

# **ADMINISTRATIVE AMENDMENT**

**FILE #:** \_\_\_\_\_

**PROJECT #:** \_\_\_\_\_

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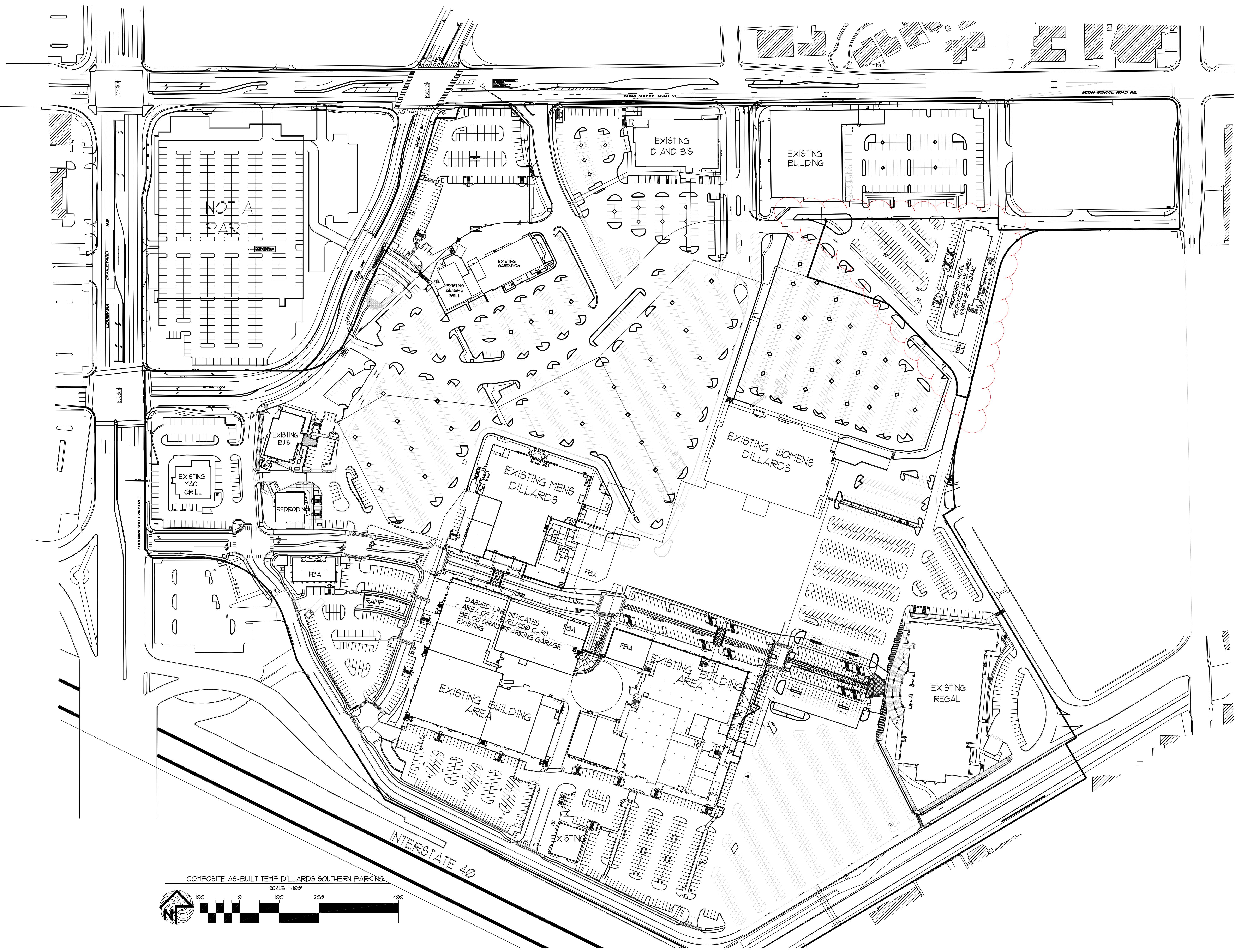
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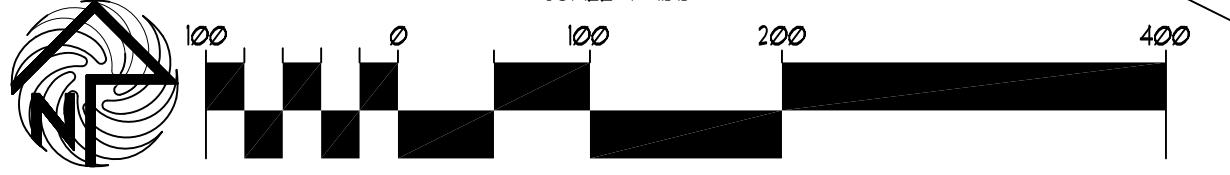
**APPROVED BY**

**DATE**

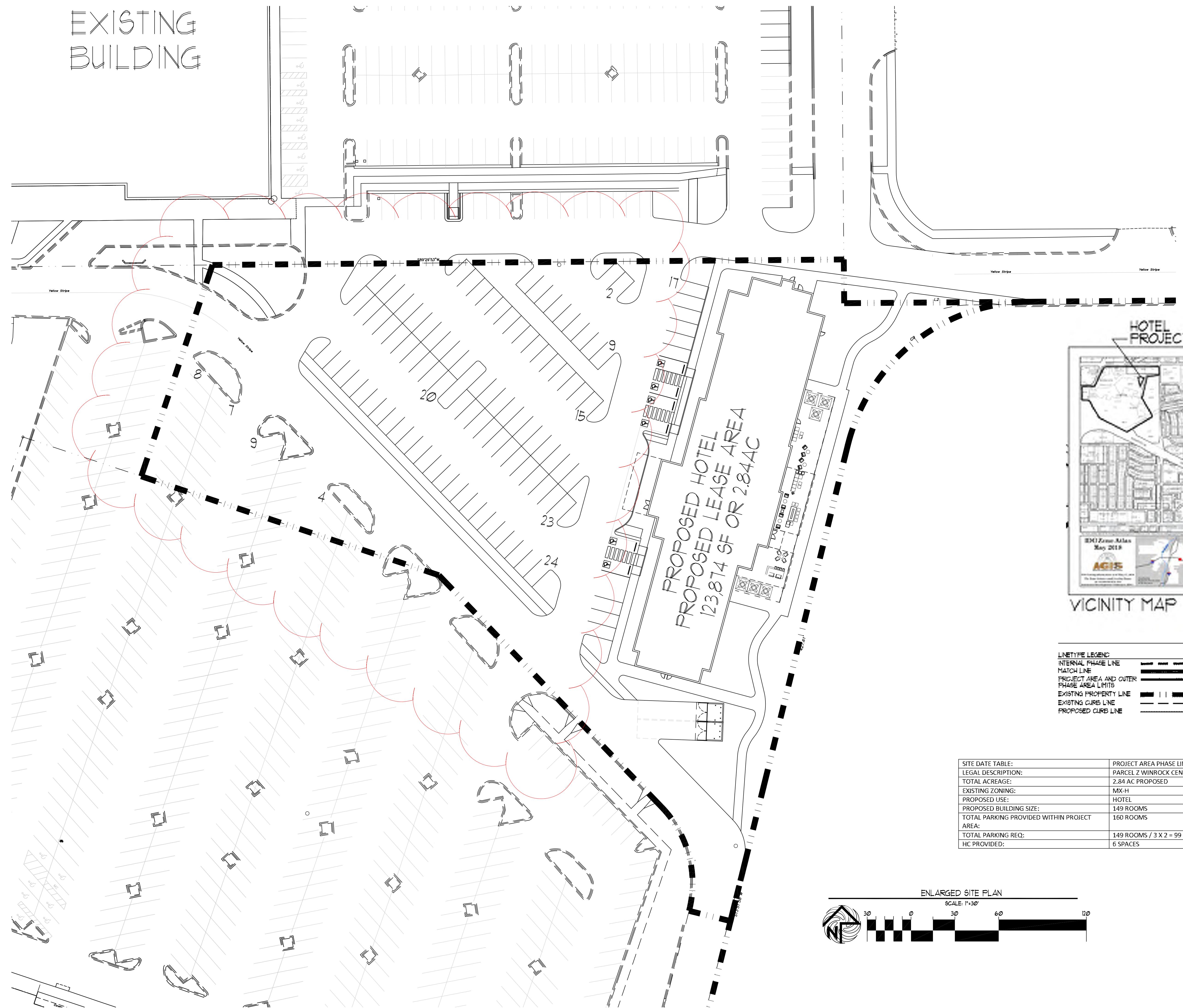


COMPOSITE AS-BUILT TEMP DILLARDS SOUTHERN PARKING

SCALE: 1"=100'



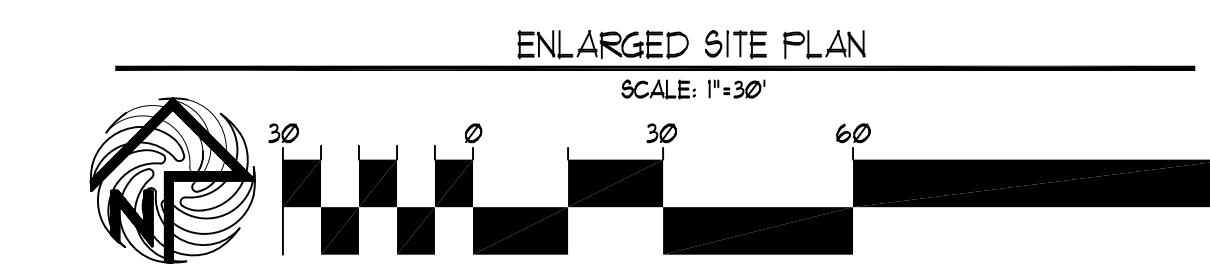
# EXISTING BUILDING



**LINETYPE LEGEND**

INTERNAL PHASE LINE	— — — — —
MATCH LINE	— — — — —
PROJECT AREA AND OUTER PHASE AREA LIMITS	— — — — —
EXISTING PROPERTY LINE	: :
EXISTING CURB LINE	— - - - -
PROPOSED CURB LINE	/ / / / /

SITE DATE TABLE:	PROJECT AREA PHASE LIMITS (LO
LEGAL DESCRIPTION:	PARCEL Z WINROCK CENTER ADDITION
TOTAL ACREAGE:	2.84 AC PROPOSED
EXISTING ZONING:	MX-H
PROPOSED USE:	HOTEL
PROPOSED BUILDING SIZE:	149 ROOMS
TOTAL PARKING PROVIDED WITHIN PROJECT AREA:	160 ROOMS
TOTAL PARKING REQ:	149 ROOMS / 3 X 2 = 99 REQUIRED PARKS
HC PROVIDED:	6 SPACES



