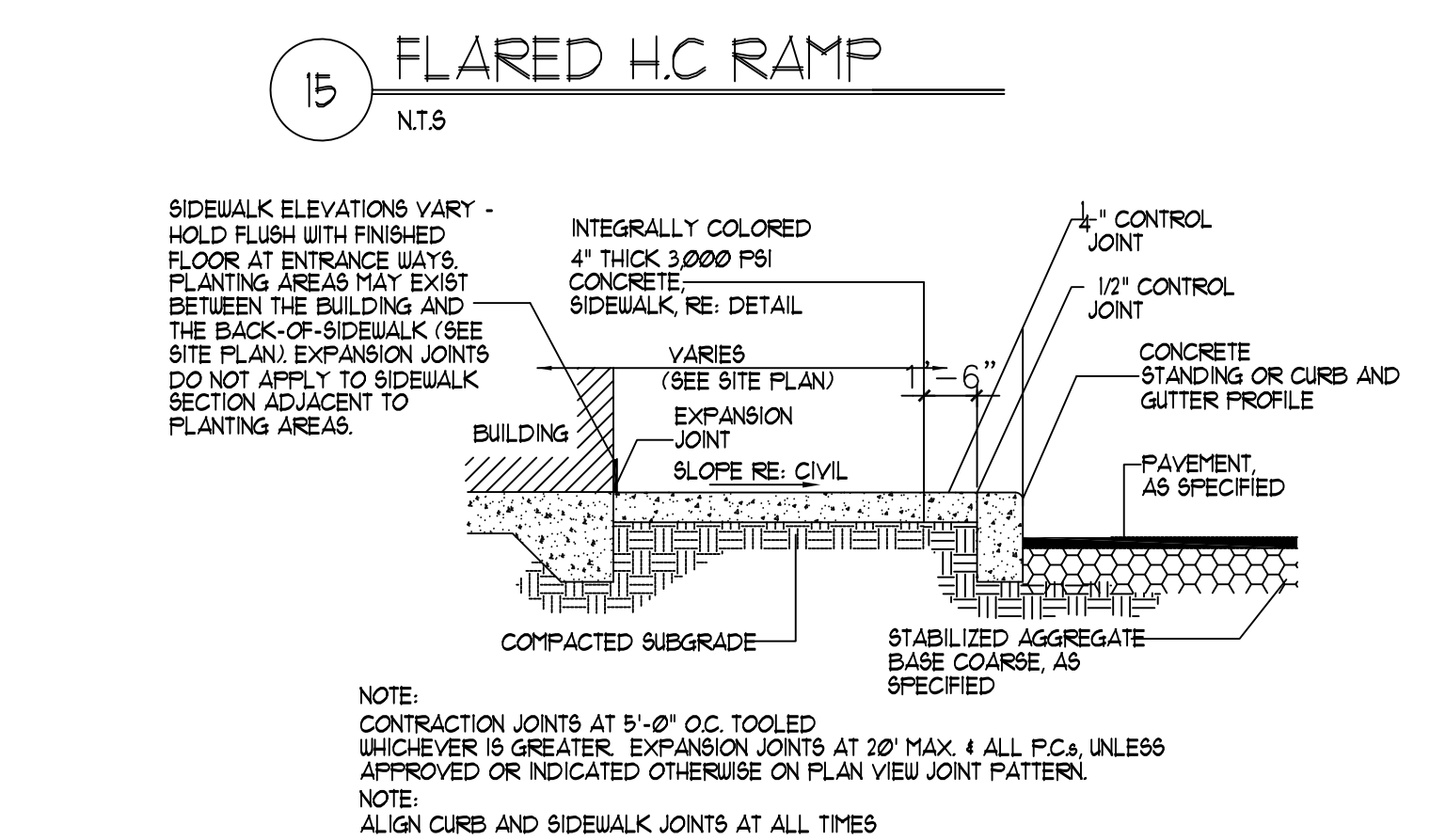
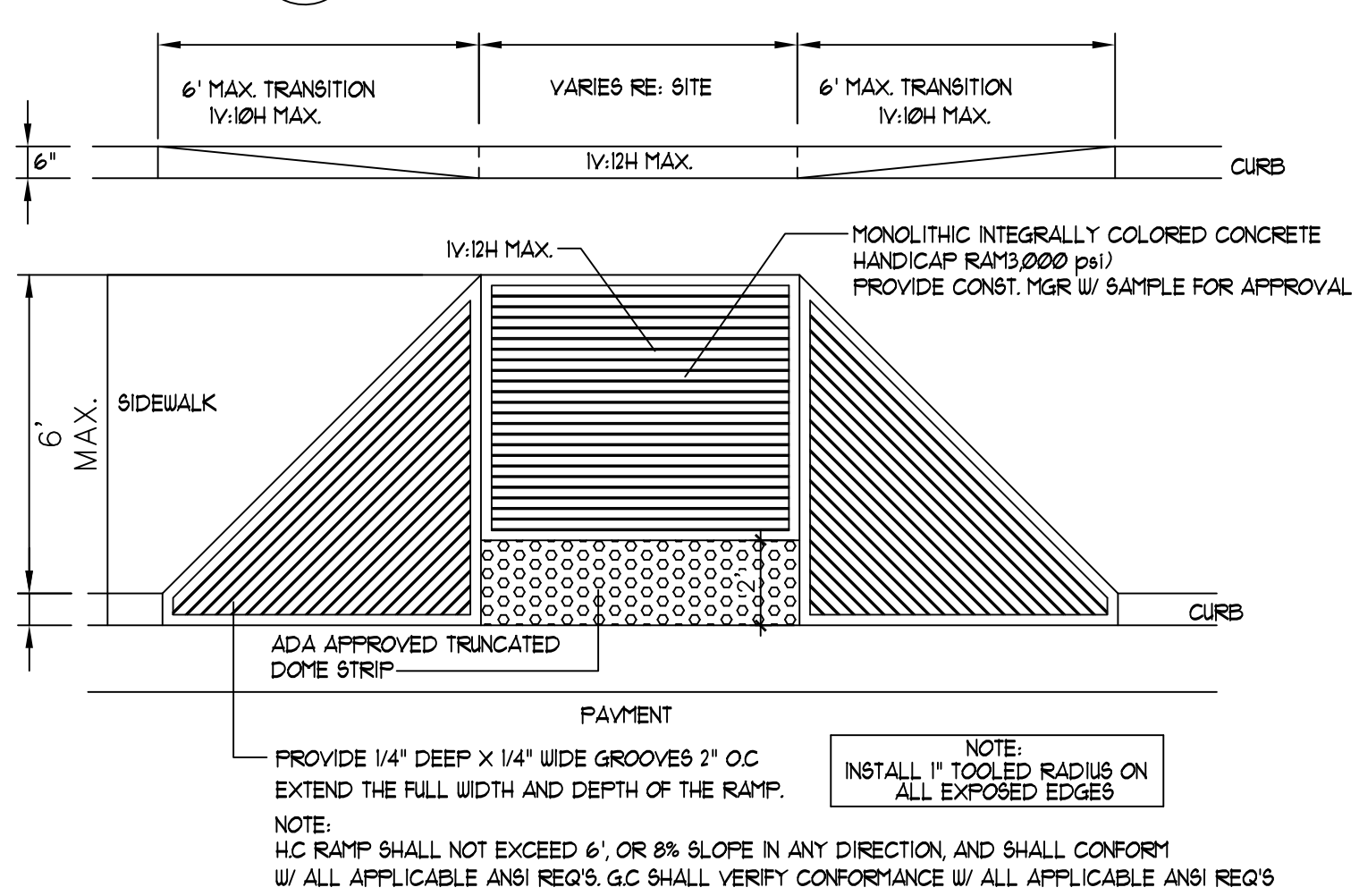
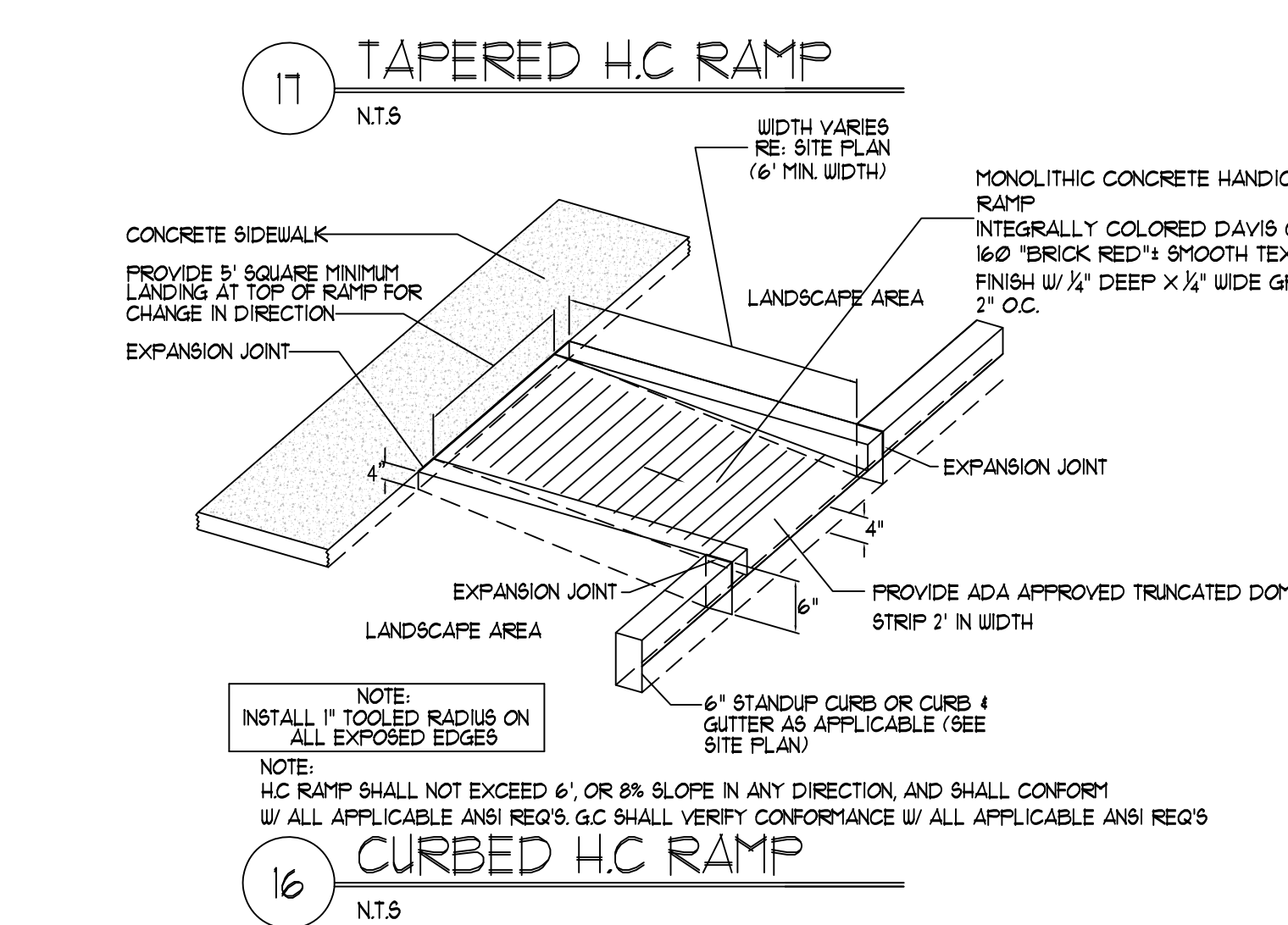
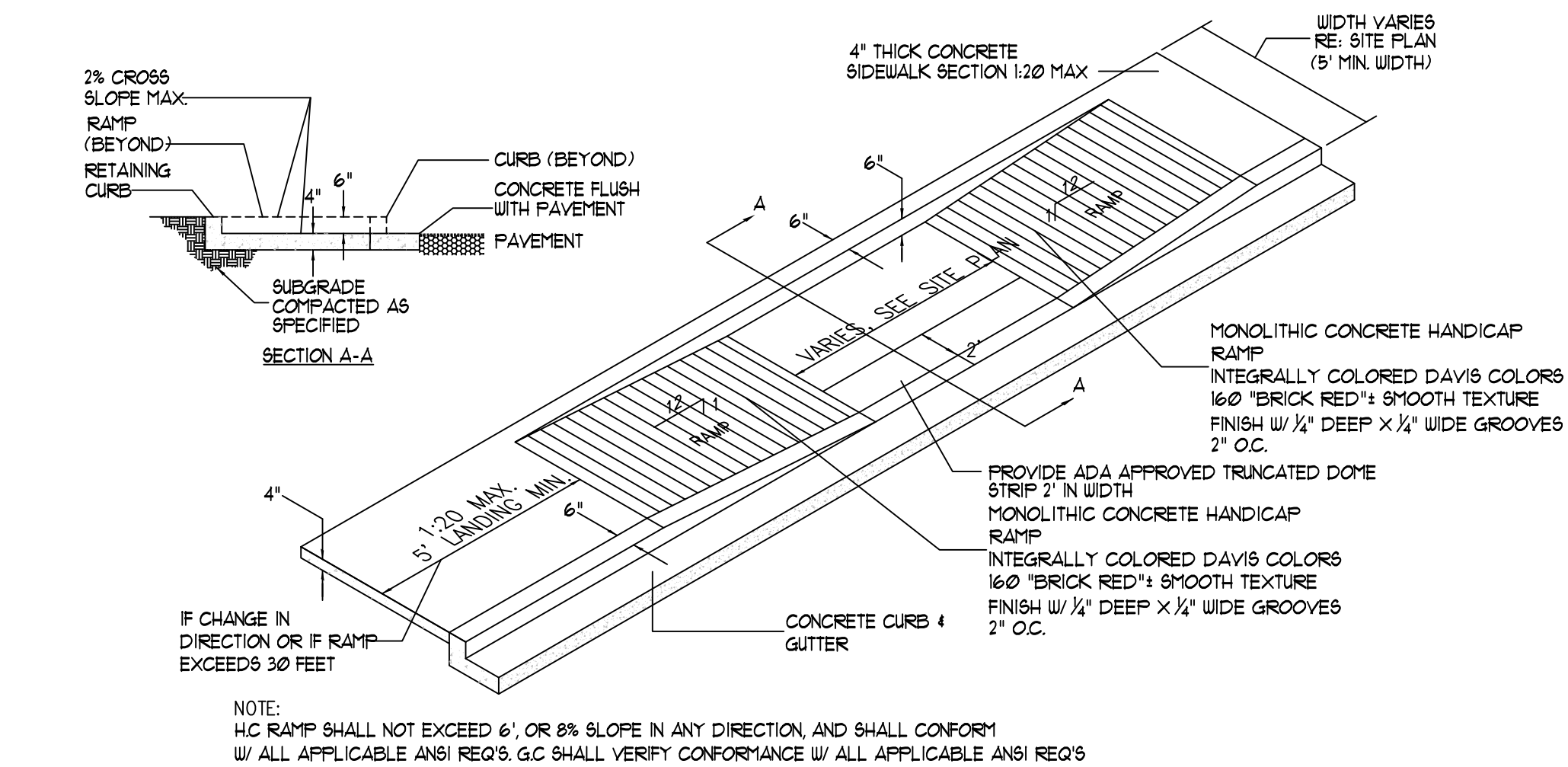
Designed By:
HUITT-ZOLIARS
Huitt-Zollars, Inc. Albuquerque
6501 Americas Parkway NE, Suite 550
Albuquerque, New Mexico 87110
Phone (505) 883-8114 Fax (505) 883-5022

