

CITY OF ALBUQUERQUE



August 18, 2017

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, NM 87199

Re: La Madeleines, 2110 Louisiana Blvd. NE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 12-15-16 (J19D071B)
Certification dated 8-14-17

Dear Mr. Soule,

Based upon the information provided in your submittal received 8-14-17, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Monica Ortiz at (505) 924-3981 or me at (505)924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

MA/RM via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: LA MADELEINES **Building Permit #:** **City Drainage #:** J19-D071B
DRB#: **EPC#:** **Work Order#:**
Legal Description: TRACT A-1-C HUNT SPECTRUM DEVELOPMENT
City Address: 2110 LOUISIANA NE

Engineering Firm: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE
Address: PO BOX 93924, ALBUQUERQUE, NM 87199
Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** DAVID@RIOGRANDEENGINEERING.COM

Owner: **Contact:**
Address:
Phone#: **Fax#:** **E-mail:**

Architect: DAVE PORT AND ASSOCIATED **Contact:**
Address:
Phone#: **Fax#:** **E-mail:**

Other Contact: **Contact:**
Address:
Phone#: **Fax#:** **E-mail:**

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☒ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL) (SITE PLAN)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

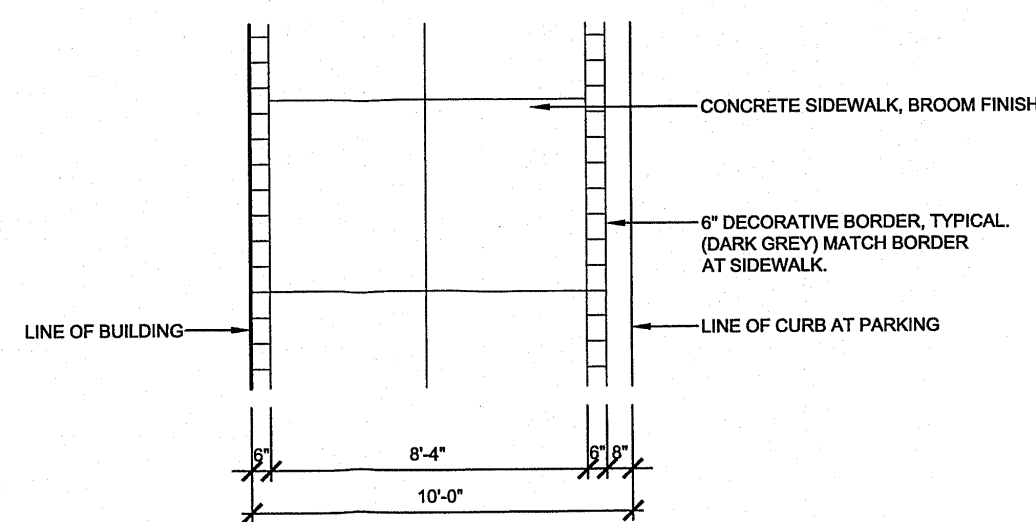
CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