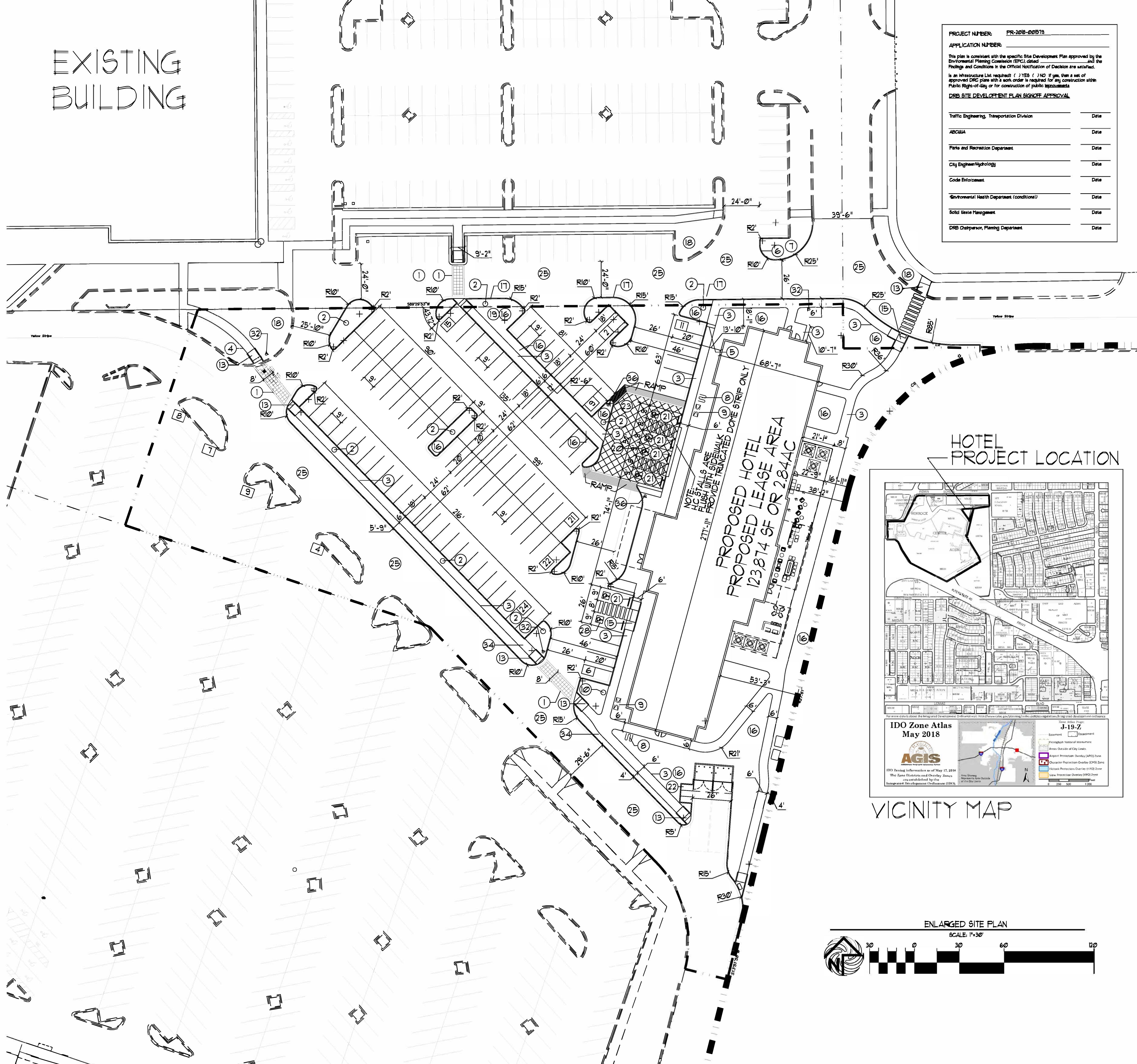
PROJECT TITLE	WINROCK TOWN CENTER
LOCATION	2100 LOUISIANA BLVD NE
PROJECT MANAGER	STEPHEN DUNBAR, AIA
JOB NO.	WIN-HOTEL
DRAWN BY	XXX
DATE	7/1/21
SCALE	1"=30'
RE: SCALE	SP-1A2
sheet	SP-1A2
of	1

**MODULUS ARCHITECTS**

100 SUN AVE. N.W. SUITE 305  
ALBUQUERQUE, NEW MEXICO 87102  
PHONE (505) 338-1499 FAX (505) 338-1498



# EXISTING BUILDING



PROJECT NUMBER	PR-2018-00519
APPLICATION NUMBER	
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.	
Is an Infrastructure List required? ( ) YES ( ) NO If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.	
DRC SITE DEVELOPMENT PLAN SIGNOFF APPROVAL	
Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Director, Planning Department	Date

## KEYED NOTE:

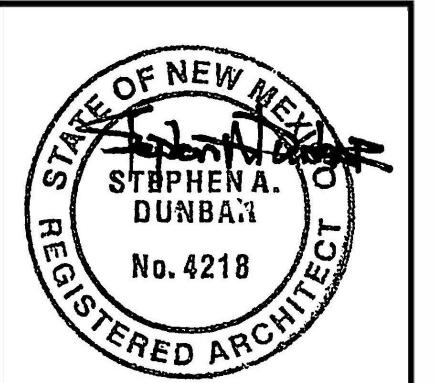
- ① INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN CROSSWALK RE: DETAIL 1/A1
  - ② 20' LIGHT POLE LOCATION RE: DETAIL 3/A1
  - ③ INTEGRALLY COLORED CONC. SIDEWALK RE: DET 2/A12
  - ④ INDICATES EXISTING SIDEWALK AREA TO REMAIN
  - ⑤ INDICATES NEW CONC. SIDEWALK FLUME WITH STEEL COVER PLATE RE: DETAIL 1/A12
  - ⑥ INDICATES NEW TEMP ASPHALT 6" EXTRUDED CURB
  - ⑦ INDICATES OFFSITE TEMP LANDSCAPE AREA TO BE GRAVELED ONLY (RE: LANDSCAPE PLAN)
  - ⑧ INDICATES BIKE RACK LOCATION (5 BIKE CAPACITY)  
RE: DETAIL 1/A12  
TYPICAL BIKE RACK GRAPHIC SYMBOL:
  - ⑨ BENCH LOCATION  
TYPICAL BENCH GRAPHIC SYMBOL:
  - ⑩ TRASH RECEPTACLE
  - ⑪ 6" STEEL BOLLARD WITH CUSTOM CAP
  - ⑫ HANDICAP RAMP RE: 15/A1
  - ⑬ HANDICAP RAMP RE: 16/A1
  - ⑭ HANDICAP RAMP RE: 12/A1
  - ⑮ HANDICAP RAMP RE: 17/A1
  - ⑯ INDICATES LANDSCAPE AREA  
GC TO PROVIDE/COORDINATE REQ. SLEEVING FOR EA. WELL  
LOCATION RE: LANDSCAPE PLAN FOR INFO
  - ⑰ INDICATES 1' CURB CUT TO ALLOW FOR PASSIVE WATER SHEET FLOW HARVESTING FROM ADJACENT PAVEMENT SURFACE TO PROPOSED LANDSCAPE PLANT BEDS. RE: DETAIL 1/A1 FOR KNOTCH DETAIL
  - ⑱ NOT A PART/FUTURE REDEVELOPMENT PHASE
  - ⑲ 6" HIGH CONC. ISLAND RE: DET 4/A1  
RE: SITE GRADING PLAN FOR INFO
  - ⑳ DUAL CONFIGURATION HC PARKING STALL RE: DET 9/A12
  - ㉑ WHEELSTOP RE: DET 5/A12
  - ㉒ INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION  
NOTE: EACH ON SITE STALL MEASURES 4' X 8' IN SIZE  
RE: SITE PLAN FOR LOCATIONS, RE: DET. 1/A12  
FOR "MOTOR CYCLE PARKING" SIGN DETAIL
  - ㉓ EXTERIOR DECORATIVE RAISED CONCRETE PED. ENTRY AREA  
RE: DETAIL 20/A1
  - ㉔ INDICATES PROPOSED CURBING TO RECEIVE FIRE STRIPE  
PAINT CURB RED IN COLOR
  - ㉕ EXISTING ASPHALT DRIVE TO REMAIN
  - ㉖ NEW ASPHALT DRIVE RE: CIVIL FOR GRADES/PROFILE
  - ㉗ TIE NEW SIDEWALK INTO FACE OF EXISTING SIDEWALK LOCATION
  - ㉘ HC PARKING STALL RE: DET 5/A12
  - ㉙ INDICATES HOTEL/TENANT WORK SCOPE AREA
  - ㉚ INDICATES EXISTING PAVEMENT/FLATWORK/LANDSCAPE/CURB AND GUTTER TO BE REMOVED
  - ㉛ INDICATES ISLAND AND LANDSCAPING TO REMAIN
  - ㉜ INDICATES STOP SIGN LOCATION. RE: DET 3/A1/A2
  - ㉝ INDICATES CLEAR SITE TRIANGLE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL AS MEASURED FROM THE GUTTER PAN ARE NOT ALLOWED WITHIN CLEAR SITE TRIANGLE AREA
  - ㉞ INDICATES REFUSE ENCLOSURE LOCATION. RE: DET 4/A1/3
  - ㉟ INDICATES SPEED HUMP SIGN LOCATION. RE: DET 3B/A1/2
- NOTE: REFER TO PLAT FOR ALL EXISTING EASEMENTS WITHIN PROJECT SCOPE AREA.  
SLOPE NOT TO EXCEED 8%.

SITE DATA TABLE	PROJECT AREA PHASE LIMITS (LOT-A-1-A-1-A)
LEGAL DESCRIPTION	PARCEL I-A1-WINROCK CENTER ADDITION
TOTAL ACREAGE	2.84 ACRES PROPOSED
EXISTING ZONING	MX-H
PROPOSED USE	HOTEL
PROPOSED BUILDING SIZE	148 ROOMS
TOTAL PARKING PROVIDED WITHIN PROJECT AREA	138 PARKS
TOTAL PARKING REQ.	148 ROOMS / 3 X 2 = 96 REQUIRED PARKS
HC PROVIDED	6 SPACES (NOTE: ALL SPACES VAN ACCESSIBLE)
HC REQUIRED	6 SPACES
BIKE SPACES PROVIDED	10 SPACES
BIKE SPACES REQUIRED	6 SPACES
MOTORCYCLE SPACES PROVIDED	3 SPACES
MOTORCYCLE SPACES REQUIRED	3 SPACES

