

SITE PLAN

US WEST NEWVECTOR GROUP 1803 LOUISIANA BLVD. NE, ALBUQUERQUE, NM 87110 CELLULAR TELEPHONE INSTALLATION A PORTION OF THE NE 1/4, SECTION 13, T10N, R3E, N.M.P.M. BERNALILLO COUNTY, NEW MEXICO

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DATE	DATE
CHAIRMAN ALBUQUERQUE BERNALILLO COUNTY DEVELOPMENT REVIEW BOARD	
CITY ENGINEER	
A.M.A.F.C.A.	
PARKS AND GENERAL SERVICES	
TRAFFIC ENGINEER	
UTILITIES DEVELOPMENT DIVISION CITY OF ALBUQUERQUE PUBLIC WORKS	
CITY PLANNER	

LEGAL DESCRIPTION

LEGAL DESCRIPTION OF LOTS 16, 17, 18, AND A PORTION OF LOT 1
A PARCEL OF LAND COMPRISING LOTS NUMBERED SIXTEEN (16), SEVENTEEN (17), EIGHTEEN (18), AND THE EASTERLY FOUR (4) FEET OF LOT ONE (1), OF BLOCK "Q" OF THE BEVERLY-WOOD ADDITION, SITUATE WITHIN SECTION 13, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING, FOR A TIE, FROM AN ACS BRASS TABLET STAMPED "2-J18 1981"; THENCE N 89°22'07" W, A DISTANCE OF 2445.15 FEET TO THE SOUTHWEST CORNER OF LOT 18, BLOCK "Q" OF THE BEVERLY-WOOD ADDITION BEING THE TRUE POINT OF BEGINNING AND THE SOUTHWEST CORNER OF PARCEL HEREIN DESCRIBED WHICH LIES ON THE NORTH RIGHT-OF-WAY LINE OF CONSTITUTION AVENUE, N.E.; THENCE, DEPARTING FROM SAID RIGHT-OF-WAY LINE, N 00°25'17" W, A DISTANCE OF 67.73 FEET TO THE NORTHWEST CORNER OF LOT 18; THENCE N 89°33'43" E, A DISTANCE OF 4.00 FEET TO A PK NAIL BEING THE SOUTHWEST CORNER OF LOT 17, BLOCK "Q" OF SAID ADDITION; THENCE N 00°25'05" W, A DISTANCE OF 60.11 FEET TO THE NORTHWEST CORNER OF LOT 17 AND THE SOUTHWEST CORNER OF LOT 16, BLOCK "Q" OF SAID ADDITION; THENCE N 00°25'05" W, A DISTANCE OF 60.11 FEET TO A #5 REBAR WITH CAP BEING THE NORTHWEST CORNER OF LOT 16; THENCE N 89°36'39" E, A DISTANCE OF 81.96 FEET TO A PK NAIL BEING THE NORTHEAST CORNER OF LOT 16; THENCE S 04°26'56" E, A DISTANCE OF 59.60 FEET TO THE SOUTHWEST CORNER OF LOT 16 AND THE NORTHEAST CORNER OF LOT 17 WHICH LIES ON THE WEST RIGHT-OF-WAY LINE OF LOUISIANA BOULEVARD, N.E.; THENCE, ALONG SAID RIGHT-OF-WAY LINE, S 04°21'41" E, A DISTANCE OF 60.20 FEET TO THE SOUTHWEST CORNER OF LOT 17 AND THE NORTHEAST CORNER OF LOT 18; THENCE, CONTINUING ALONG SAID RIGHT-OF-WAY LINE, S 00°05'20" E, A DISTANCE OF 51.79 FEET TO A #5 REBAR WITH CAP; THENCE DEPARTING FROM SAID RIGHT-OF-WAY LINE, ON A CURVE RIGHT HAVING A RADIUS OF 20.00 FEET, 32.44 FEET OF ARC, A DELTA OF 87°03'49", A CHORD BEARING S 45°47'09" W, A DISTANCE OF 29.00 FEET TO A #5 REBAR WITH CAP WHICH LIES ON THE NORTH RIGHT-OF-WAY LINE OF CONSTITUTION AVENUE, N.E.; THENCE N 87°42'56" W, A DISTANCE OF 73.08 FEET TO THE TRUE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 0.3867 ACRES MORE OR LESS.