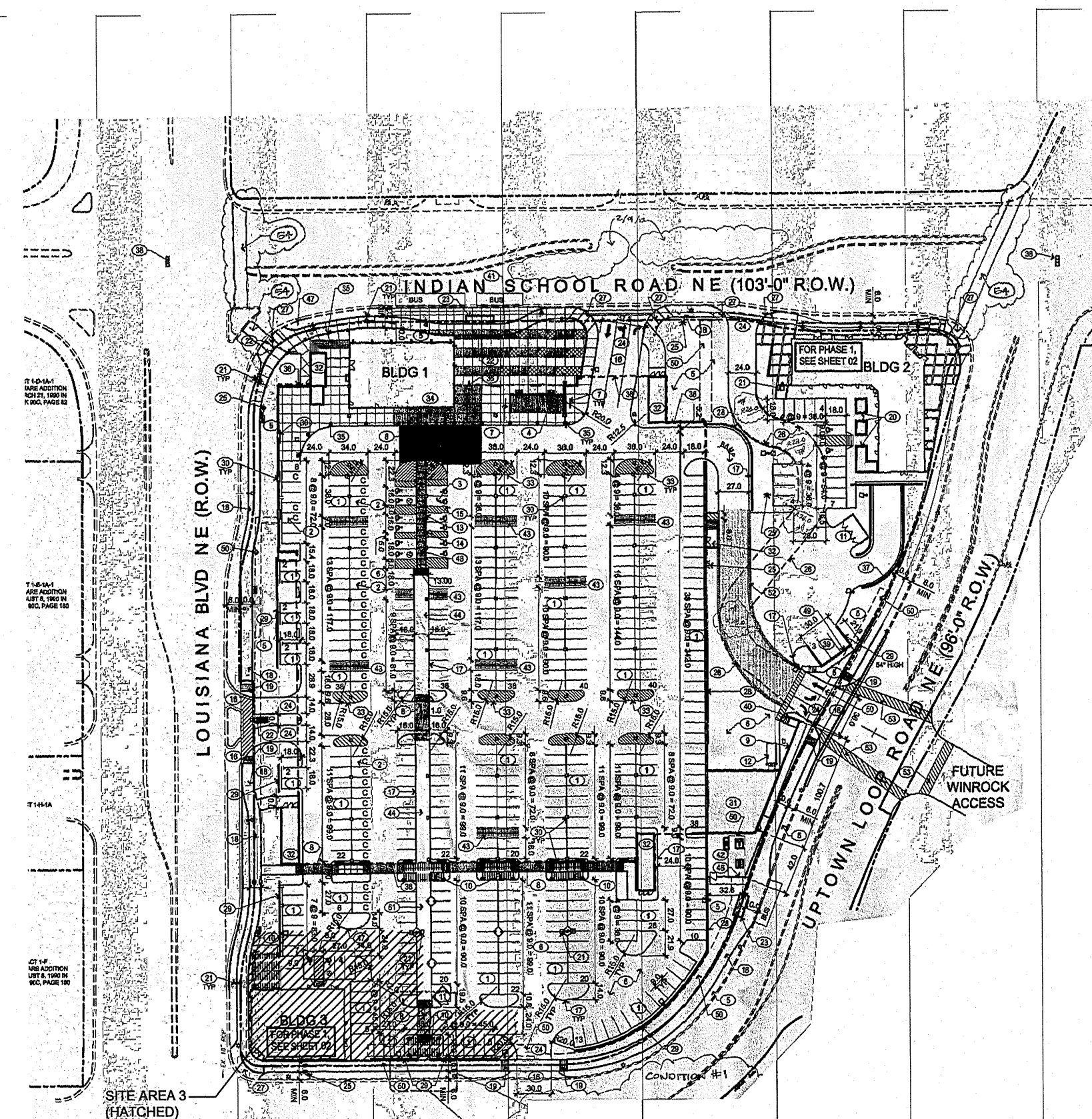
IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 8/14/17 **By:** DAVID SOULE

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____



SIDEWALK DETAIL



TARGET SITE DEVELOPMENT PLAN	
NO SCALE	

PARKING	ENTIRE SITE	PROPOSED SITE ARE BLD'G
PARKING REQUIRED	362 SPACES	11 SPACES
PARKING PROVIDED PER APPROVED TARGET SITE DEV. PLAN:	538 SPACES (58 COMPACT)	21 SPACES
PARKING SPACE FOR SITE AREA 3	534 SPACES (58 COMPACT)	18 SPACES
TOTAL SITE PARKING PROVIDED FOR SITE AREA 3 USE, PER SHARED PARKING FOR SITE AREA 3 USE		42 SPACES
BICYCLE PARKING REQUIREMENT 1:20 NUMBER CAR SPACES (USDOT)	27	3
BICYCLE SPACES PROVIDED	30	4
*RESTAURANT USE: (USDOT)	2 SPACES PER 1000 SF BUILDING 5494 SF / 1000 SF x 2 SPACES = 11 SPACES	
PARKING MUST ALSO DEMONSTRATE THAT THE BUILDING'S NEEDS ARE PER ABO ZONING. RESTAURANT USE CALCULATED: 1 SPACE PER 4000 SQUARE FEET ANTICIPATED SEAT #: 152 SEATS + 9 STAFF TOTAL OCCUPANTS = 161 161 OCCUPANTS / 4000 SQUARE FEET PER SPACE = 40 SPACES		
**INCLUDES PARKING ONLY PROVIDED ON SITE AREA 3.		
ACCESSIBLE PARKING SPACES: 2 PROVIDED		
MOTORCYCLE 1 SPACE PROVIDED (USDOT)		