LINETYPE LEGEND
INTERNAL PHASE LINE
MATCH LINE
EXISTING PROPERTY LINE
EXISTING CURB LINE
PROPOSED CURB LINE

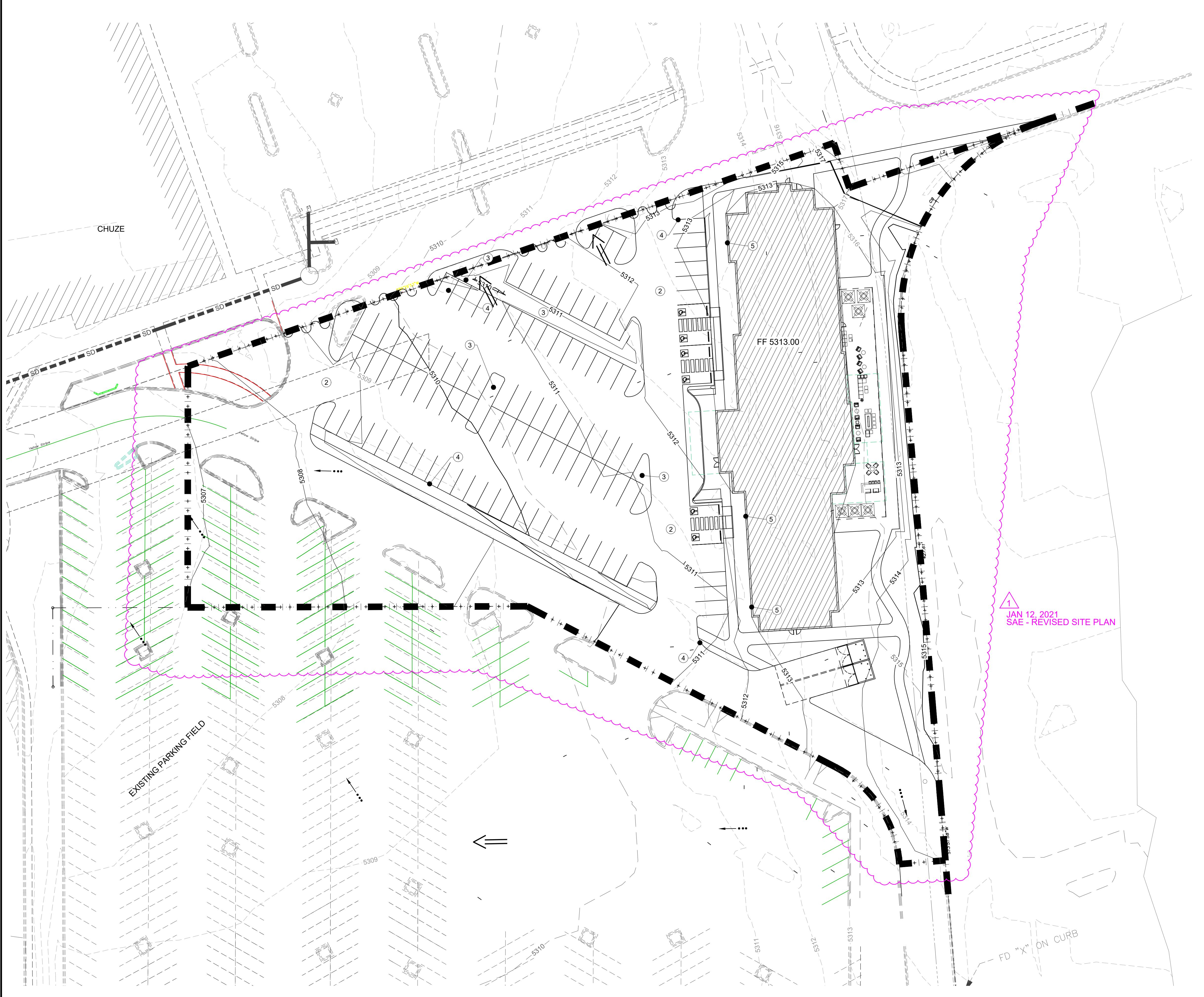
**MODULUS ARCHITECTS**

100 SUN AVE. N.W. SUITE 600  
ALBUQUERQUE, NEW MEXICO 87102  
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE	WINROCK TOWN CENTER
PROJECT NUMBER	2120 LOUISIANA BLVD NE ALBUQUERQUE, NEW MEXICO
PROJECT MANAGER	STEPHEN DUNBAR, AIA
JOB NO.	WIN-HOTEL

DATE	2/16/2021
SCALE	1" = 30'
RE SCALE	1" = 10'



# **GRADING PLAN**

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## **CONSTRUCTION NOTES**

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- ① CONSTRUCT 6" ASPHALT CURB PER COA S DWG. 2415
  - ② CONSTRUCT 3" SP-C ASPHALT PARKING LO
  - ③ STORM WATER QUALITY POND
  - ④ CURB CUT
  - ⑤ ROOF DRAIN

SURVEY INFORMATION			BENCH MARKS			AS BUILT INFORMATION		
FIELD NOTES			FOUND MONUMENT "1_H19A"			CONTRACTOR		
NO.	BY	DATE	A CITY OF ALBUQUERQUE BRASS DISK SET IN A CONCRETE POST 0.1 FEET BELOWGROUND LEVEL AND IS STAMPED "1-H19A, 1969".	WORK STAKED BY INSPECTOR'S ACCEPTANCE BY	DATE	FIELD VERIFICATION BY DRAWINGS CORRECTED BY	DRAWINGS CORRECTED BY	DATE
			X = 1548358.44					
			Y = 1493076.47					
			ELEVATION IS 5326.611 (NAVD 1988)					
						RECORDED BY	DATE	
						NO.		



JAN 12, 2021  
SAF - REVISED SITE PL A

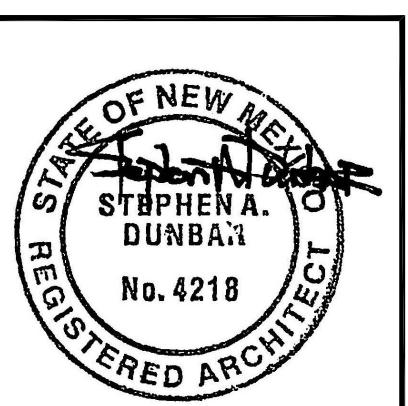
HOTEL @  
WROCK TOWN CENTER  
ALBUQUERQUE, NM

# **TITLE: GRADING PLAN FOR DRB SITE PLAN**

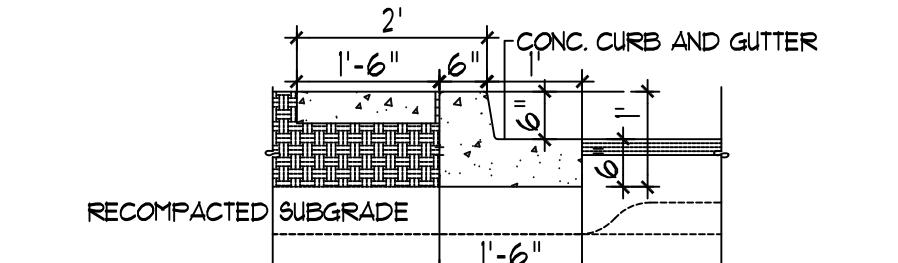
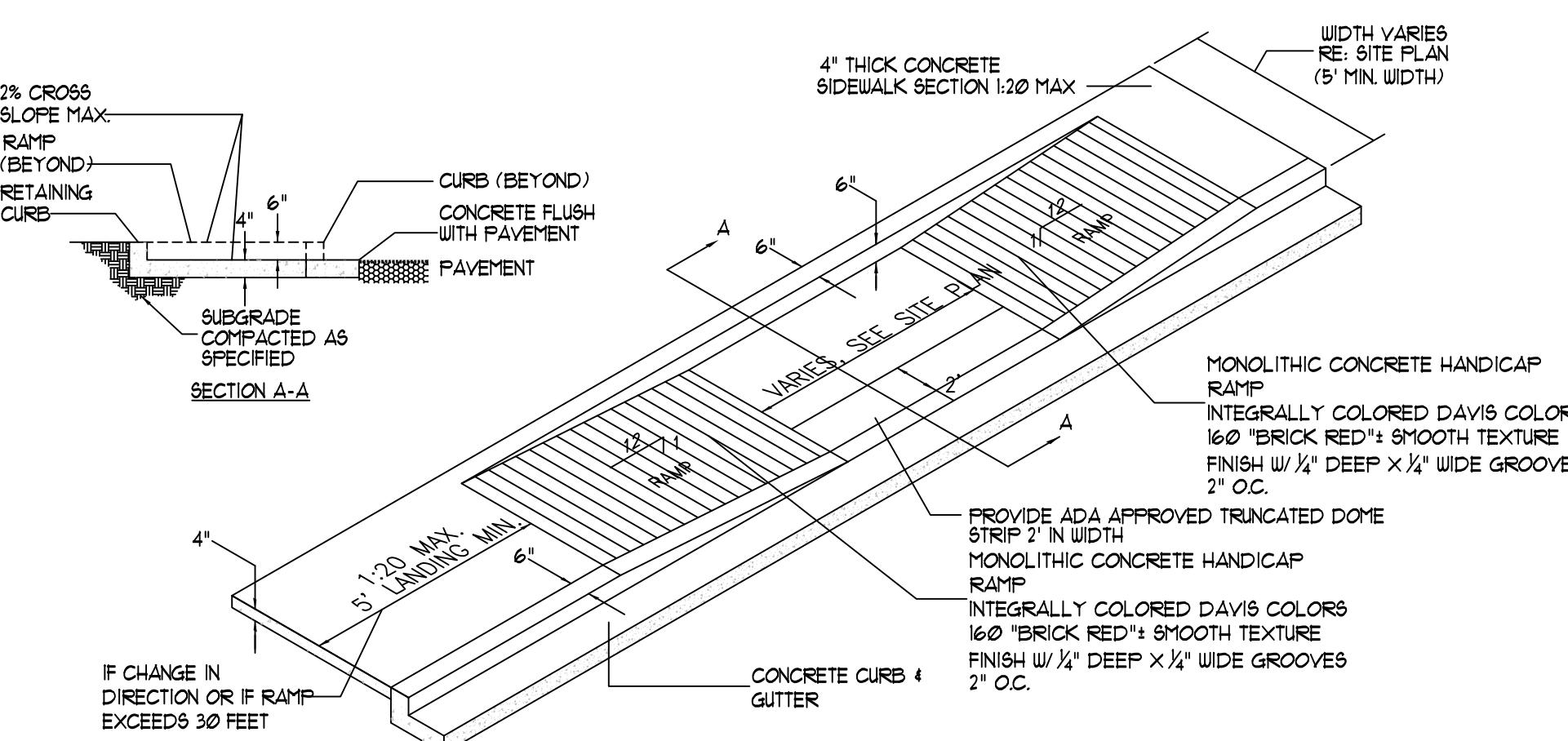
Design Review Committee	City Engineer	Last Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	XXXX XX	Zone Map No.	Sheet C102	Of
	L 10			

# MODULUS ARCHITECTS

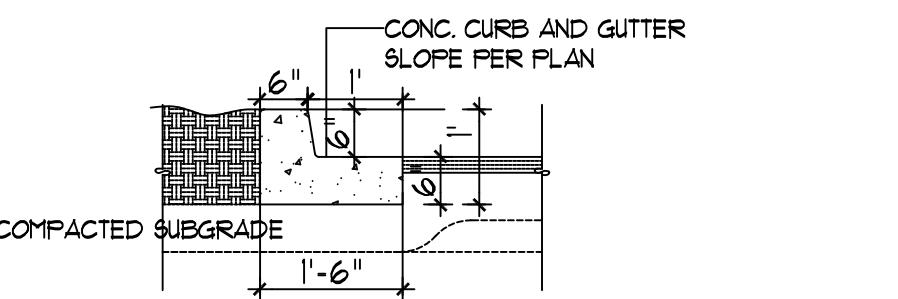
100 SUN AVE. N.W. SUITE 600  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498