DEVELOPER

US WEST NEWVECTOR GROUP, INC.
ATTN: VAN STILSON
4821 EUBANK BLVD, NE
ALBUQUERQUE, NM 87111
(505) 298-6095

UTILITIES

WATER CITY OF ALBUQUERQUE
GAS GAS COMPANY OF NEW MEXICO
TELEPHONE US WEST COMMUNICATIONS
ELECTRIC PUBLIC SERVICE COMPANY OF NEW MEXICO
SEWER CITY OF ALBUQUERQUE
CABLE TV JONES INTERCABLE

LEGEND

—OH-ELEC— EXISTING OVERHEAD ELECTRIC LINES
- - - - - EXISTING PROPERTY LINE
- - - - - EXISTING CONTOUR
▨ EXISTING STRUCTURE

OWNER

WILLIAM R. VALENTINE
6101 CANDELARIA NE
ALBUQUERQUE, NEW MEXICO 87110
(505) 883-0005

SITE/BUILDING DATA

CONSTRUCTION TYPE: TYPE V-N
OCCUPANCY CLASSIFICATION: B-2, OFFICE/EQUIPMENT ROOM
TOTAL BUILDING AREA: 9000 SF
LEASE SPACE AREA: 730 SF
OCCUPANT LOAD: 100 SF/PERSON = 8 PERSONS*
BUILDING HEIGHT: 27'-7"
NUMBER OF STORIES: TWO
ZONING: SU-2 R-2 O-1
ZONE ATLAS PAGE: J-18-Z
LOAD: 125 PSF FOR RAISED PORTION OF SECOND FLOOR

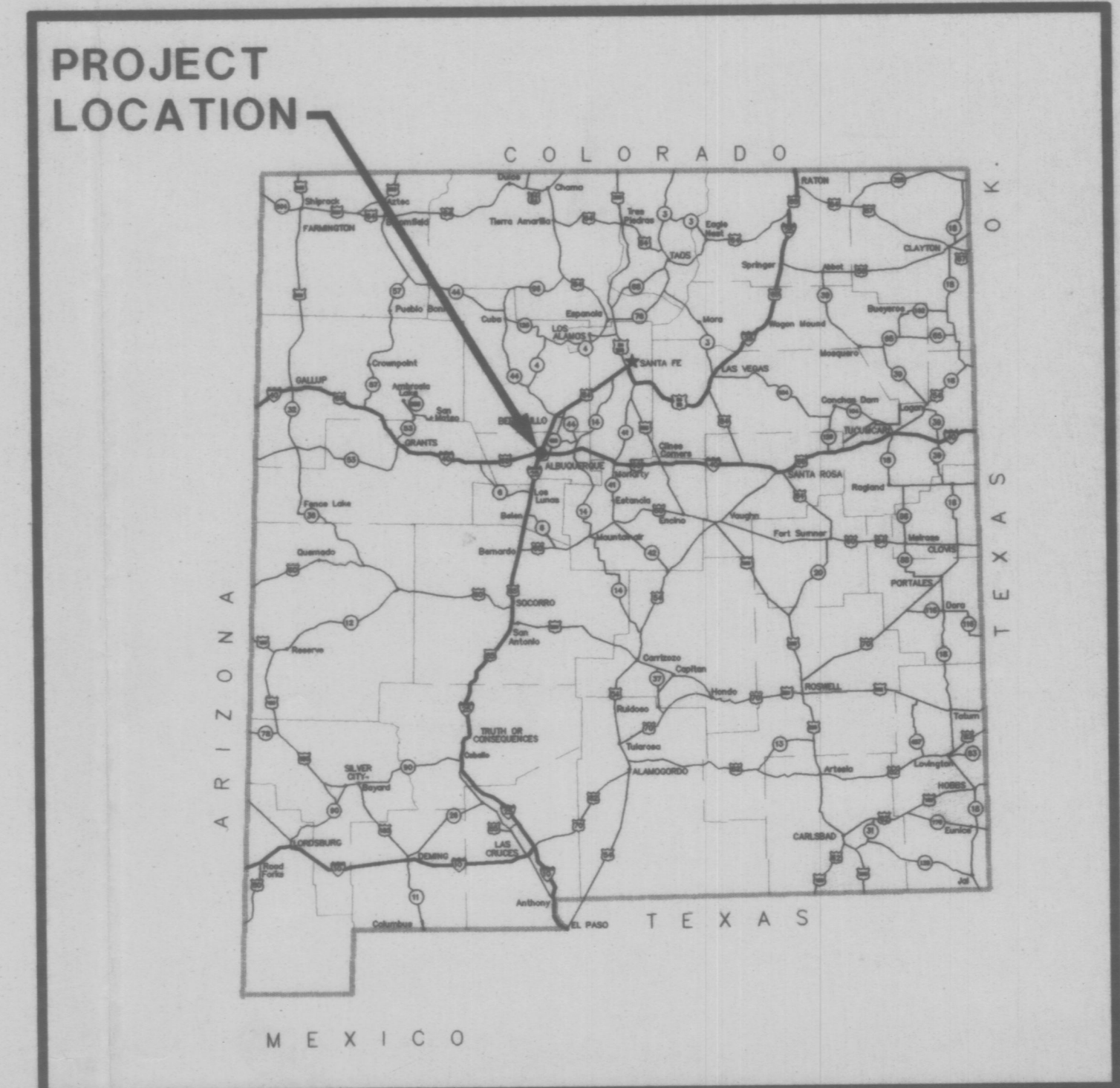
*THIS FACILITY WILL NOT REQUIRE A STAFF, AND IS NOT EXPECTED TO CONTAIN MORE THAN 2 EMPLOYEES AT ANY ONE TIME.