HOTEL @ WINROCK TOWN CENTER ALBUQUERQUE, NM			
TITLE: GRADING PLAN FOR DRB SITE PLAN			
Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
XXXX.XX	J-19	C102	

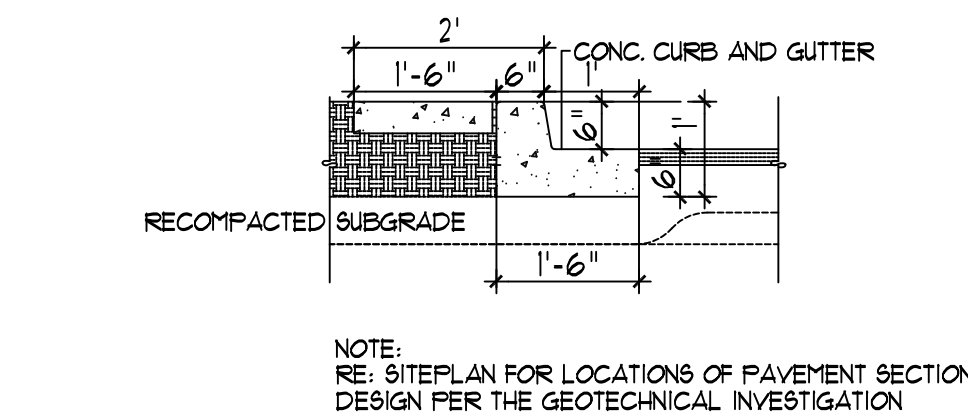
AS-BUILT INFORMATION				BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REVISIONS		DESIGN		CHECKED BY: SE	
CONTRACTOR	DATE	WORK BY	DATE	FOUND MONUMENT "1-H19A"	DATE	NO.	BY	NO.	DATE	REMARKS	BY	DESIGNED BY: NV	DATE: DEC 2019	DRAWN BY: LT	DATE: DEC 2019
INSPECTOR'S	DATE	ACCEPTANCE BY	DATE	A CITY OF ALBUQUERQUE BRASS DISK SET IN A CONCRETE POST											
VERIFICATION BY	DATE	DATE	DATE	0.1 FEET BELOWGROUND LEVEL AND IS STAMPED "1-H19A, 1989"											
CONNECTED BY	DATE	DATE	DATE	X = 1546358.44											
MICRO-FILM INFORMATION				Y = 1493076.47											
RECORDED BY	DATE	ELEVATION IS 5326.611 (NWD 1988)													
NO.															