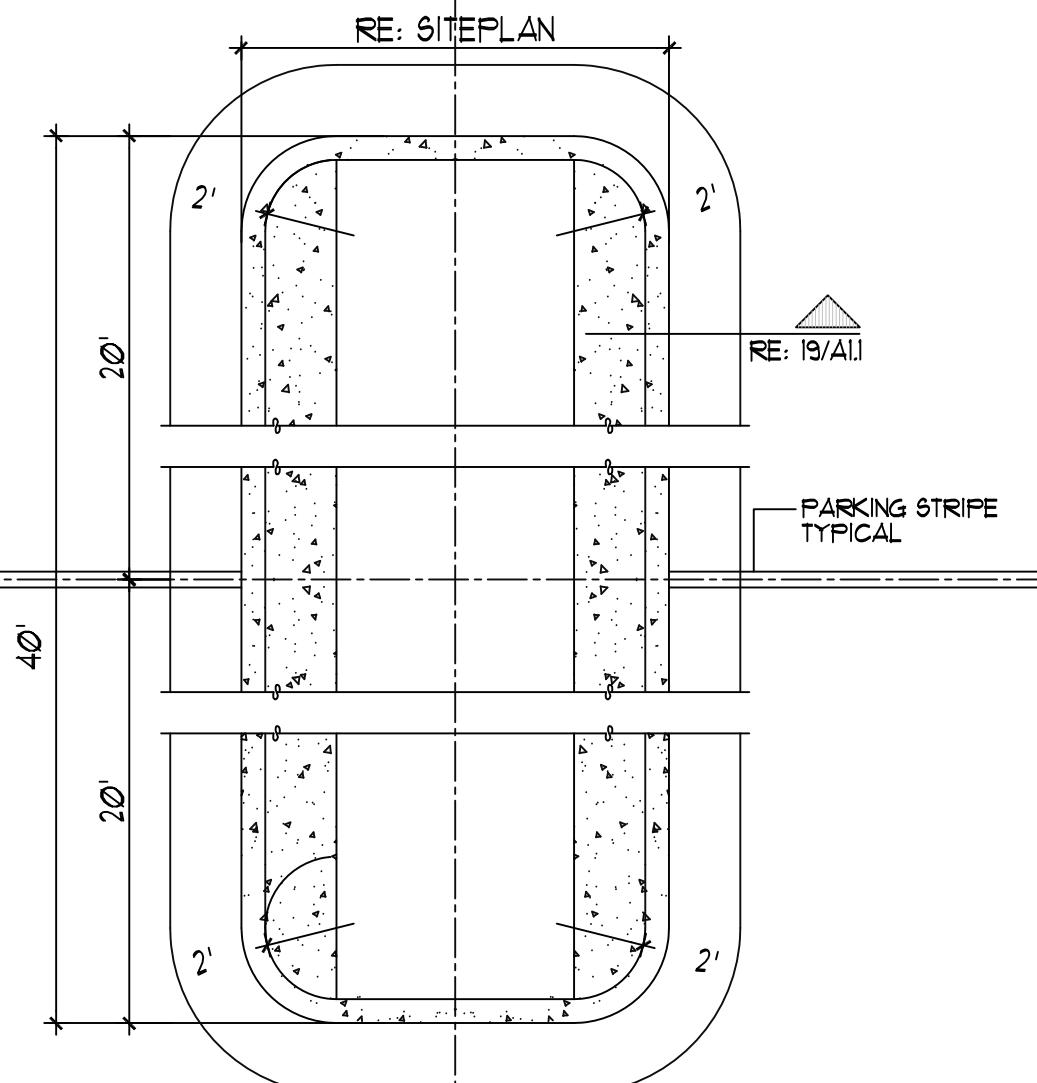
PROJECT TITLE	HOTEL SITE PLAN	JOB NO.	DRAWN BY
PROJECT MANAGER	2100 LOUISIANA	STEPHEN DUNBAR, AIA	SHEET NUMBER
DATE	2/16/21	SCALE	sheet
Re: PLAN		of	All



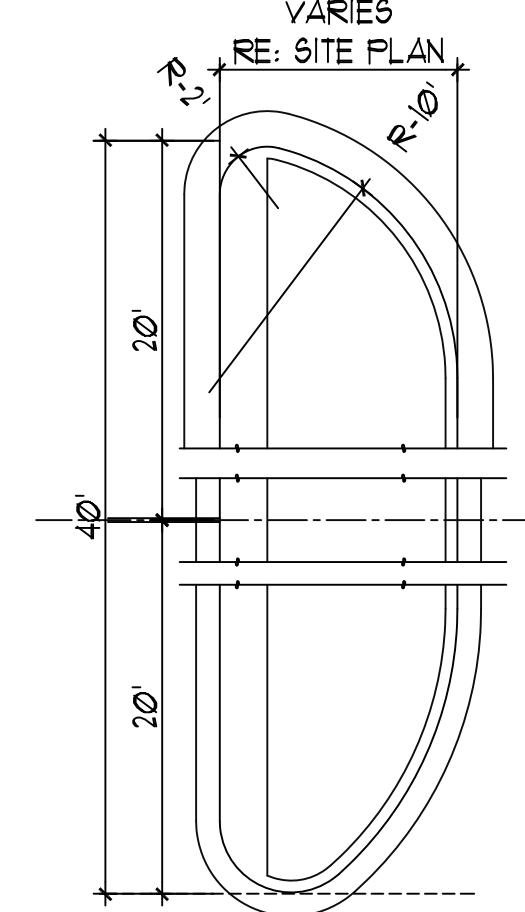
**ISLAND CURB DETAIL**  
N.T.S.