PROPERTY TAX CODE NUMBER

1-018-058-518-277-10909

NOTES

- SITE PLAN BASED ON SITE SURVEY MAP DATED 25 JULY 1994 BY COMMUNITY SCIENCES CORPORATION.
- BEARING BASE FOR THIS SURVEY IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM.
- DISTANCES ARE GROUND DISTANCES. GROUND TO GRID FACTOR 0.99965704
- CONTOUR INTERVAL IS ONE (1) FOOT.
- COORDINATES SHOWN ARE NEW MEXICO STATE PLANE COORDINATE VALUES, NAD-27, CENTRAL ZONE.
- BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE OF A) THE REPLAT OF PORTIONS OF THE "BEVERLY-WOOD ADDITION" FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 6, 1951, IN PLAT BOOK D, FOLIOS 123 AND 124. B) N.M.S.H.D. R/W PROJECT 1-040-3(1) (163). AND C) THE SUMMARY PLAT OF LOT 18, BLOCK Q OF THE BEVERLY WOOD ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JANUARY 20, 1984, IN PLAT BOOK B20, FOLIO 114.
- CONTRACTOR RESPONSIBLE FOR CONTACTING UTILITY LOCATING SERVICES FOR UNDERGROUND UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
- RIGHTS OF INGRESS AND EGRESS GRANTED THROUGH THE SURVEY DATED 25 JUL 94 BY COMMUNITY SCIENCES CORPORATION (SEE NOTE 1. ABOVE) VIA THE EXISTING PARKING LOT.
- NO INCREASE IN EXISTING FLOWS RESULTS FROM THE SITE WORK HEREIN DESCRIBED.
- THE BUILDING AND THE SITE WORK AREA HEREIN DESCRIBED ARE NOT LOCATED WITHIN THE F.E.M.A. F.I.R.M. 100-YEAR FLOODPLAIN.