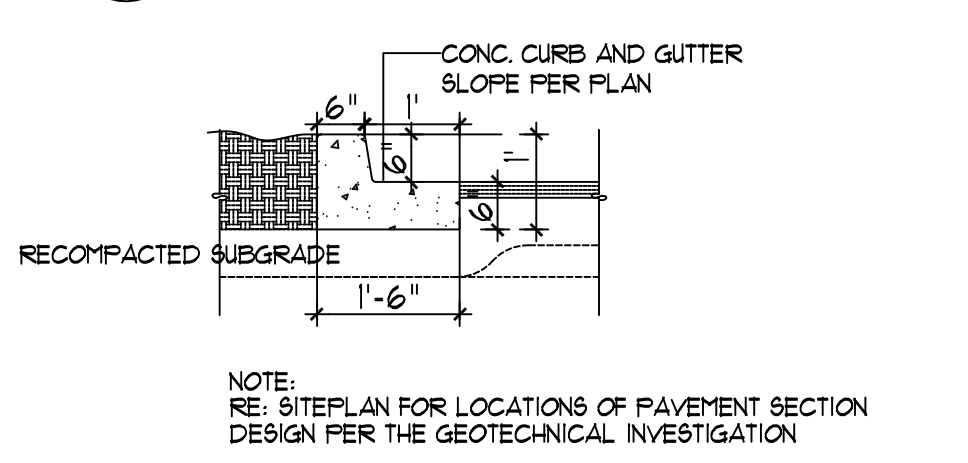
DATE: JAN. 1, 2020



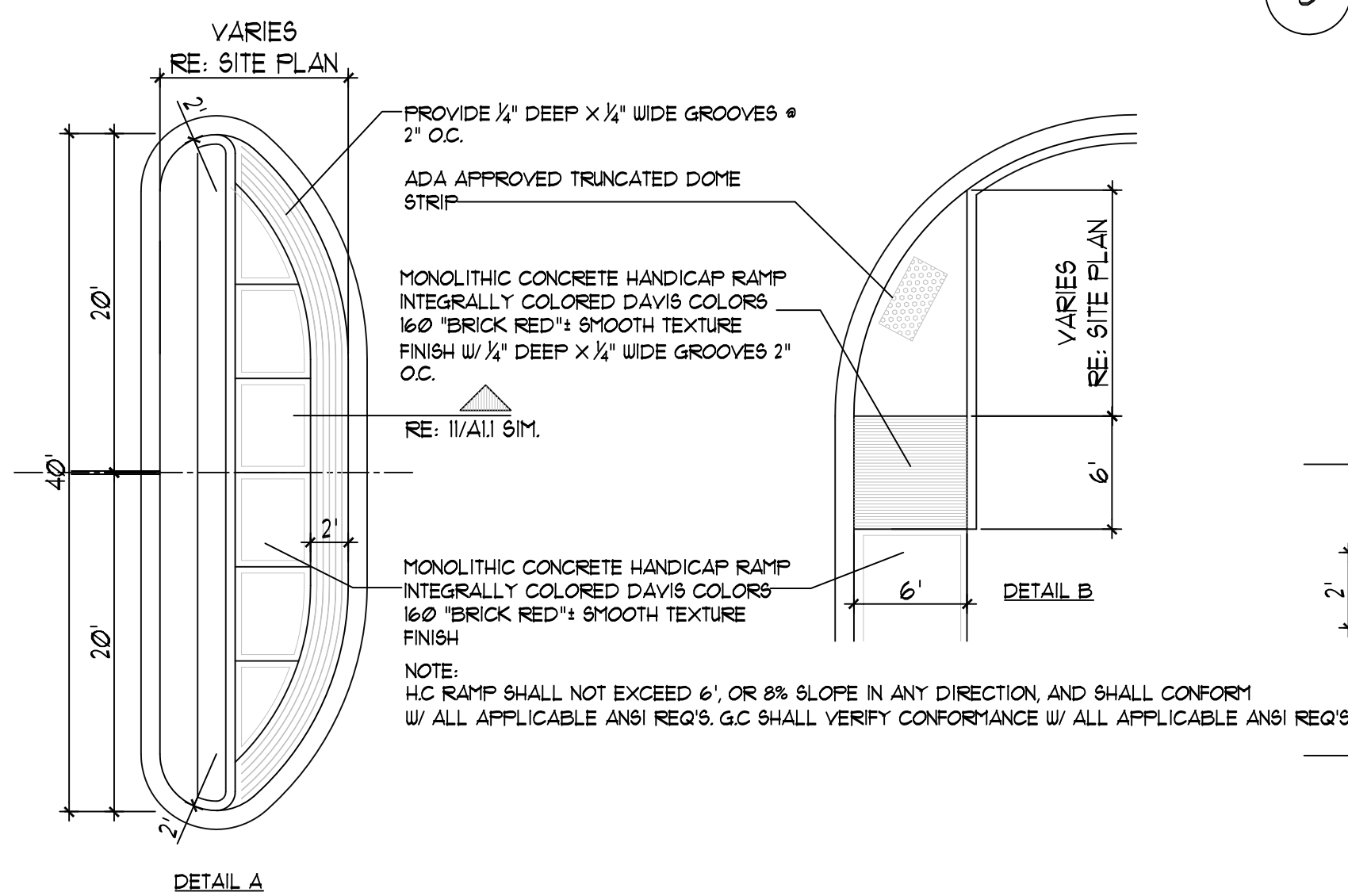
14 SIDEWALK W/ TURNDOWN CURB SECTION
NT.S



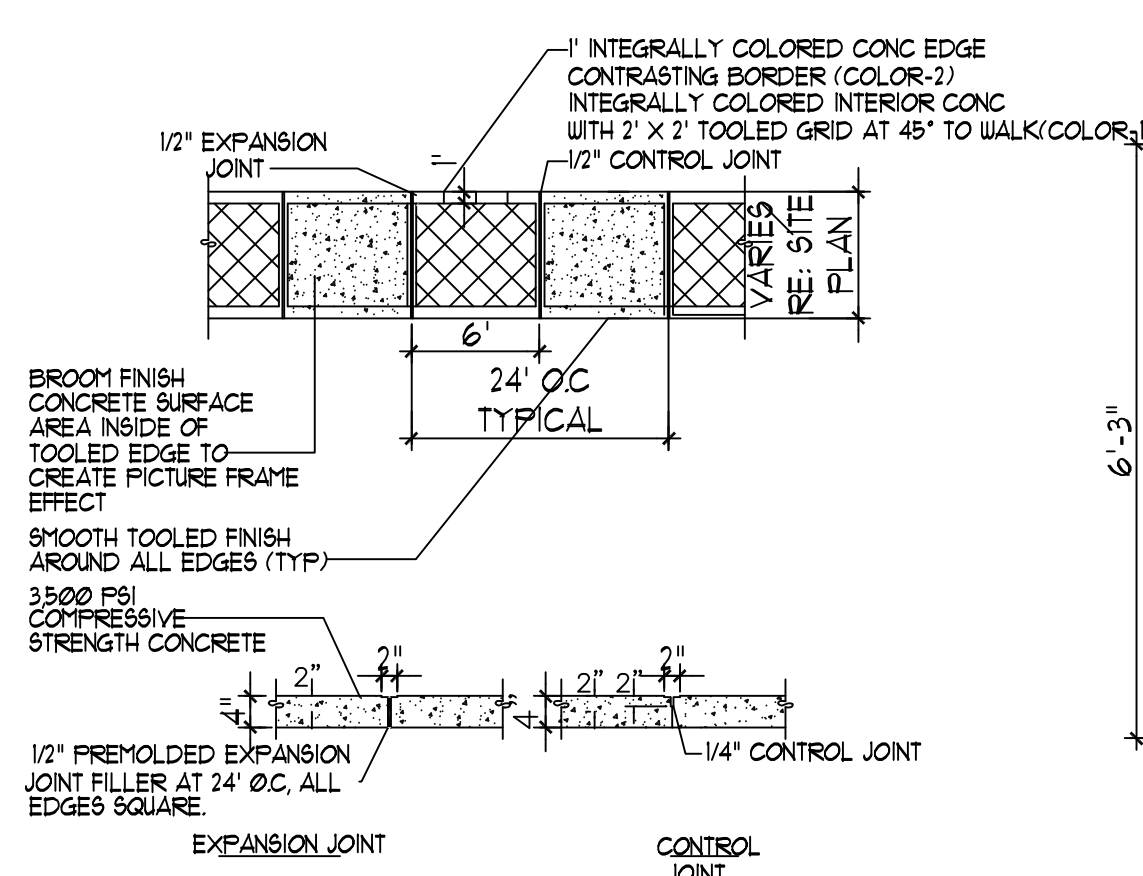
19 ISLAND CURB DETAIL
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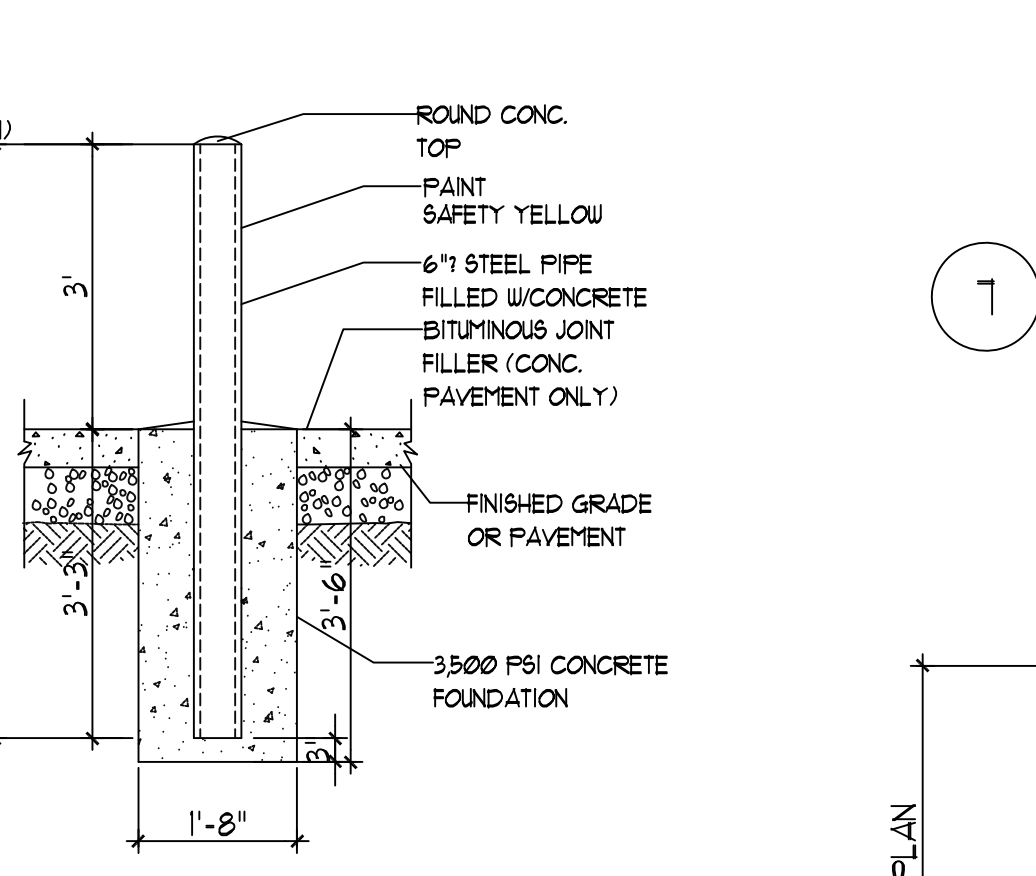
18 TYPICAL CURB DETAIL
NT.S