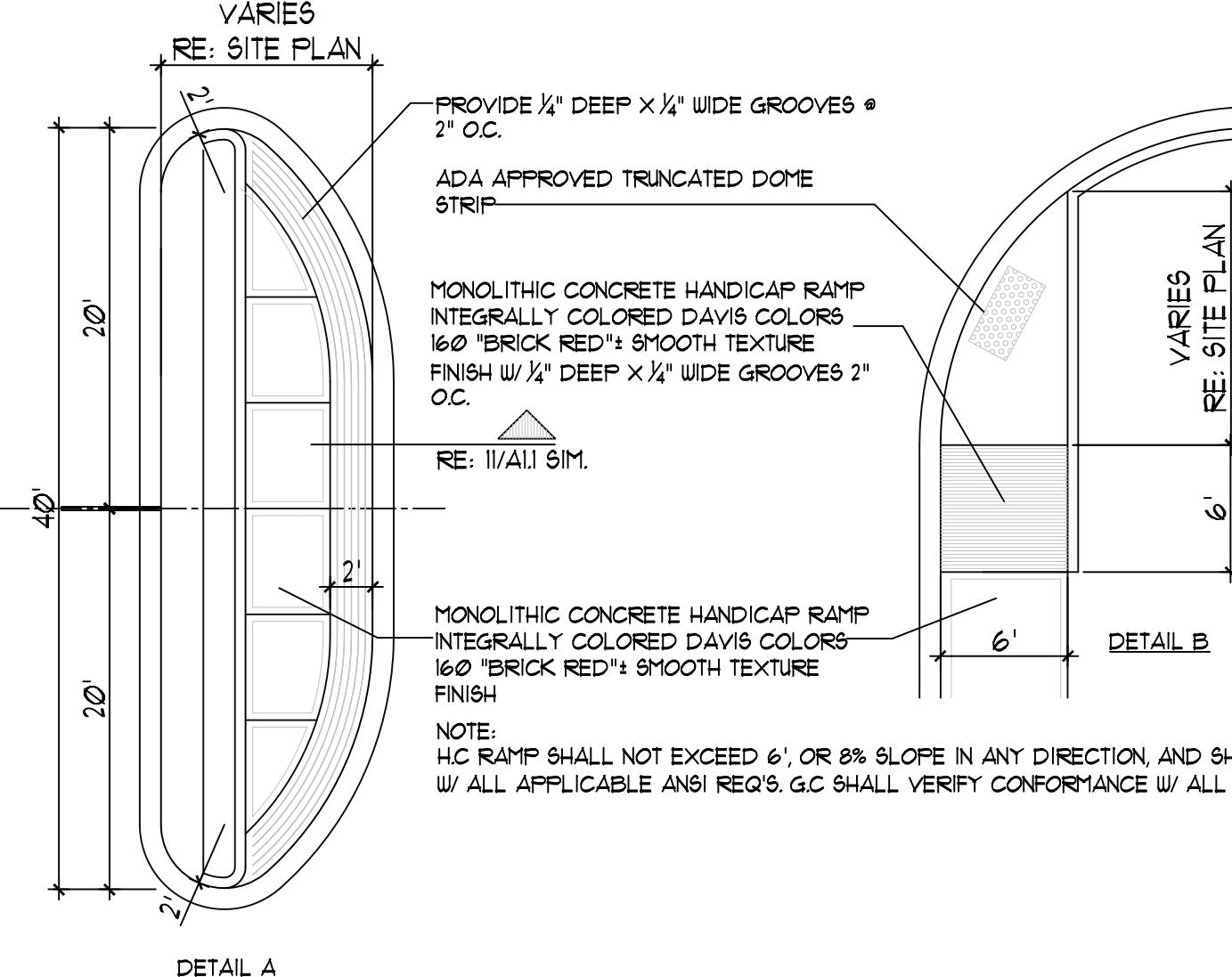
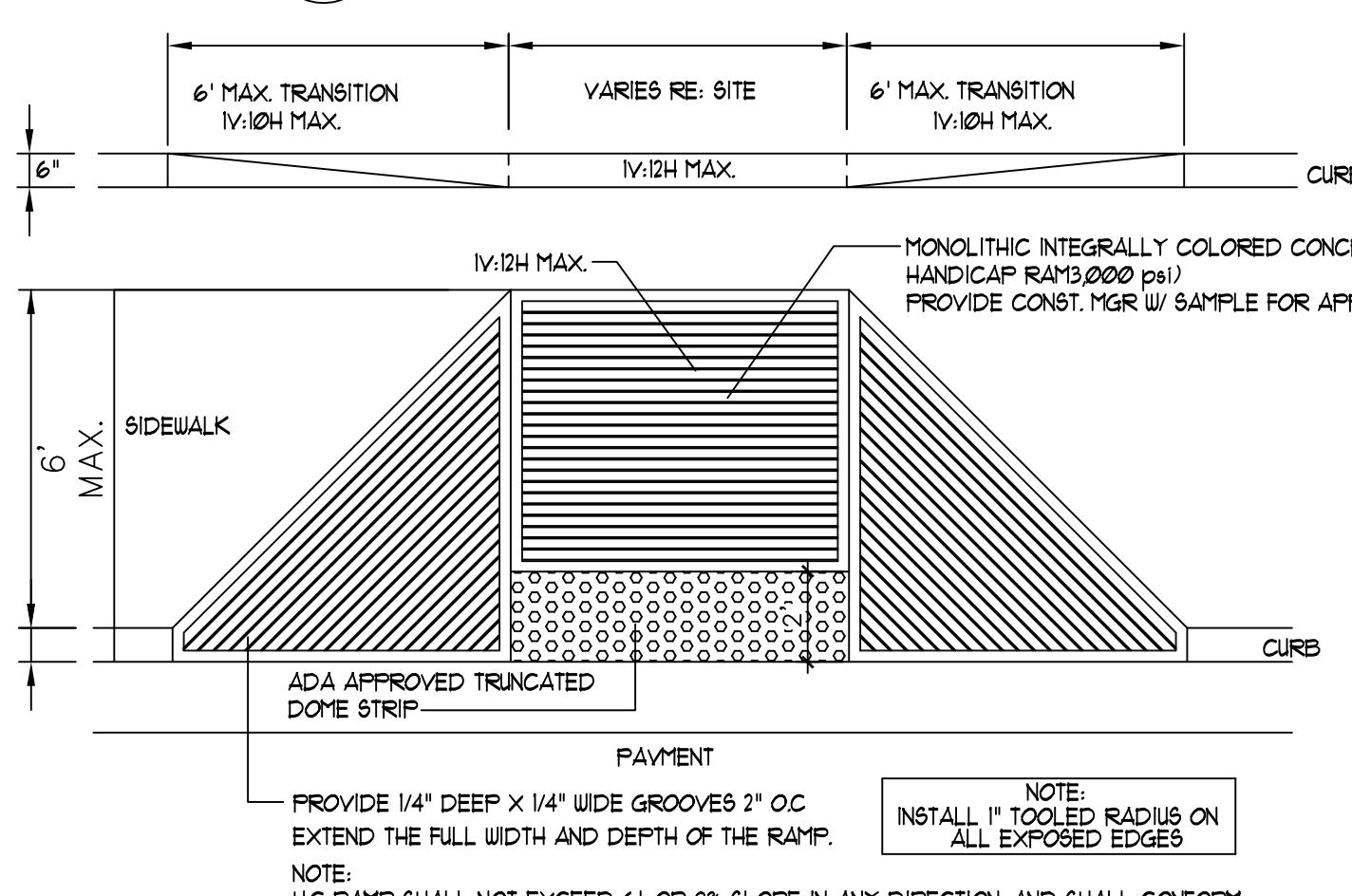
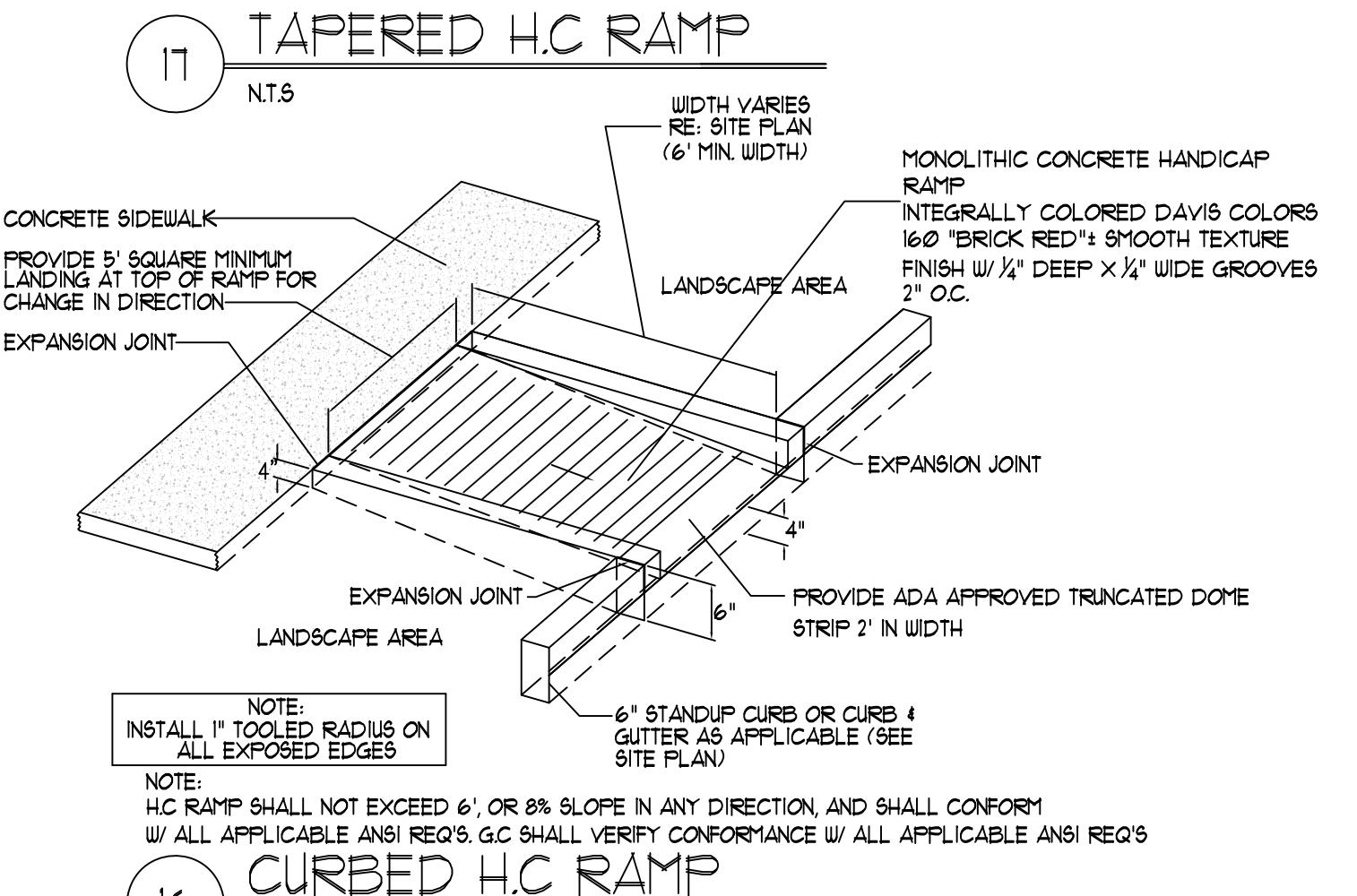
**TYPICAL CURB DETAIL**  
N.T.S.



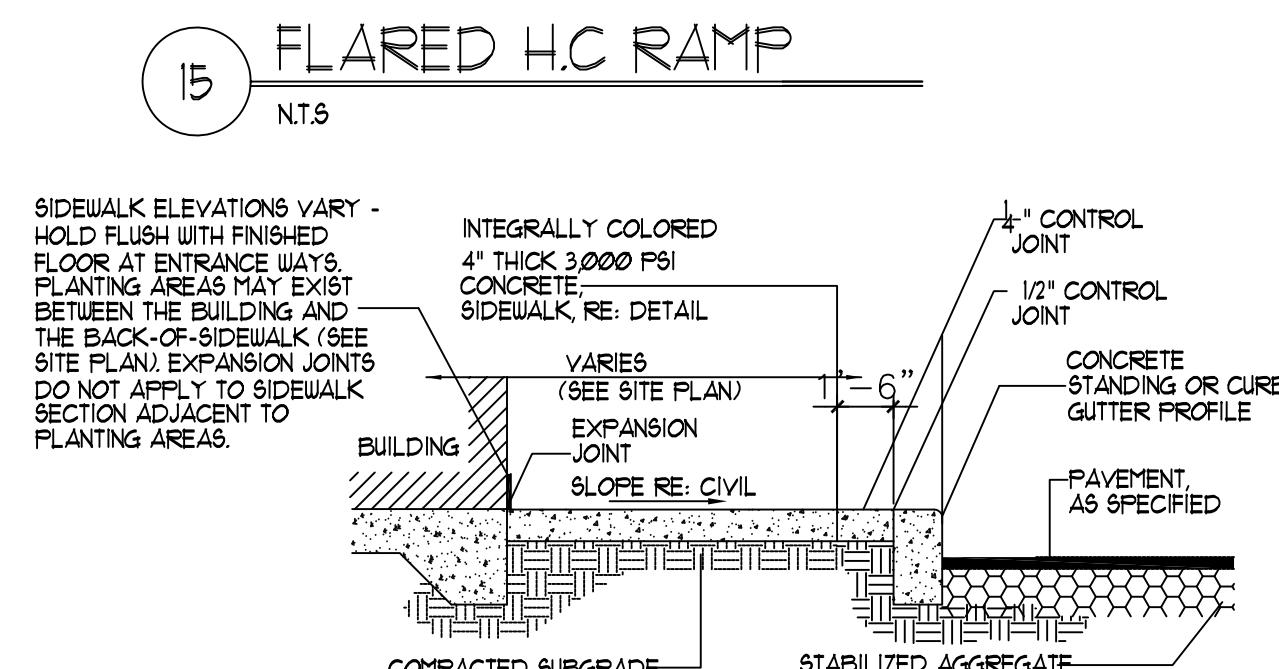
**ISLAND DETAIL**  
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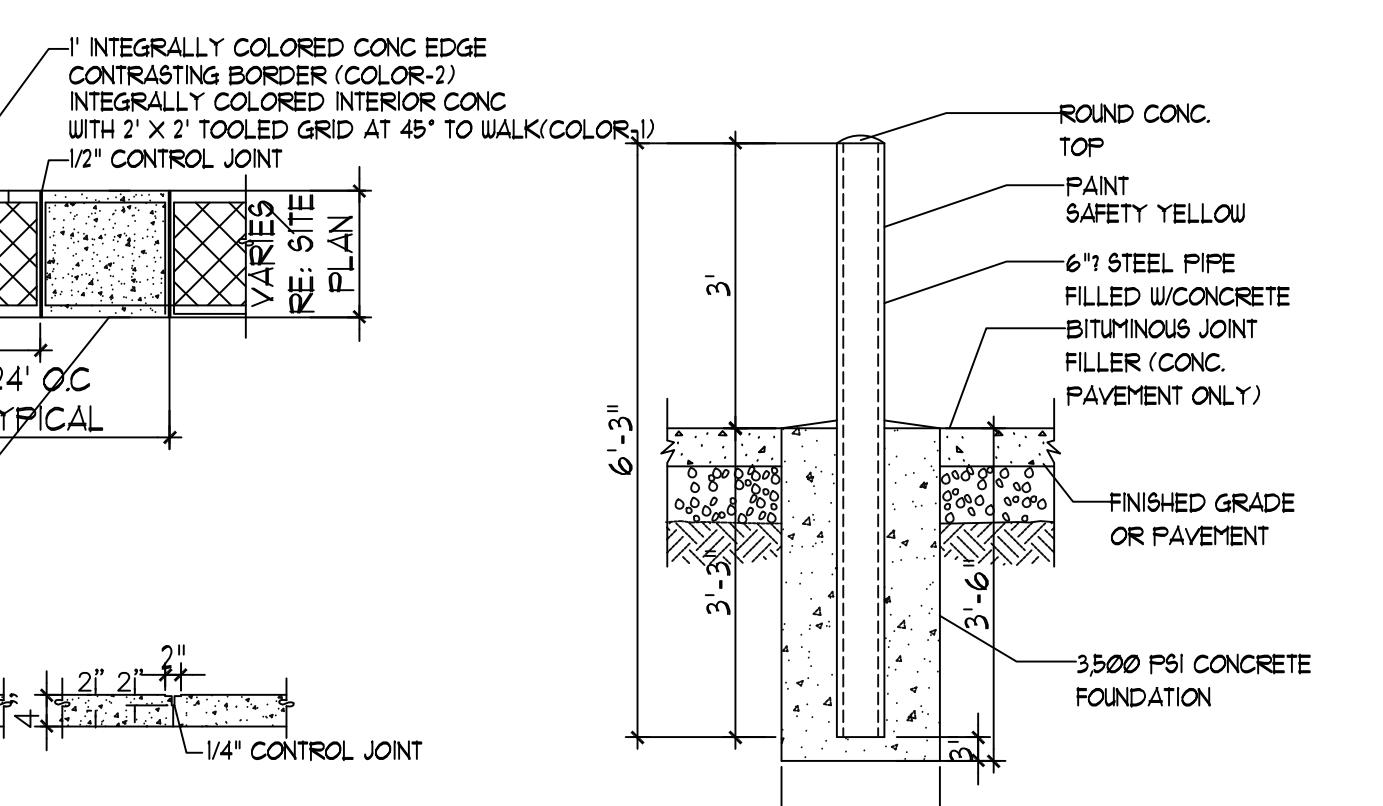
**END ISLAND DETAIL**  
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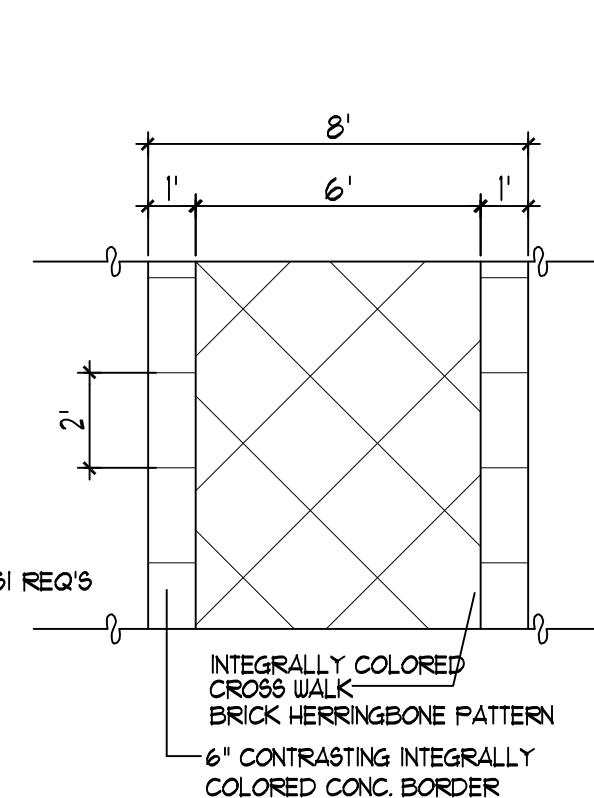
**TYP. END ISLAND W/ WALK**  
N.T.S.