<h1> SITE REQUIREMENTS </h1>	
<p>ALL REQUIREMENTS STATED ARE PER USDP AND THE APPROVED TARG SITE DEVELOPMENT PLAN, UNLESS OTHERWISE NOTED.</p>	
<p>LOT SPACE SIZE - CRITERIA MET</p> <ul style="list-style-type: none"> • NO SPECIFIC REQUIREMENTS 	<p>SITE PEDESTRIAN ACCESS - CRITERIA MET</p> <ul style="list-style-type: none"> • NO ENTRANCE IS PROVIDED ALONG STREET/FACADE. PROVIDE 10-FOOT WIDE PEDESTRIAN WALK FOR CONNECTIVITY. • 10-FOOT COMBINED WALKWAY (RAMP AND STEPS) IS PROVIDED TO PROVIDE ACCESS FROM PEDESTRIAN PUBLIC SIDEWALK.
<p>OPEN SPACE REQUIREMENTS - CRITERIA MET</p> <ul style="list-style-type: none"> • MEETS 10% REQUIREMENT FOR SITE AREA & ALL AREAS WITHIN 10% ARE SPECIFICALLY CALCULATED • AREAS ARE HATCHED AND SHADE FOOTAGE IS NOT ACCEPTED ON PLAN. 	
<p>BUILDING SIZE - AMENDMENT REQUIRED</p> <ul style="list-style-type: none"> • BUILDING AREA FOR DEVELOPMENT IS INCREASED BY LESS THAN 10% FOR OVERALL SITE BUILDING AREAS. 	<p>DUMPMSTER ENCLOSURE/SCREENING - CRITERIA MET</p> <ul style="list-style-type: none"> • DUMPMSTER WILL BE 6
<p>FLOOR AREA RATIO - CRITERIA MET</p> <ul style="list-style-type: none"> • NO MINIMUM OR MAXIMUM 	<p>DUMPMSTER ENCLOSURE/SCREENING - CRITERIA MET</p>
<p>SETBACKS - CRITERIA MET</p> <ul style="list-style-type: none"> • 5-FOOT WITH 10-FOOT WALK AND 4-FOOT LANDSCAPE BUFFER • LANDSCAPE BUFFER IS PROVIDED WITHIN R.O.W. BETWEEN STREET CURB AND PUBLIC SIDEWALK • LANDSCAPE AREA TO BE MAINTAINED AS PART OF SITE. 	<p>SITE LIGHTING</p> <ul style="list-style-type: none"> • SITE LIGHTING IS EXISTING • POLE LIGHT AT NEW DUMPMSTER LOCATION WILL BE RELOCATED WITHIN PARKING AREA TO PERFORM INSTALLATION OF LANDSCAPING AT STREET SIDE OF DUMPMSTER ENCLOSURE