LOCATION MAP

NOT TO SCALE



VICINITY MAP

NOT TO SCALE

SEP 23 1994

20/94008.18/CD1:USWTLPO2.DWG/9-14-94/FGL

LEEDSHILL - HERKENHOFF, INC.
COPPER SQUARE, 500 COPPER AVENUE, N.W.
P.O. BOX 1217
ALBUQUERQUE, NEW MEXICO 87103
(505) 247-0294

1221 LUISA STREET
P.O. BOX 4295
SANTA FE, NEW MEXICO 87502
(505) 982-1036

5820 OBERLIN DRIVE
SUITE 101
SAN DIEGO, CALIFORNIA 92121
(619) 455-0029

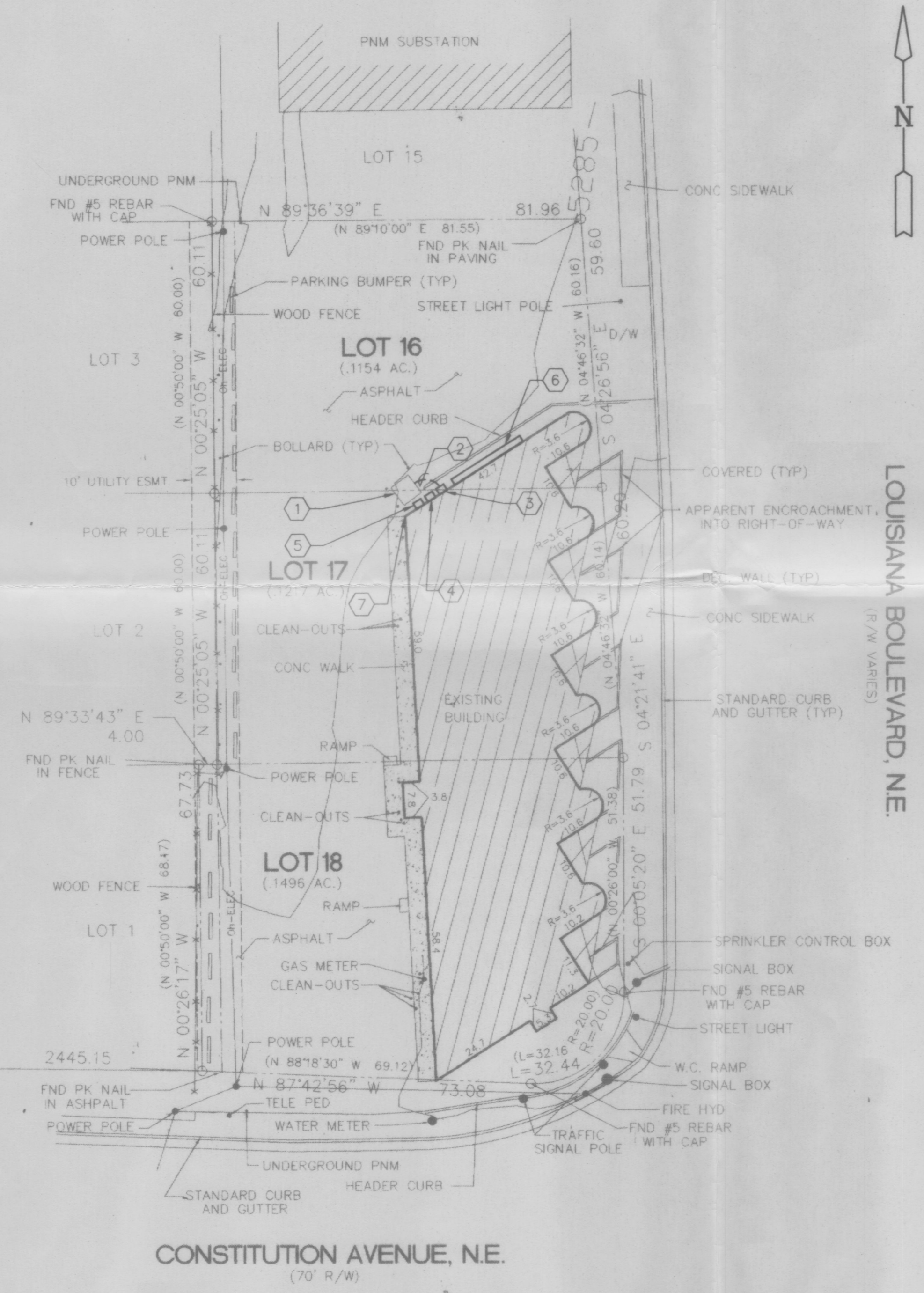


GENERAL NOTES

- A. FOR LEGEND AND GENERAL NOTES, SEE SHEET G-1.
- B. FOR DETAILS OF ELECTRICAL SERVICE ENTRANCE AND DISTRIBUTION, SEE SHEET E-2.
- C. PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) REPRESENTATIVE FOR THIS PROJECT:
BOB SANCHEZ
(505) 249-3231
- D. US WEST COMMUNICATIONS REPRESENTATIVE FOR THIS PROJECT:
LARRY GURULE
(505) 245-8967
- E. COORDINATE TELEPHONE SERVICE WORK WITH US WEST COMMUNICATIONS.
- F. COORDINATE ELECTRICAL SERVICE WORK WITH PNM.
- G. EXISTING UNDERGROUND UTILITIES NOT SHOWN.
- H. FOR ANTENNA LOCATIONS AND CONFIGURATIONS, SEE SHEET AM-2
- J. CONTRACTOR RESPONSIBLE FOR CONTACTING UTILITY LOCATING SERVICES FOR THE LOCATIONS OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- K. REPAIR OR REPLACE ANY AREAS DAMAGED DURING CONSTRUCTION.

KEYED NOTES

- 1. EXISTING PNM PAD MOUNT TRANSFORMER.