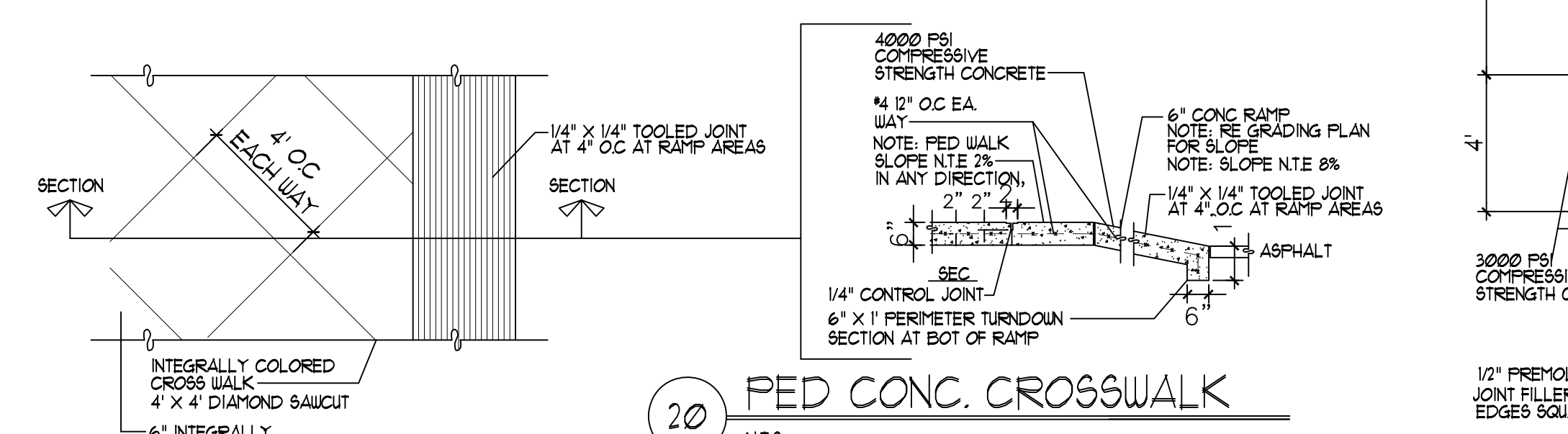
12 TYP. END ISLAND W/ WALK
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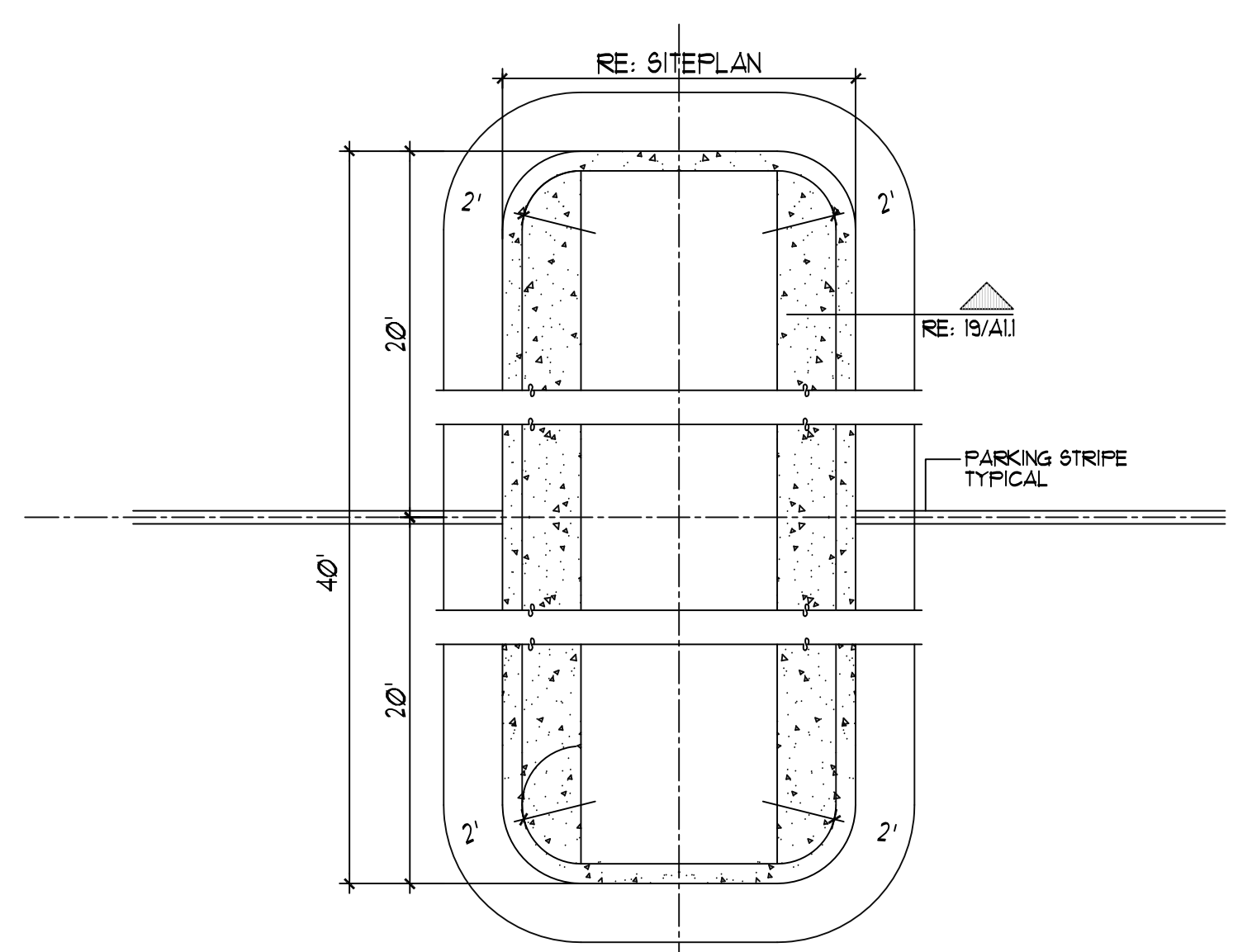
11 TYPICAL SIDEWALK
NT.S