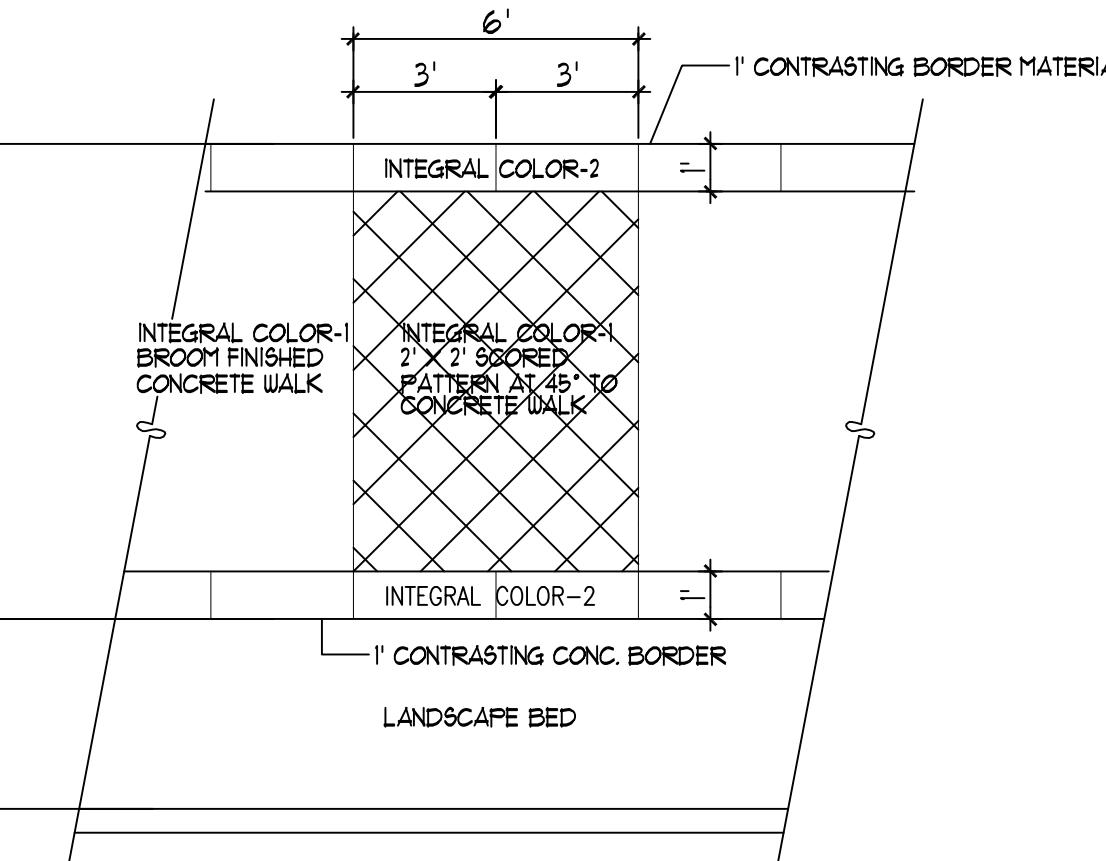
**SIDEWALK W/ TURNDOWN CURB SECTION**  
N.T.S.



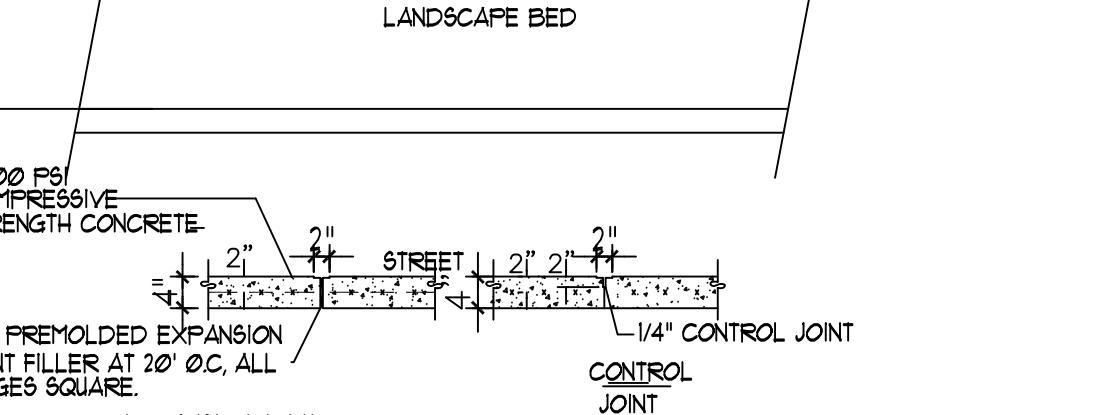
**BOLLARD DETAIL**  
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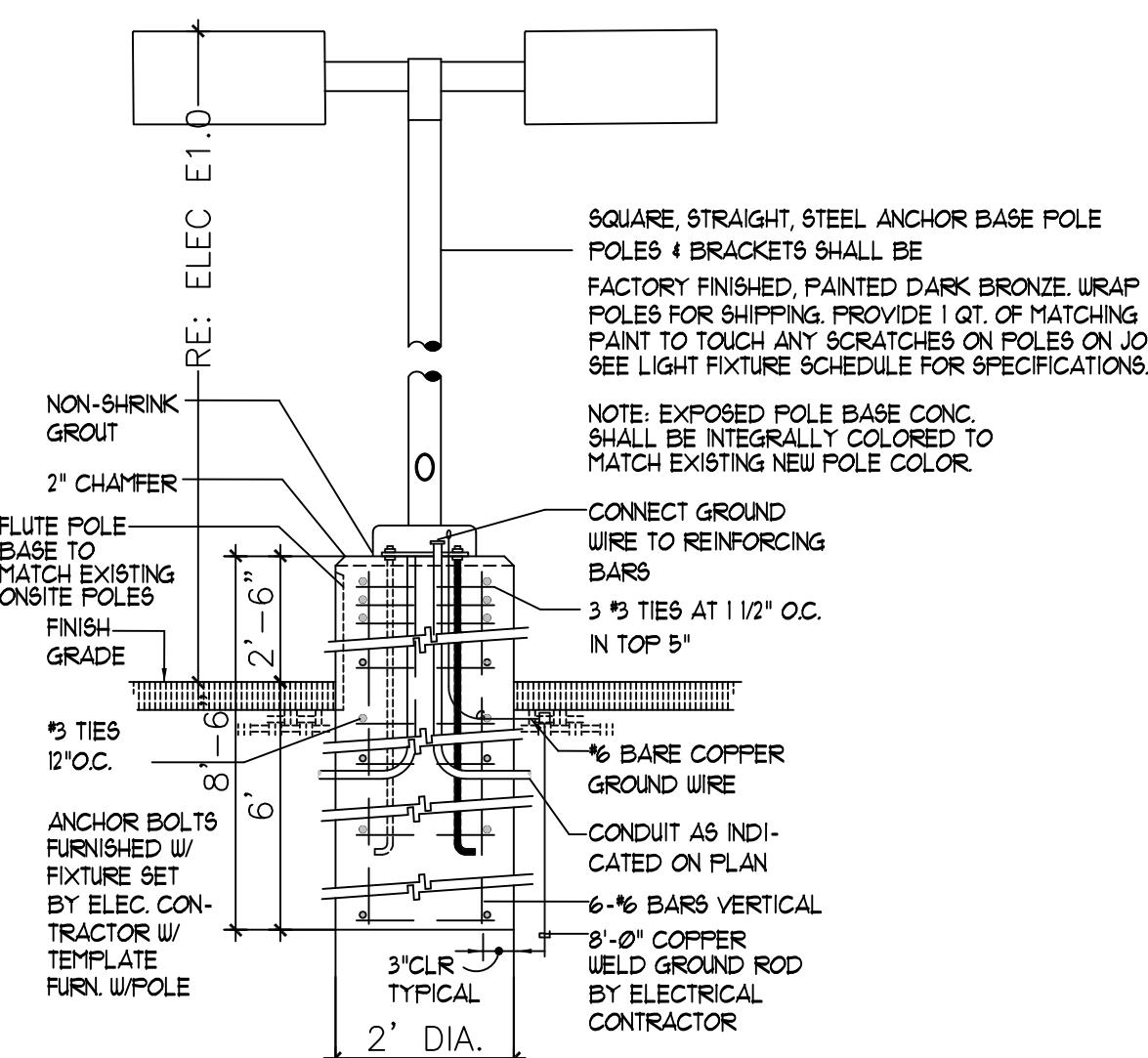
**CONC. CROSSWALK**  
N.T.S.



