

February 9, 2016

Fred Arfman, P.E.  
**Isaacson & Arfman, P.A.**  
128 Monroe Street N.E.  
Albuquerque, NM 87108

Richard J. Berry, Mayor

**RE: Uptown Shops  
Conceptual Grading & Drainage Plan  
Engineer's Stamp Date: none (File: J19D071A)**

Dear Mr. Arfman:

Based upon the information provided in your submittal received 1-5-16, the above referenced plan is approved for action by the DRB on the Site Plan for Building Permit.

Prior to Building Permit approval, the following comments must be addressed:

1. The private storm drain to be removed did not show on the plan.
2. Provide First Flush volume calculations.
3. It appears that the patio wall is a retaining wall and should be called out as such.
4. Provide contours and Bottom of Pond elevations for the First Flush ponds on the north side of the proposed building. There does not appear to be sufficient space for much ponding without compromising the subgrade of the sidewalk, or the retaining wall/patio wall footing. Perhaps the east patio can discharge to the pond on the SE corner of the building, with just the west patio discharging to the ponds north of the building.
5. How will the ponds on North side discharge? Via Sidewalk culverts or PVC pipes under SW to Back of Curb? In either case, a "Mini Work Order" will be required. Contact the City Engineer to arrange. The entrance will also need to be on the Mini Work Order.
6. Since this project will not be going thru DRC, show the curb return quarter point elevations.
7. Call out a Valley Gutter at the entrance drivepad.
8. The roof of the western portion of the proposed building should discharge at the SW corner so that as much runoff as possible can be collected by the First Flush pond on west side of entrance drivepad. Will a sidewalk culvert direct the roof flows to the parking lot?

PO Box 1293

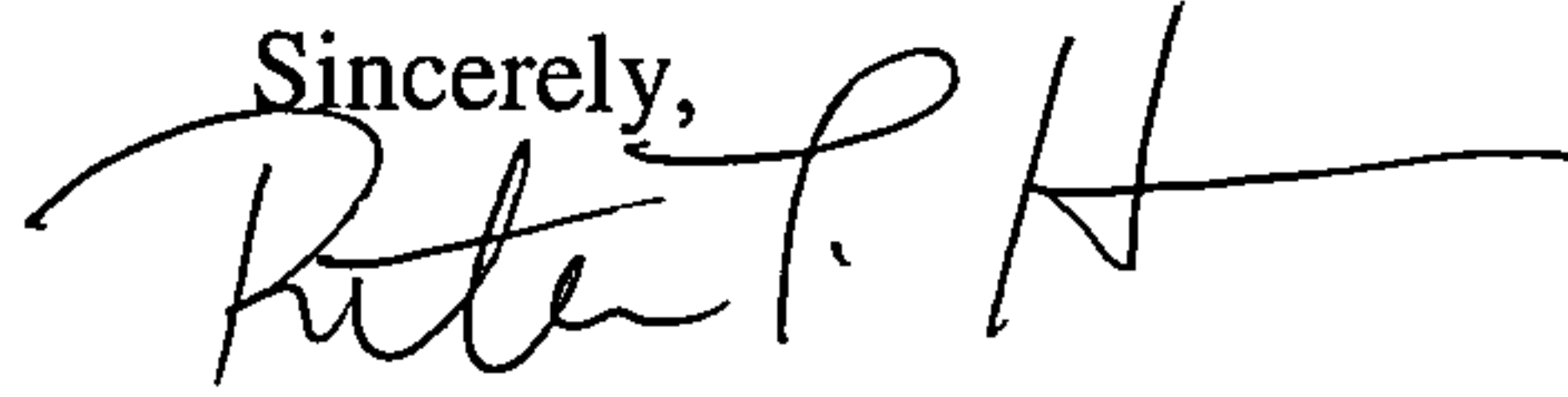
Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