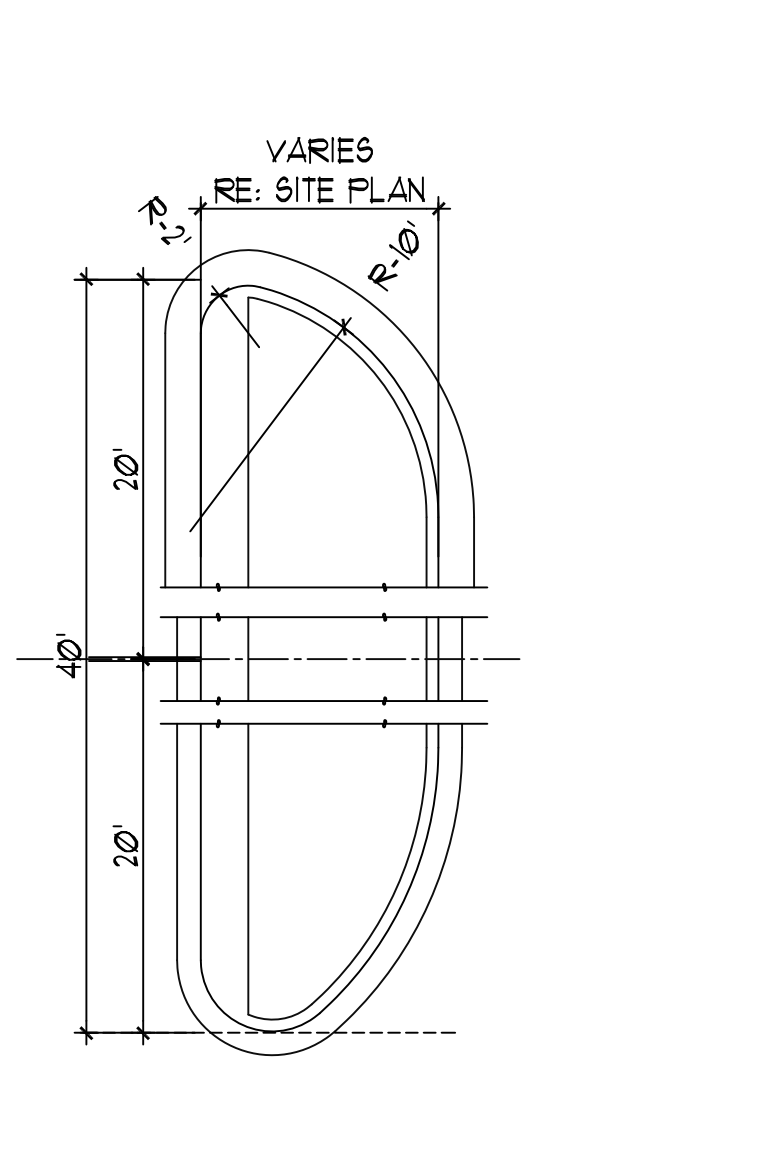
10 BOLLARD DETAIL
NT.S



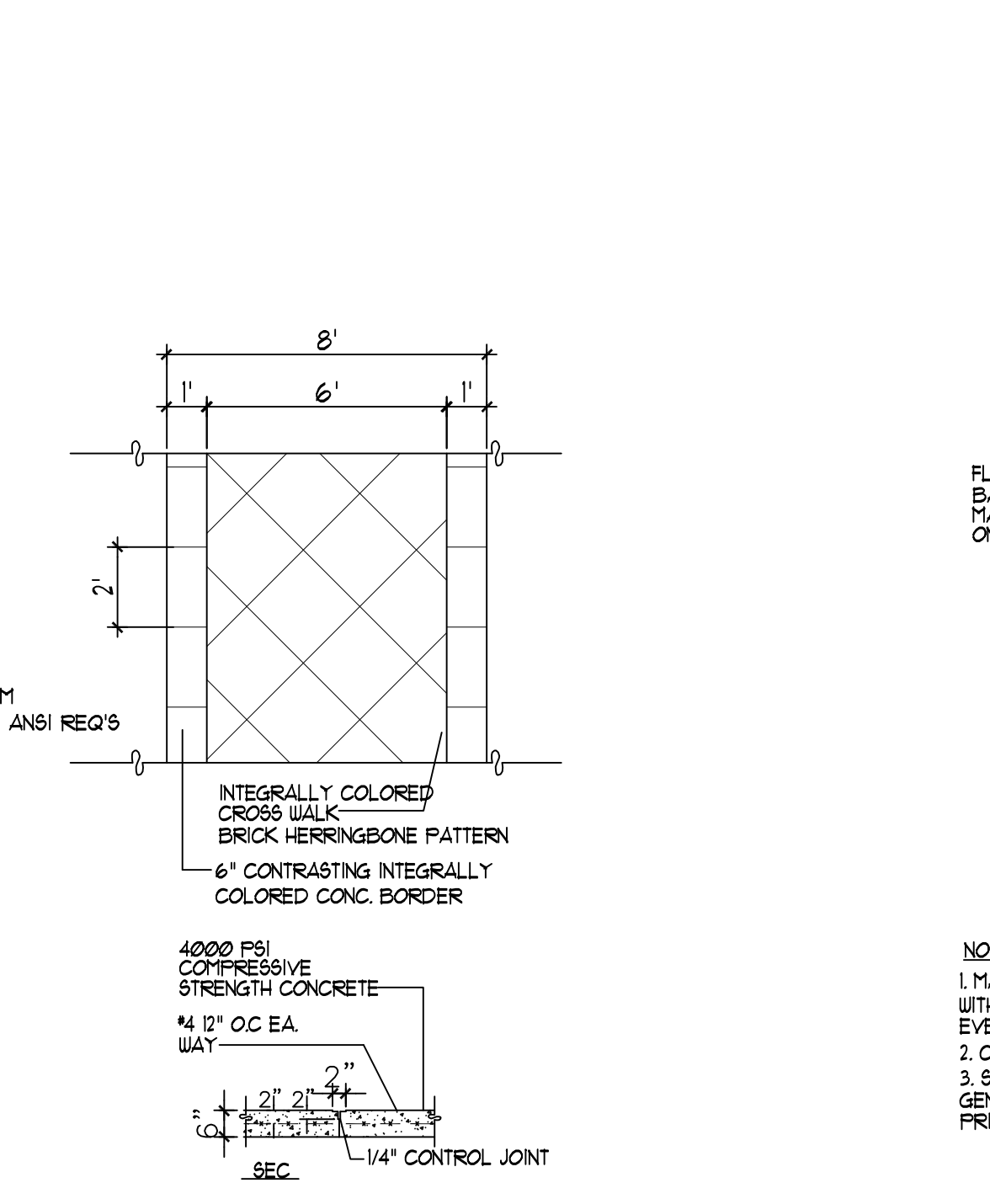
20 PED CONC. CROSSWALK
NT.S



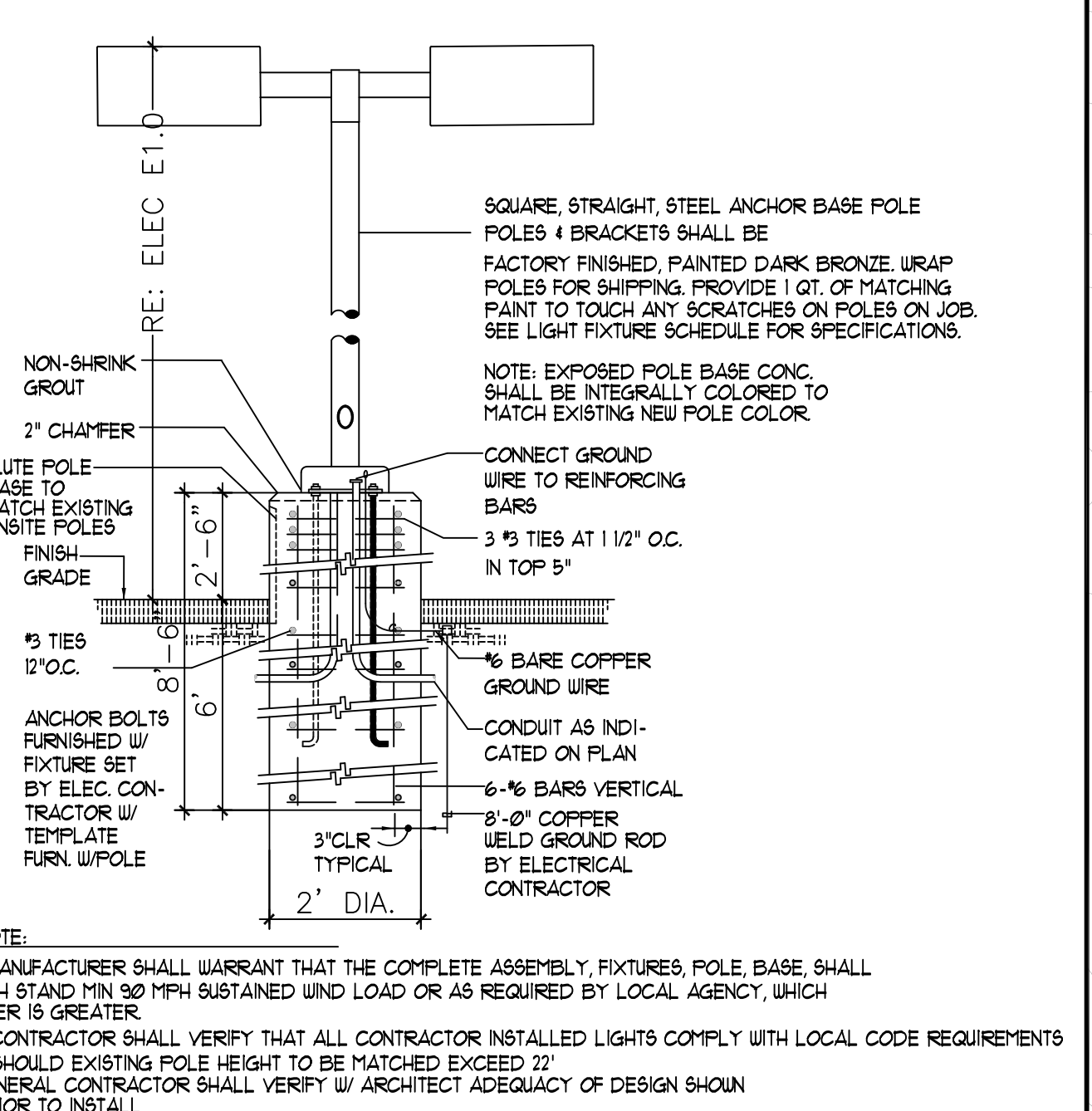
8 ISLAND DETAIL
NT.S



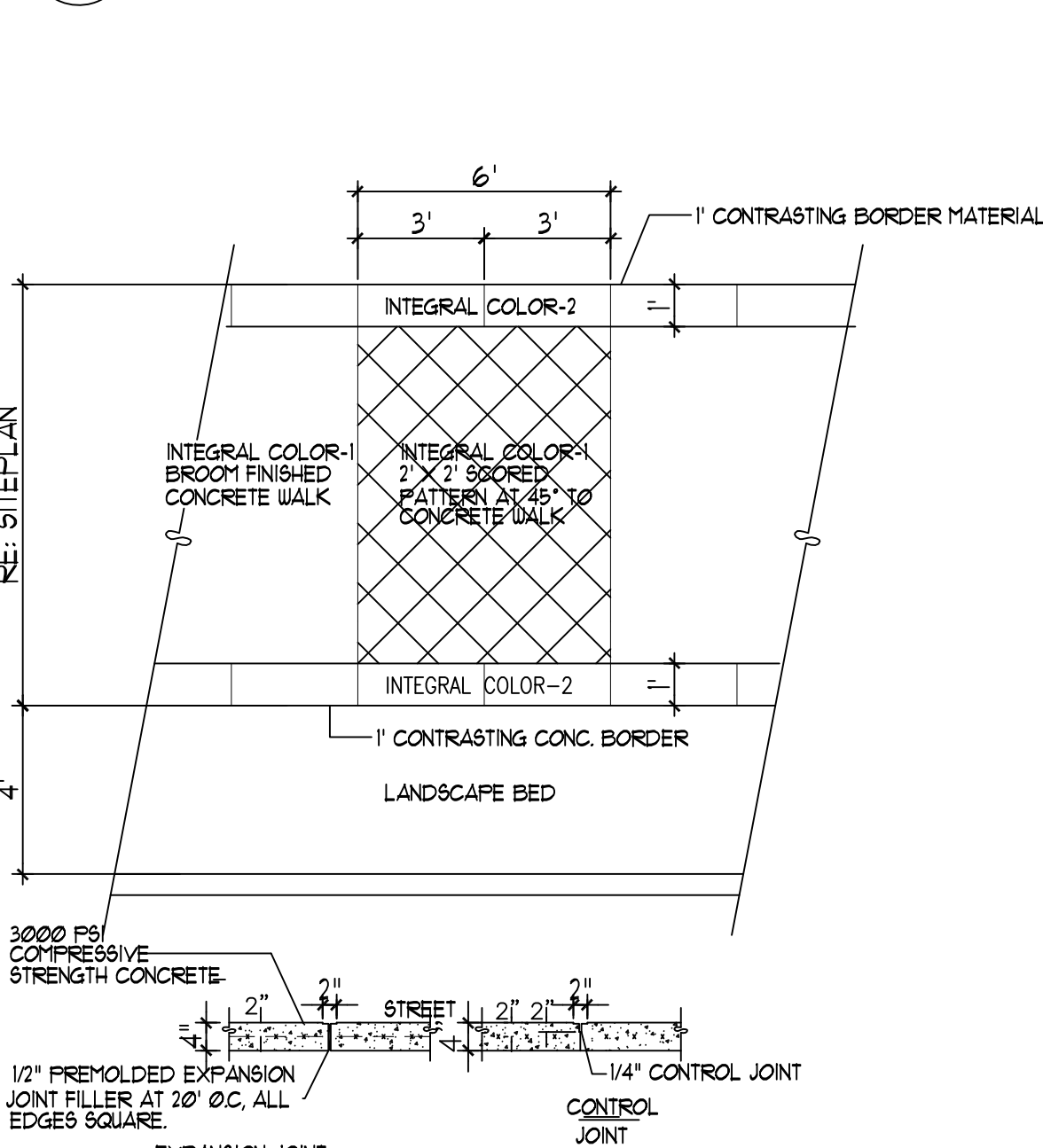
4 END ISLAND DETAIL