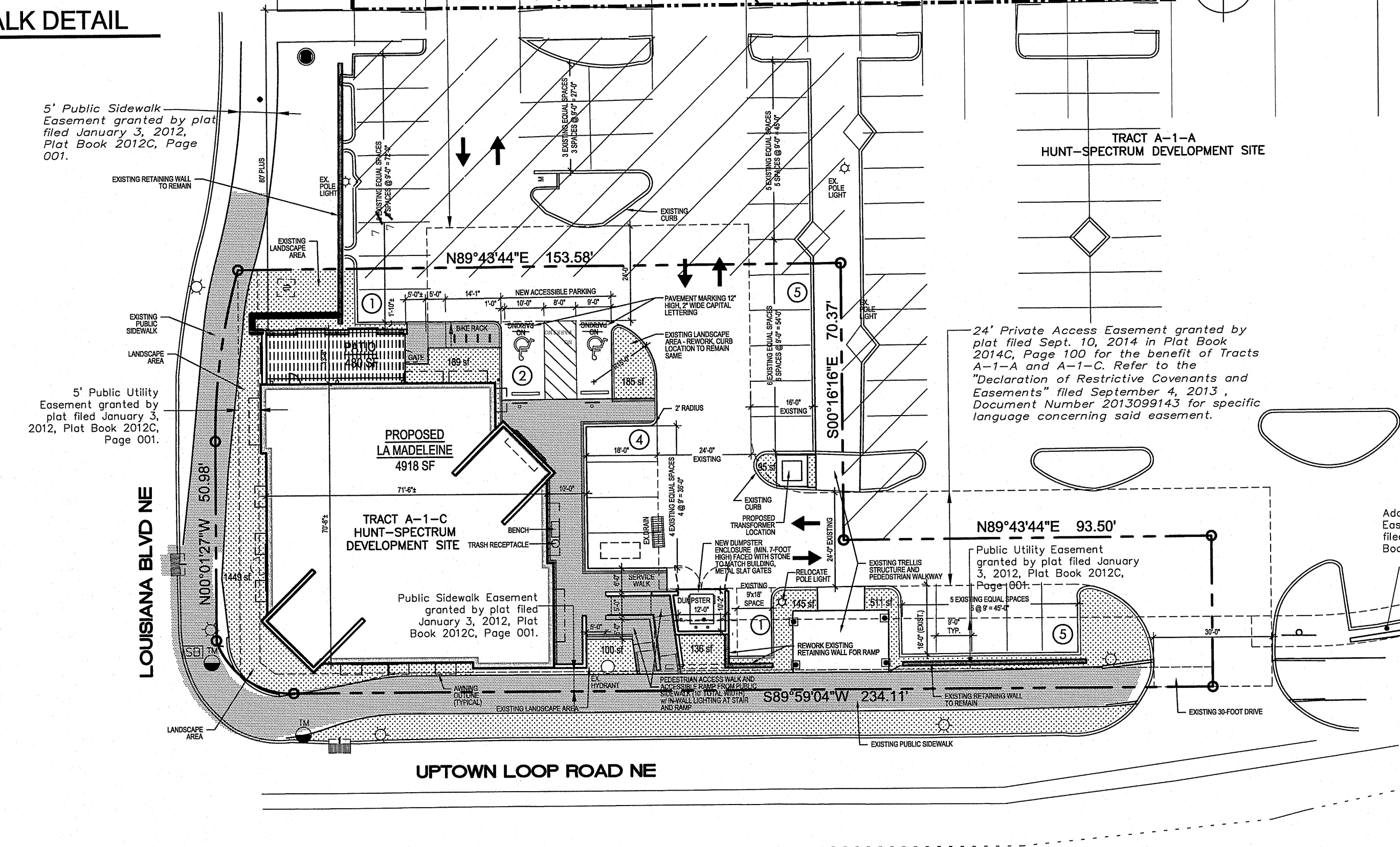
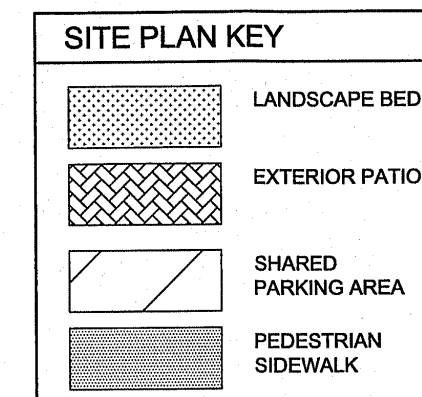
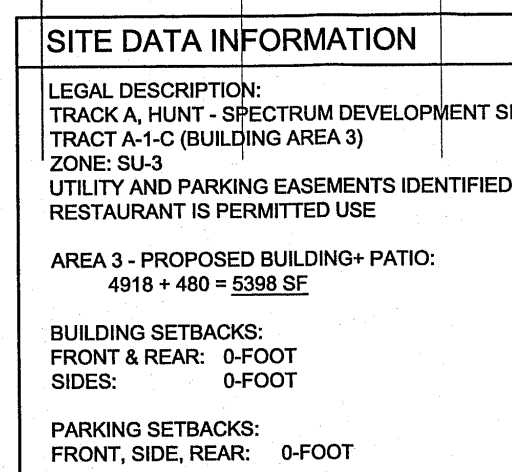
BUILDING AREAS		
	ENTIRE SITE	PROPOSED SITE AREA BLDG
BUILDING AREAS PER APPROVED TARGET DEV. PLAN:	188,169 SF	4470
PROPOSED BUILDING AREA:	189,097 SF	5398
PERCENTAGE INCREASE:	.498 %	