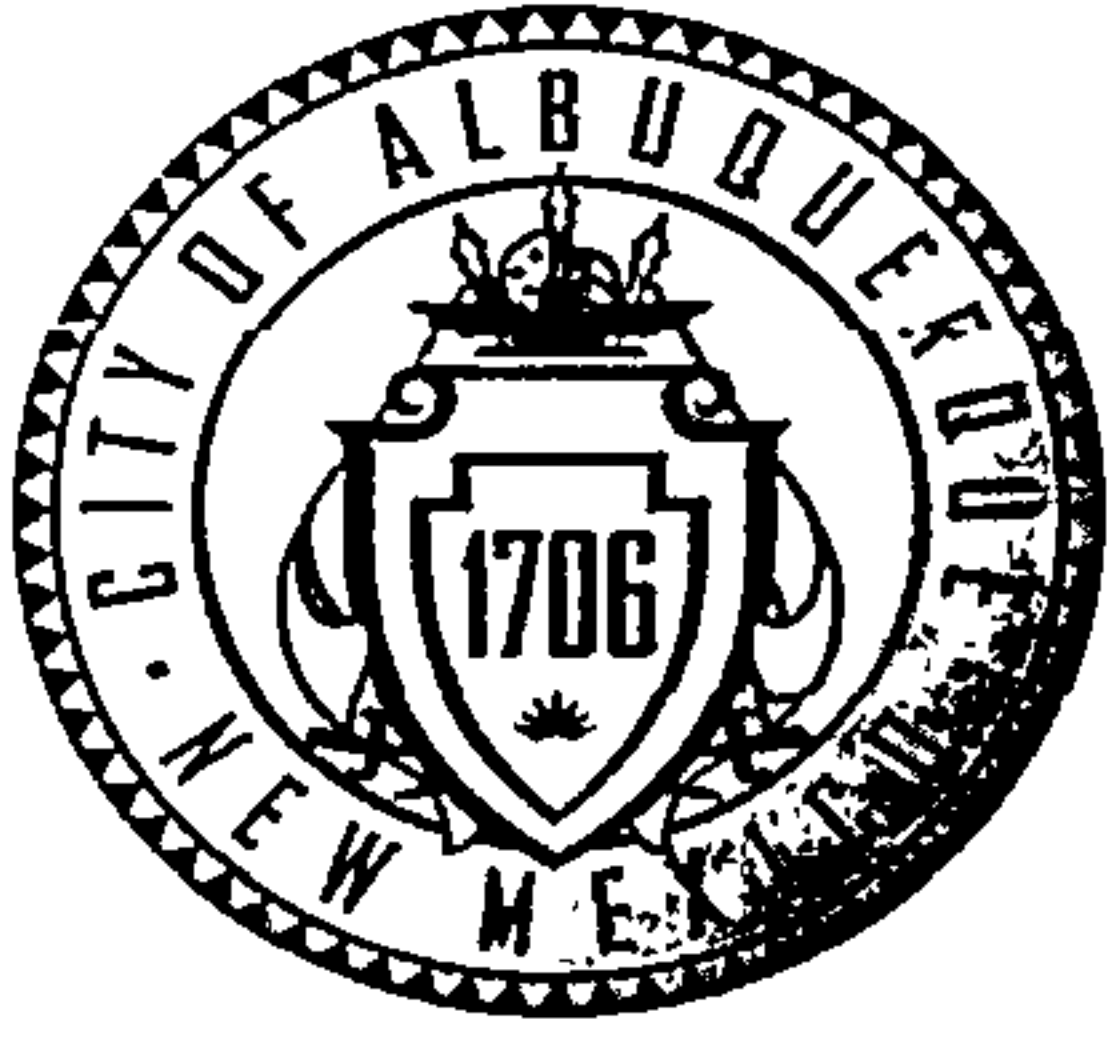
If you have any questions, you can contact me at 924-3695.

Sincerely,

A handwritten signature in black ink, appearing to read "Rita P. H.", with a long horizontal stroke extending to the right.

Rita Harmon, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

Orig: Drainage file  
c.pdf Addressee via Email



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Uptown Shops Building Permit #: \_\_\_\_\_ City Drainage #: 19D071A

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: TRACT A-1-B HUNT - SPECTRUM DEVELOPMENT SITE

City Address: \_\_\_\_\_

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred C. Arfman PE

Address: 128 Monroe Street NE - Albuquerque, NM 87108

Phone#: (505) 268-8828 Fax#: \_\_\_\_\_ E-mail: freda@iacivil.com

Owner: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: Dekker Perich Sabatini Contact: Scott Leonard

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

- ☒ **ENGINEER** ARCHITECT CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: January 6, 2016 By: Fred C. Arfman

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☒ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☒ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR

- ☒ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



Bryan Bobrick <bryanb@iacivil.com>

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## Hydrology Submittal - Uptown Shops

1 message

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**Bryan Bobrick** <bryanb@iacivil.com>

Wed, Jan 6, 2016 at 10:29 AM

To: COA Planning Development Review Services <PLNDRS@cabq.gov>

**Bryan Bobrick**  
**Isaacson & Arfman, P.A.**  
128 Monroe N.E.  
Albuquerque, NM 87108  
(505) 268-8828

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