NT.S



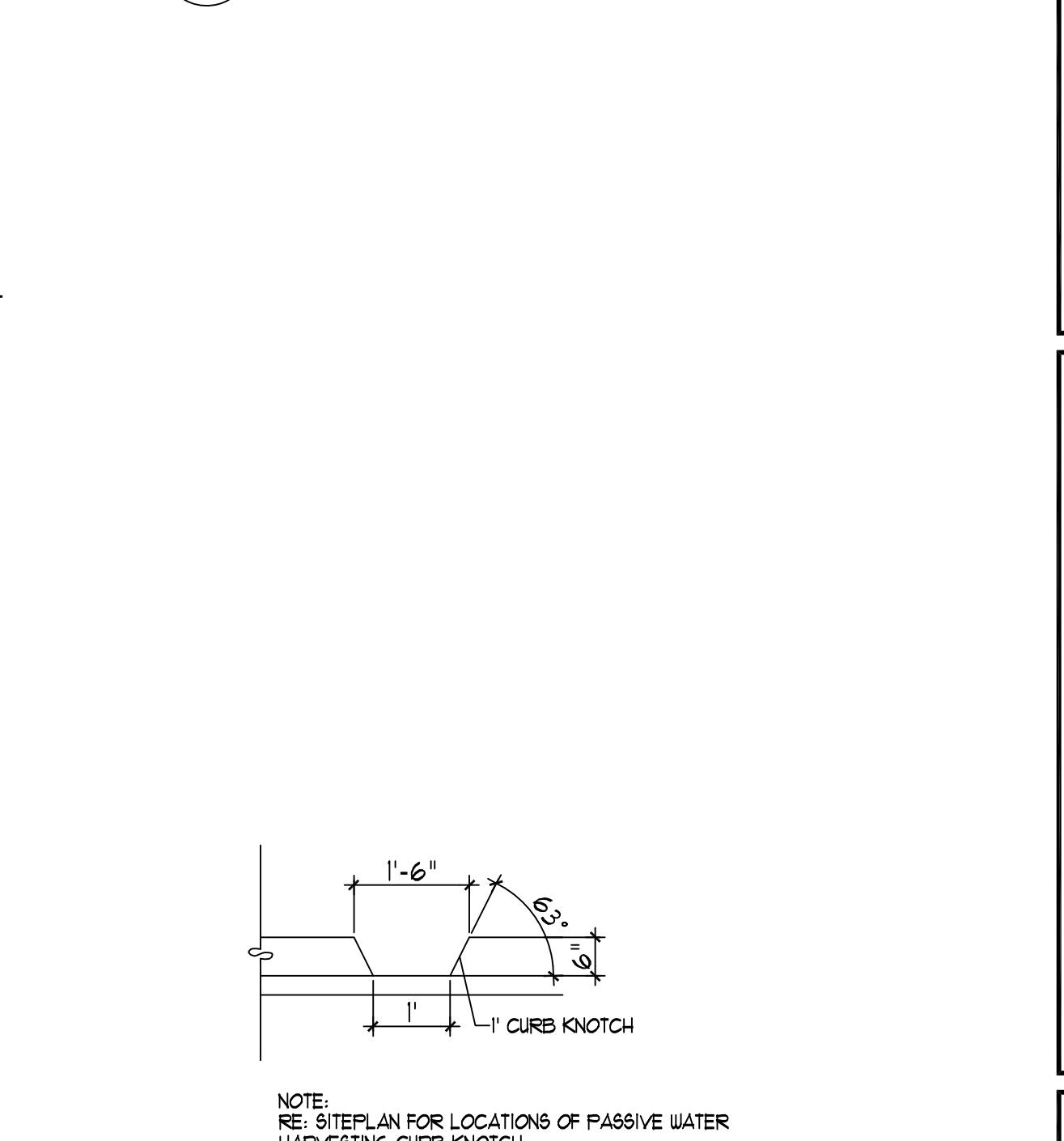
7 CONC. CROSSWALK
NT.S



3 LIGHT POLE DETAIL
NT.S



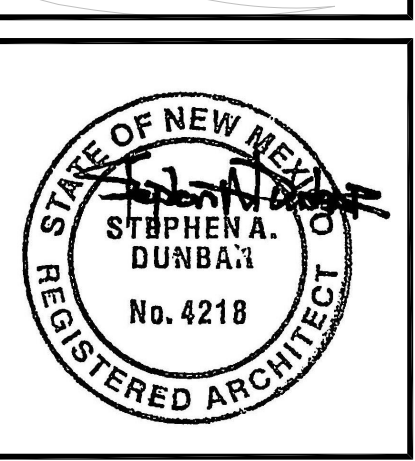
2 TYPICAL STREET SIDEWALK
NT.S



1 CURB NOTCH
NT.S

REV	DATE	BY	REVISION
6			
5			
4			
3			
2			

MODULUS ARCHITECTS
100 SUN AVE. N.W. SUITE 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE	HOTEL SITE PLAN	DRAWN BY	S
PROJECT NO.	2000 LOUISIANA	JOB NO.	WIN-HOTEL
PROJECT MANAGER	ALBUQUERQUE, NEW MEXICO	SHEET TITLE	SITE DETAILS
DATE:	2/16/21	Sheet:	A11
SCALE:	Re: PLAN	of:	