SITE AREAS		
	ENTIRE SITE	PROPOSED SITE AREA BLDG
SITE AREA (AFTER R.O.W. DEDICATION):	7.36 ACRES 320,480 SF	20,656.66 SF
OPEN SPACE REQUIREMENT: (10% OF THE SITE)	32,048 SF	2066
OPEN SPACE PROVIDED:	+41,036 SF	2563
SHADE TREES:	80	6

1. NUMBER OF SHADE AND ORNAMENTAL TREES WILL BE PROVIDED PER THE ORIGINAL APPROPRIATE TARGET DEED. PLAN FOR SITE AREA 3
2. OPEN SPACE CALCULATIONS DO NOT INCLUDE REQUIRED LANDSCAPE STRIPS ALONG THE STREET OR WALKWAYS EXCEPT ANY PORTION OF WALKWAY THAT IS WIDER THAN THE STREET.
3. A MINIMUM OF 75% OF LANDSCAPE STRIPS AND 60-75% OF PLANTING STRIPS ARE COVERED WITH LIVE VEGETATIVE MATERIALS.
4. A MINIMUM OF 10% OF LANDSCAPE AREA WILL HAVE FLOWERING PLANT OR SHRUBS.
5. REVEAL MULCH WILL BE LIMITED TO LESS THAN 5% OF ANY OPEN SPACE AREA AND USED ONLY WHERE NECESSARY AROUND DRAINAGE INLET. ALL OTHER MULCH AREAS WILL UTILIZE ORGANIC PEGAN SHELL MULCH.

REFERENCED CODES AND DOCUMENTS:

- UPTOWN SECTOR DEVELOPMENT PLAN (REFERRED TO USDP)
- APPROVED TARGET SITE DEVELOPMENT PLAN, 21 SHEETS PROVIDED BY ABQ PLANNING FOR REFERENCE.
- ALBUQUERQUE ZONING CODE



SITE PLAN
1" = 20'-0"

I, **David Soule**, NMPE 14522, of the firm **Rio Grande Engineering**, hereby certify that this project has been made and will construct in substantial compliance with and in accordance with the design intent of the approved SITE PLAN plan approved 1/11/17.

The record information edited on the original design document has performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built survey was provided by **CHRIS MEDINA 15760**. The certification is submitted in support of a request for **Permanent Certificate of Occupancy**. The record information provided herein is not necessarily complete and is intended only to verify substantial compliance with the Traffic Circulation aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



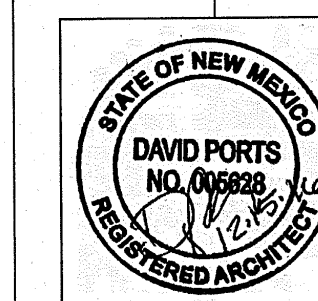
8/14/17

DPA

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Architect inc

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SEAL



la Madeleine
COUNTRY FRENCH CAFE

2110 LOUISIANA BLVD. NE
ALBUQUERQUE, NEW MEXICO 87110

DATE	ISSUE / REVISION
11/11/2016	UPTOWN A
	AA REVISION
12/12/2016	BID/PERMIT
12/15/2016	AA REVISION

PROPOSED SITE PLAN

DRAWING NUMBER
AS01