- 2. NEW UNDERGROUND SERVICE FEEDER FOR US WEST- SEE POWER RISER DIAGRAM ON SHEET E2. TRENCH ACCORDING TO PNM TRENCHING REQUIREMENTS. REPLACE IN KIND ANY ASPHALTIC CONCRETE OR OTHER MATERIALS REMOVED FOR TRENCHING OPERATIONS.
- 3. NEW METER. MOUNT ON WALL AT 5'-6" TO TOP ABOVE GRADE.
- 4. NEW SERVICE DISCONNECT. MOUNT TO WALL AT 5'-6" TO TOP ABOVE GRADE.
- 5. NEW GENERATOR RECEPTACLE. MOUNT ON WALL AT 2'-6" TO TOP ABOVE GRADE.
- 6. EXISTING SERVICE WIRING GUTTER, METERS, AND SERVICE BREAKERS. DISCONNECT LOAD SIDE CONDUCTORS FROM SERVICE BREAKERS FEEDING EXISTING PANEL IN US WEST SUITE. ARRANGE WITH PNM TO HAVE METER PULLED AND BLANKED OFF.
- 7. NORTHWEST CORNER OF BUILDING ROOF
NEW MEXICO STATE PLANE COORDINATE SYSTEM NAD-27 (CENTRAL ZONE)
X=404725.40
Y=1489943.85
ROOF ELEVATION=5307.60
LAT.= 35°05'41.69883"
LONG.=106°34'06.6106"
DELTA ALPHA= -00°10'59.23"



N 89°22'07" W
TIE FROM "2-J18" TO S.W. CORNER
OF LOT 18, BLOCK Q
ACS BRASS TABLET
STAMPED "2-J18 1981"
NEW MEXICO STATE PLANE COORDINATE SYSTEM
NAD-27 (CENTRAL ZONE)
X=402236.69
Y=1489851.27

CONSTITUTION AVENUE, N.E.
(70' R/W)

SITE PLAN
SCALE: 1" = 20'-0"

20/94008.18/CD1:USWPGC12.DWG/9-14-94/FGL

REVISION	DATE	DESCRIPTION

1803 LOUISIANA NE

USWEST POQUITO SITE

SITE PLAN

QA RELEASE
DK
DESIGN BY
JK/FGL
CHECKED BY
GN/JK
DRAWN BY
CR/FGL

LEEDSHILL - HERKENHOFF, INC.
ENGINEERS ARCHITECTS
ALBUQUERQUE SANTA FE SAN DIEGO
LH PROJECT MANAGER D. KLEIN SHEET C1 OF 1 3
DATE SEP 94
SEQUENCE NO. 3