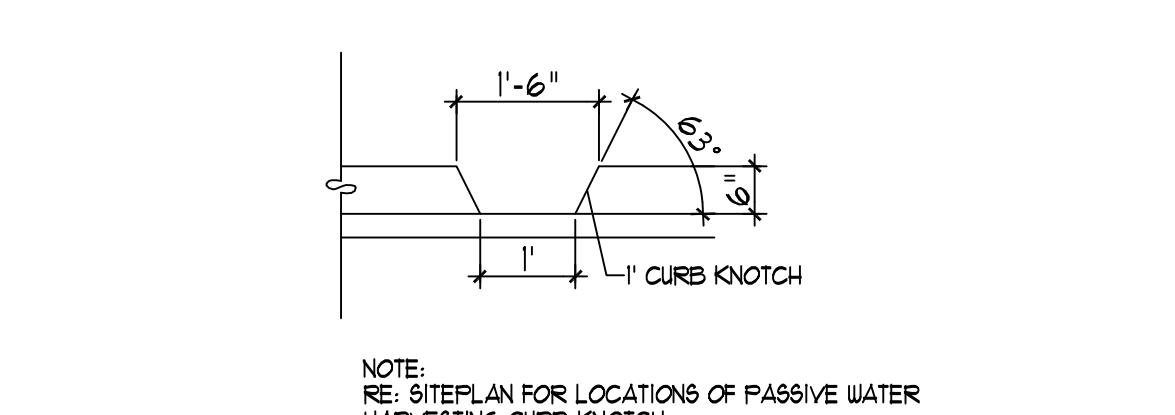
**PED CONC. CROSSWALK**  
N.T.S.



**TYPICAL STREET SIDEWALK**  
N.T.S.

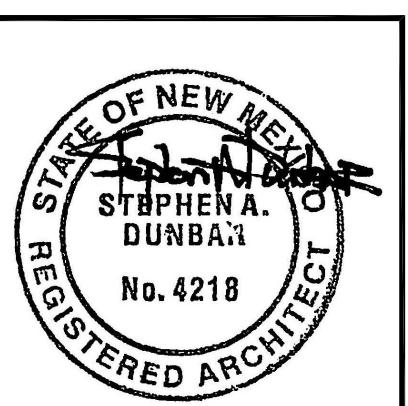


**LIGHT POLE DETAIL**  
N.T.S.

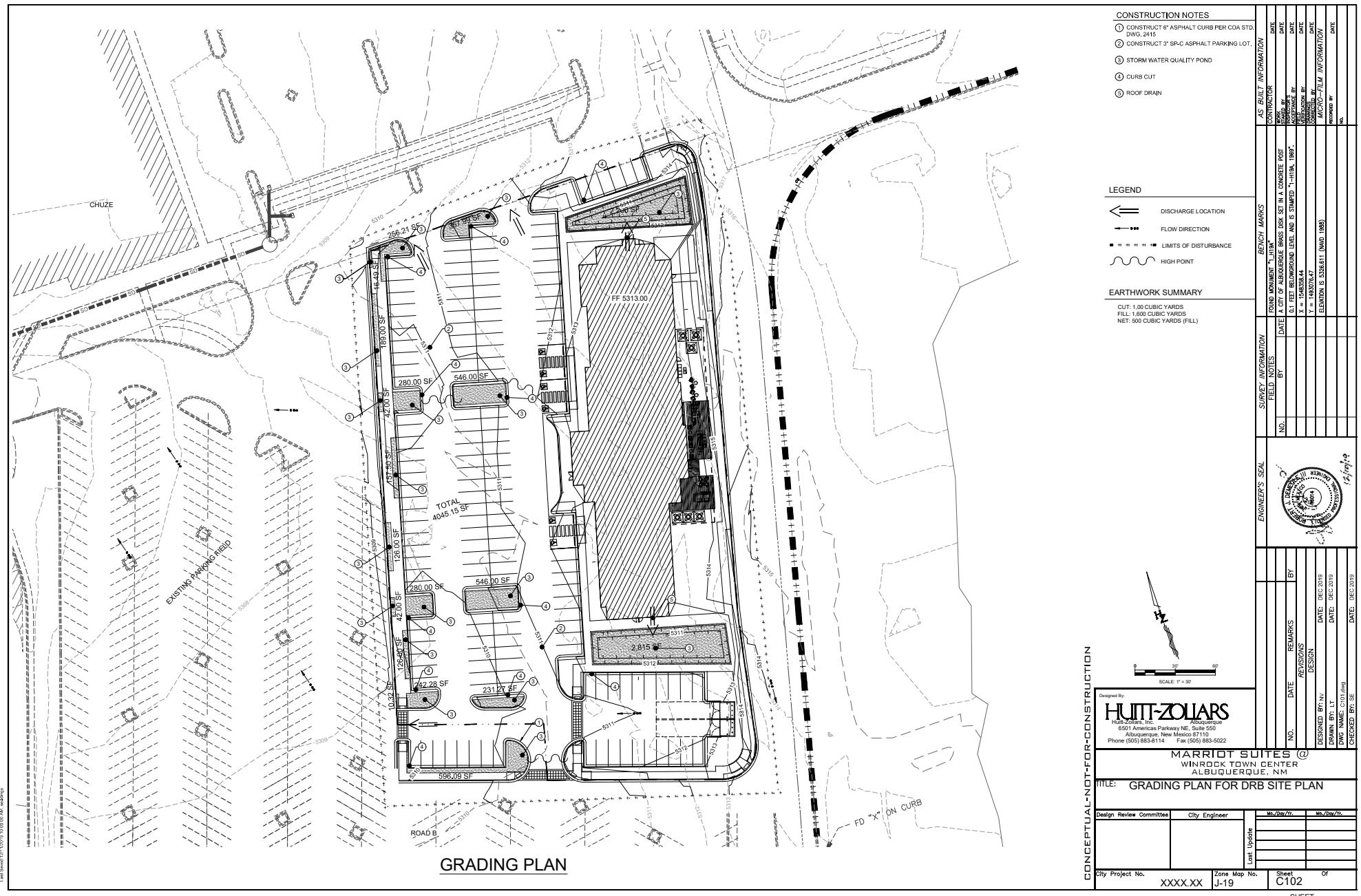


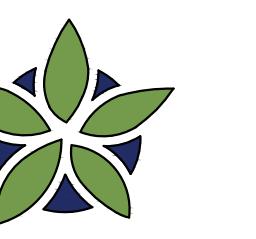
**CURB NOTCH**  
N.T.S.

REVISION  
REV DATE BY

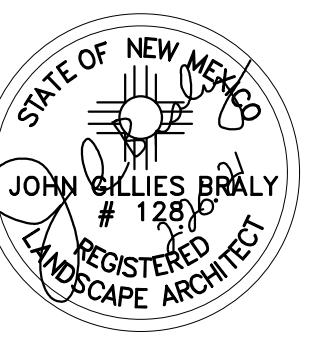


PROJECT TITLE	HOTEL SITE PLAN	JOB NO.	DRAWN BY
PROJECT MANAGER	2100 LOUISIANA	STEPHEN DUNBAR, AIA	SHEET NUMBER
DATE	2/16/21	SCALE	sheet
Re: PLAN		of	All





**YELLOWSTONE**  
LANDSCAPE  
www.yellowstonelandscape.com  
P O Box 10597  
Albuquerque, NM 87184  
505.898.9615  
design@yellowstonelandscape.com



REFERENCE NOTES SCHEDULE 02.26.2021  
2021-02-26

SYMBOL	DESCRIPTION	QTY
●	LARGE BOULDER	29
▨	AMARETTO 3/8 - 1 1/4" GRAVEL 3" DEPTH OVER FILTER FABRIC	19,756 SF
▨	2 1/4" BLUE SAIS COBBLE 4" DEPTH	2,361 SF

CLEAR SIGHT TRIANGLE  
SEE NOTES

PLANT SCHEDULE PLANT SCHEDULE 1/15/2021

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	WATER	ALLOWANCE	2021-01-14 13:47 H X S
●	PC	18	PISTACIA CHINENSIS	CHINESE PISTACHE	2" B&B	MEDIUM	60	60' X 60'
●	DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	WATER	ALLOWANCE
●	FOR NEO	10	FORESTIERA NEOMEXICANA	NEW MEXICAN PRIVET	24" BOX	MEDIUM	40	15' X 15'
●	LAG IND	10	LAGERSTROEMIA INDICA	CRAPÉ MYRTLE	20 GAL	HIGH	35	15' X 15'
●	QUE MUE	20	QUERCUS MUEHLENBERGII	CHINKAPIN OAK	2" B&B	MEDIUM	60	40' X 40'
●	ULM EM2	20	ULMUS PROPINQUA 'EMERALD SUNSHINE'	ELM	2" B&B	MEDIUM	50	35' X 25'
●	VIT CHA	3	VITEX AGNUS-CASTUS	CHASTE TREE	24" BOX	MEDIUM	50	20' X 20'
●	PB	3	PICEA PUNGENS 'BABY BLUE EYES'	BABY BLUE EYES SPRUCE	6'-8" B&B	MEDIUM	60	50' X 20'
●	PIN LEU	6	PINUS LEUCODERMIS	BOSNIAN PINE	6'-8" B&B	MEDIUM	60	20' X 10'
●	FRUIT TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	WATER	ALLOWANCE
●	PRU MOO	1	PRUNUS ARMIENIACA 'MOORPARK'	MOORPARK APRICOT	1 1/2" B&B	MEDIUM+	55	15' X 15'
●	PRU LAP	2	PRUNUS AVIUM 'LAPINS'	LAPINS CHERRY	1 1/2" B&B	MEDIUM+	55	20' X 20'
●	PRU EAR	3	PRUNUS PERSICA 'EARLY ELBERTA'	EARLY ELBERTA PEACH	1 1/2" B&B	MEDIUM+	50	15' X 15'
●	PC2	27	PUNICA GRANATUM 'CALIFORNIA SUNSET'	CALIFORNIA SUNSET POMEGRANATE	15 GAL	HIGH	40	10' X 8'
●	DESERT ACCENTS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	WATER	ALLOWANCE
●	YUC PEN	20	YUCCA PENDULA	SOFT LEAF YUCCA	5 GAL	RW	35	5' X 4'
●	GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	WATER	ALLOWANCE
●	CAL KAR	87	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL	MEDIUM	20	30' X 2'
●	MIS GRA	81	MISCANthus SINENSIS 'GRACILLIMUS'	MAIDEN GRASS	1 GAL	MEDIUM+	20	5' X 5'
●	MN	82	MUhlenbergia RIGIDA 'NASHVILLE'	PURPLE MUHLY	1 GAL	LOW+	20	2' X 3'
●	DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	WATER	ALLOWANCE
●	BER ATR	18	BERBERIS THUNBERGII 'ATROPURPUREA'	RED LEAF JAPANESE BARBERRY	5 GAL	MEDIUM	40	4' X 4'
●	LAV ANG	41	LAVANDULA ANGUSTIFOLIA	ENGLISH LAVENDER	5 GAL	MEDIUM	25	3' X 3'
●	RHU GRO	44	RHUS AROMATICA 'GRO-Low'	GRO-Low FRAGRANT SUMAC	5 GAL	LOW+	40	4' X 4'
●	ROS RAD	30	ROSA X 'KNOCKOUT' TM	ROSE	5 GAL	MEDIUM	30	6' X 5'
●	ZAU GAR	10	ZAUSCHNERIA GARRETTII 'ORANGE CARPET'	HUMMINGBIRD TRUMPET	1 GAL	LOW+	25	3' X 4'
●	EVERGREEN SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	WATER	ALLOWANCE
●	ROS ARP	61	ROSMARINUS OFFICINALIS 'ARP'	ARP ROSEMARY	5 GAL	LOW+	40	6' X 4'

LEGAL DESCRIPTION:  
TRACT A-1-A-1-A-1-A WINROCK CENTER ADDN REPLAT OF PARCEL A-1-A-1-A-1-A.  
IDO-ZONE MX-H

GENERAL NOTES:  
1. MAINTENANCE OF THE LANDSCAPE AND IRRIGATION PROVIDED BY THE PROPERTY OWNER.  
2. LANDSCAPE AREAS SHALL BE DEPRESSED TO PROVIDE POSITIVE DRAINAGE FOR SITE RUN OFF. SEE CIVIL DRAWINGS FOR DRAINAGE INFORMATION AND PLACEMENT OF CURB CUTS.  
3. THE LANDSCAPE PLAN IS DESIGNED TO MEET ALL CITY OF ALBUQUERQUE, AND IDO REQUIREMENTS.  
4. PLANT MATERIALS, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ACCEPTABLE IN CLEAR SIGHT TRIANGLE.  
5. THE LANDSCAPE PLAN IS DESIGNED TO COMPLY WITH THE GENERAL IDO LANDSCAPING REGULATIONS(section 14-16-5-6) INCLUDING PROVISION OF A MINIMUM OF 75% LIVE GROUND COVERAGE, MEASURED AT MATURITY, OF ALL REQUIRED LANDSCAPE AREAS, AND A MINIMUM OF 25% REQUIRED VEGETATIVE COVERAGE OF GROUND LEVEL PLANTS.

PLANTING NOTES:  
1. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE WASTE WATER CONSERVATION, LANDSCAPE, IDO, AND WATER WASTE ORDINANCE..  
2. THERE IS NO NEW TURF USED IN THE DESIGN OF THE LANDSCAPE.  
3. THE R.O.W. (WHEN DEDICATED TO THE PUBLIC) SHALL BE MAINTAINED BY THE PROPERTY OWNER. THE PLAN SHALL FOLLOW THE COA DESIGN GUIDELINES FOR STREET TREES UNLESS OBSTRUCTED BY UTILITY EASEMENTS.  
4. ALL LANDSCAPE AREAS SHALL BE COVERED WITH MULCH. USE GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC.  
5. WHERE MULCH IS ADJACENT TO THE CONCRETE, FINISH GRADE OF MULCH SHALL BE APPROXIMATELY 1/2" BELOW THE TOP OF CONCRETE.

IRRIGATION NOTES:  
1. ALL NEW PLANTINGS TO BE WATERED BY AUTO DRIP IRRIGATION SYSTEM.  
2. WATER MANAGEMENT AND THE MAINTENANCE OF THE IRRIGATION SYSTEM IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.  
3. THE IRRIGATION SYSTEM SHALL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION SHALL CONSIST OF A WATER METER, BACKFLOW PREVENTER, AND MASTER VALVE. SEE I103 FOR DETAIL.  
4. USE SIX 2 GPH EMMITTERS PER EACH TREE AND TWO 2 GPH EMMITTERS PER EACH SHRUB/GROUNDCOVER. USE SIX 2 GPH DRIP EMMITTERS PER TREES IN POTS. SEPARATE IRRIGATION ZONES SHALL BE DESIGNED FOR TREES AND SHRUBS/GROUNDCOVERS.  
5. INSTALL THRUST BLOCKS WHEREVER THE MAINLINE BENDS IN NINETY DEGREE ANGLE.  
6. INSTALL SLEEVES TWO SIZES LARGER THAN THE SLEVED PIPE UNDER ALL HARD SURFACES.  
7. THE BACKFLOW SIZE AND LOCATION IS ASSUMED ONLY, BASED ON THE LATEST AVAILABLE UTILITY PLAN. GENERAL CONTRACTOR TO PROVIDE THE IRRIGATION WATER STUB OUT AND ELECTRICITY FOR THE HOTBOX.  
8. IRRIGATION EQUIPMENT IS SHOWN ON A LARGER SCALE FOR CLARITY. THE PIPE ROUTING ON THE PLAN IS SCHEMATIC AND MAY REQUIRE FIELD ADJUSTMENTS TO AVOID INSTALLING PIPE WITHIN THE ROOT ZONE OF PLANTS OR IN CONFLICT WITH UTILITY EASEMENTS.  
9. ALL SLEEVES ARE ASSUMED TO BE PLACED PRIOR Hardscape WITHOUT THE NEED OF BORING.  
10. SURROUNDING EXISTING AND REMAINING IRRIGATION SYSTEMS ARE TO BE INSPECTED PRIOR TO DEMOLITION IN ORDER TO DETERMINE THE MEANS NECESSARY TO PROTECT ANY SURROUNDING AND REMAINING PLANT MATERIAL AND SOD.

SITE DATA

GROSS LOT AREA (2.84 ACRES)

LESS BUILDING(S)

NET LOT AREA

REQUIRED LANDSCAPE

15% OF NET LOT AREA

PROPOSED LANDSCAPE

21.117 SF

PROPOSED OFFSITE LANDSCAPE

0 SF

TOTAL PROPOSED LANDSCAPE

22.117 SF

PERCENT OF NET LOT AREA

20.9 %

REQUIRED STREET TREES

PROVIDED/EXISTING AT 25' O.C. SPACING ALONG STREET

REQUIRED PARKING LOT TREES

PROVIDED AT 1 PER 10 SPACES (109 SPACES/10)

TOTAL REQUIRED TREES: 45

TOTAL PROVIDED TREES: 57

REQUIRED LANDSCAPE COVERAGE

75% LIVE VEGETATIVE MATERIAL

(21.117 SF PROPOSED LANDSCAPE X 75%)

15,838 SF MIN.

PROVIDED VEGETATIVE COVERAGE

18,110 SF

PERCENT VEGETATIVE COVERAGE

OF LANDSCAPE AREAS

75.6%

25% VEGETATIVE COVERAGE AT GROUND LEVEL

(15,838 SF MIN. LANDSCAPE X 25%)

4,495 SF MIN.

PROVIDED VEGETATIVE COVERAGE

AT GROUND LEVEL

11,995 SF

PERCENT VEGETATIVE COVERAGE

AT GROUND LEVEL

66.2%

LEADER LEFT UNPRUNED

LIGHT PRUNING: RUBBING, CROSSING OR DAMAGED BRANCHES ARE REMOVED

TRUNK PROTECTED BY LOOSE TREE GUARD, REMOVED AFTER ONE YEAR

2"-3" DEPTH MULCH APPLIED WELL AWAY FROM TRUNK (NO BLACK PLASTIC) BELOW GRADE

EXISTING SOIL MIXED WITH ORGANIC MULCH AS BACKFILL

ALL ROPES REMOVED, TOP HALF OF BURLAP AND WIRE BASKET REMOVED, BURLAP SLIT FOR ROOT BALL

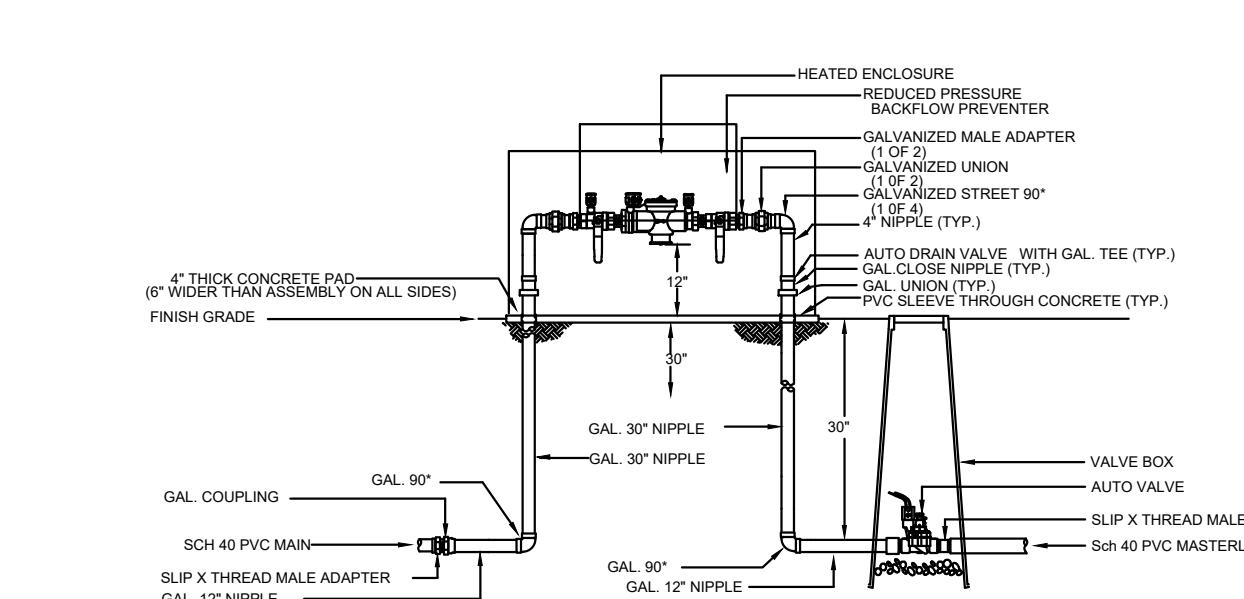
PLANTING HOLE 2-3 TIMES ROOT BALL WIDTH, DEPTH SAME AS ROOT BALL

UNDISTURBED PIT BOTTOM FOR ROOTBALL BASE

CLEAR SIGHT TRIANGLE NOTE:  
LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

TREE PLANTING DETAIL

N.T.S.



RP BACKFLOW/MASTER VALVE DETAIL

N.T.S.

Sheet Title:  
**Landscape Plan**  
Sheet Number:

**LP-01**

**Hotel At Winrock**  
Landscape Plan  
2100 Louisiana Blvd  
Albuquerque, New Mexico

Scale: 1" = 30'  
0 30' 60'

Sheet Title:  
**Landscape Plan**

Sheet Number: