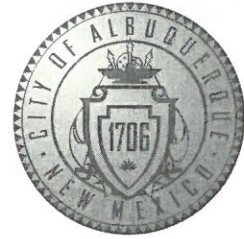


CITY OF ALBUQUERQUE



January 20, 2017

Richard J. Berry, Mayor

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, NM, 87199

RE: **La Madeleines**
2110 Louisiana Blvd NE
Grading Plan and Drainage Report
Engineer's Stamp Date 12/12/2016 & 1/3/2017 (File: J19D071B)

Dear Mr. Soule:

Based upon the information provided in your submittal received 01/03/2017, the Grading Plan and Drainage Report are not approved for Building Permit. The following comments need to be addressed for approval of the above referenced project:

1. First Flush Storm water quality standards do apply. Detention of the first flush volume, indicated as 133 cf, is required.
2. The inlet at the southwest corner is proposed to be removed and extended, but it's not defined where the new one will be placed. Extending the line towards Uptown Loop appears to put it in conflict with the existing sidewalk, the retaining wall and its footer, and any utilities that may be there. Another option may be to remove the inlet and storm drain back to the manhole, and replace with a new inlet and storm drain running south towards the intersection. This would avoid the retaining wall and slab all together.
3. Analysis of the private storm drain system showing capacity of the system due to changes in flow paths is required. Additionally, show flow directions from the roof and for the regraded site.
4. The drainage area for the dumpster will need to include a grease trap and be routed into the sanitary sewer system.
5. Are there any existing sidewalk or utility easements for this site?

Minor Corrections, not required for approval:

1. Center the viewports for the Vicinity Map and FIRM Map on the site and label the correct site location.

2. The Drainage Report needs to be reviewed for grammar and spelling.

The nominal increase in run-off (+0.14 cfs) is acceptable and no Erosion and Sediment Control Plan will be needed (0.47-Ac lot). Work within the City Right-of-Way to remove and replace the sidewalk will require a city work order. If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

A handwritten signature in black ink, appearing to read 'D. Peterson', with a stylized flourish at the end.

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: _____
City Address: _____

Engineering Firm: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

DRAINAGE REPORT

For

LAMADELEINES
2110 LOUISIANA NE
Albuquerque, New Mexico

Prepared by

Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

SEPTEMBER 2016



David Soule P.E. No. 14522

TABLE OF CONTENTS

Purpose3
Introduction.....3
Existing Conditions.....3
Exhibit A-Vicinity Map4
Proposed Conditions5
Summary5

Appendix

Site Hydrology A
Excerpts from Target Drainage Plan.....B

Map

Site Grading and Drainage Plan

PURPOSE

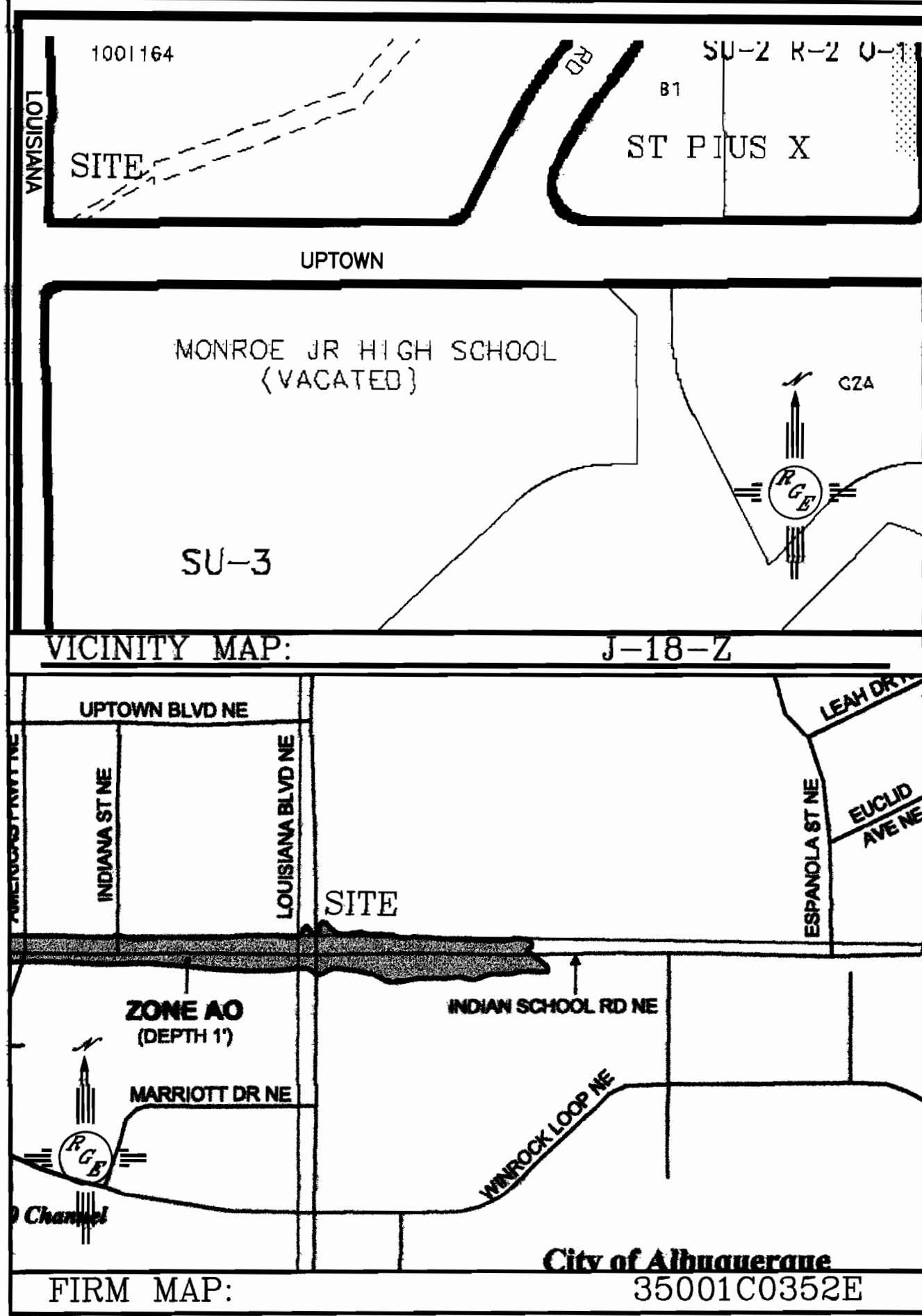
The purpose of this report is to provide the Drainage Management Plan for the development of a 0.47 acre pad site development. This plan was prepared in accordance with the City of Albuquerque design regulations, utilizing the City of Albuquerque's Development Process Manual drainage guidelines. This report will demonstrate that the grading does not adversely affect the surrounding properties, nor the upstream or downstream facilities.

INTRODUCTION

The subject of this report, as shown on the Exhibit A, is a 0.47-acre parcel of land located on the northeast corner of Louisiana and uptown loop. The legal description of this site is tract A-1-C, Hunt-Spectrum Development. As shown on FIRM map35001C0352E, the entire site is located within Flood Zone X. The adjacent roadway contains flood plain A0-1. The site is a completely developed pad site. The entire parking area is paved, the surrounding landscape is completed and the entire supporting drainage infrastructure is completed. Since this site is a pad only development, the grading plan must conform to the Target Center Grading plan. Due to the completed landscaping and parking area, there is no opportunity to capture the first flush.

EXISTING CONDITIONS

The site is currently developed pad site. The site is a small pad site located within the Target center development. The entire parking are has been completed. The entire site is captured by series of onsite storm drains. The site drains to an existing inlet located within the Louisiana right of way. As shown in appendix A, the location of improvements is basin 3.3 of the target center grading plan. All downstream improvements are in place and maintained by the city of Albuquerque.



LEGAL DESCRIPTION:

TRACT A-1-C HUNT-SPECTRUM

PROPOSED CONDITIONS

The proposed improvements consist of a new 4900 square foot building on the pad site. Minor modifications to the dumpster and handicap isle are required. There are no modifications to the parking field, except to accommodate the modified dumpster and connection to proposed building. The building contains an interior roof drainage system. The roof drain will be connected to the existing junction box located adjacent to the building. The existing pad site area drain will be removed and replaced with the roof drain connection. Due to the site being only a pad, with completed landscaping and parking, there is no opportunity to capture the first flush. The site is being developed in accordance with the previously approved Target drainage plan. The Target drainage report anticipated .61 cfs to be generated from the pad site area. The same basin is predicted to generate.75 cfs. This basin is the new roof which will be a smooth plastic roof at 2% and will have a peak sooner than the parking area, therefore we feel the .14 cfs will pass before the basin peak is observed. The first flush volume of 133 cfs is negligible and not be reasonably captured. The surrounding landscaping is heavily regulated by the master plan and retaining adjacent to the building will not comply with the geotechnical requirements. Since this pad was designed prior to the first flush ordinance we feel not providing is consistent with the approved plan and will have no negative impact

SUMMARY AND RECOMMENDATIONS

This project is a development of building on an existing pad site. The fully developed conditions were anticipated with the master drainage plan for the entire Target development. The peak flow does exceed the anticipated flow by .14 cfs. Due the nature of the basin the time to peak will be less than the parking area, and will not have an adverse impacted. The developed nature of the site does not allow for reasonable retention of the first flush volume and the development of this pad site predates the first flush requirement. The development of this site will not negatively impact the upstream nor down stream facilities. Since this site does not exceed 1 acre, erosion and sediment Control Plan should not be required prior to any construction activity.

APPENDIX A
SITE HYDROLOGY

Weighted E Method
LOMAS APTS

Existing Developed Basins

Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year, 6-hr.			10-day
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)
PAD AREA(BASIN 3 3)	7840	0.180	0%	0	18.0%	0.032	22.0%	0.0396	60.0%	0.108	1.865	0.028	0.75	0.042
PAD AREA (BASIN 3 3)	7840	0.180	40%	0.07199	5.0%	0.009	15.0%	0.027	40.0%	0.072	1.448	0.022	0.61	0.031
COMPARISON													0.14	

Equations:

Weighted E = Ea**A*a + Eb**A*b + Ec**A*c + Ed**A*d / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * *A*a + Qb * *A*b + Qc * *A*c + Qd * *A*d

Where for 100-year, 6-hour storm (zone 3)

Ea= 0.66	Qa= 1.87
Eb= 0.92	Qb= 2.6
Ec= 1.29	Qc= 3.45
Ed= 2.36	Qd= 5.02

FLOW SUMMARY	ANTICIPATED	PROPOSED
	0.61 CFS	0.75 CFS

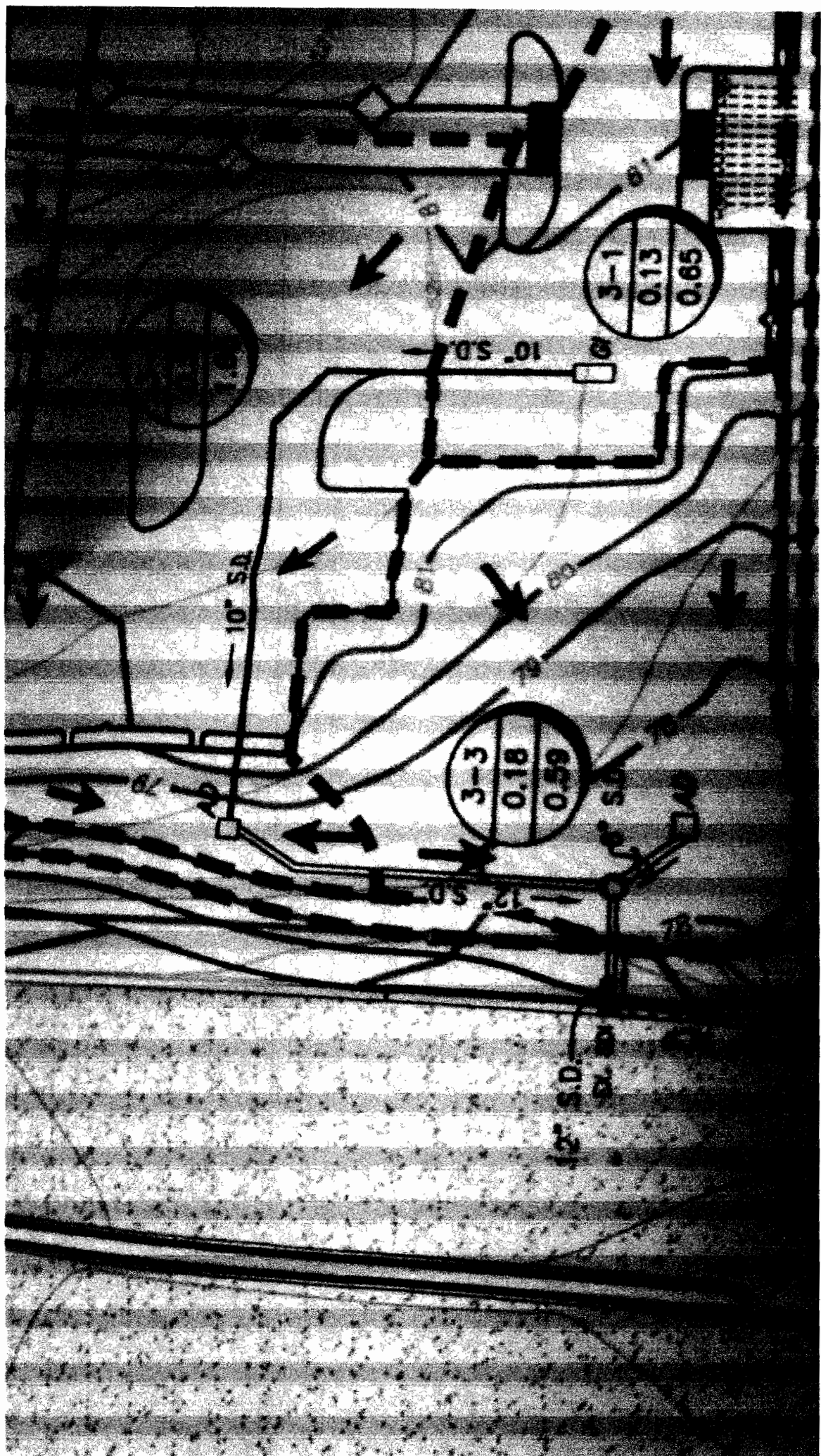
PONDING PROVIDED
FIRST FLUSH REQUIREMENT
133.3 CF

DRAINAGE NARRATIVE
THE SITE IS A DEVELOPED PAD SITE WITHIN THE TARGET PARKING LOT. ALL OF THE SURROUNDING IMPROVEMENT HAVE BEEN CONSTRUCTED. THE SURROUNDING INFRASTRUCTURE ANTICIPATED .61 CFS TO BE DISCHARGED FROM THIS SITE. THE PAD DEVELOPMENT WILL DISCHARGE .75 CFS, WHICH IS .14 CFS GREATER THAN ANTICIPATED. DUE TO THE FACT THE FLOW GENERATED FROM THIS SITE WILL BE ON A SMOOTH PLAS ROOF MEMBRAIN TO A DOWN SPOUT AND THE REMAING BASIN WILL BE GENERATED FROM A PARKING FIELD. THE INCREASE OF .14 CFS WILL ENTER THE SYSTEM PRIOR TO THE PARKING AREA PEAK, WHICH WILL MAKE INCREASE NEGLIGABLE. DUE TO THE EXISTING LANDSCAPING AND COMPLETED PARKING AREA, RETENTION OF THE 133 CUBIC FEET IS NOT ABLE TO BE CAPTURED.

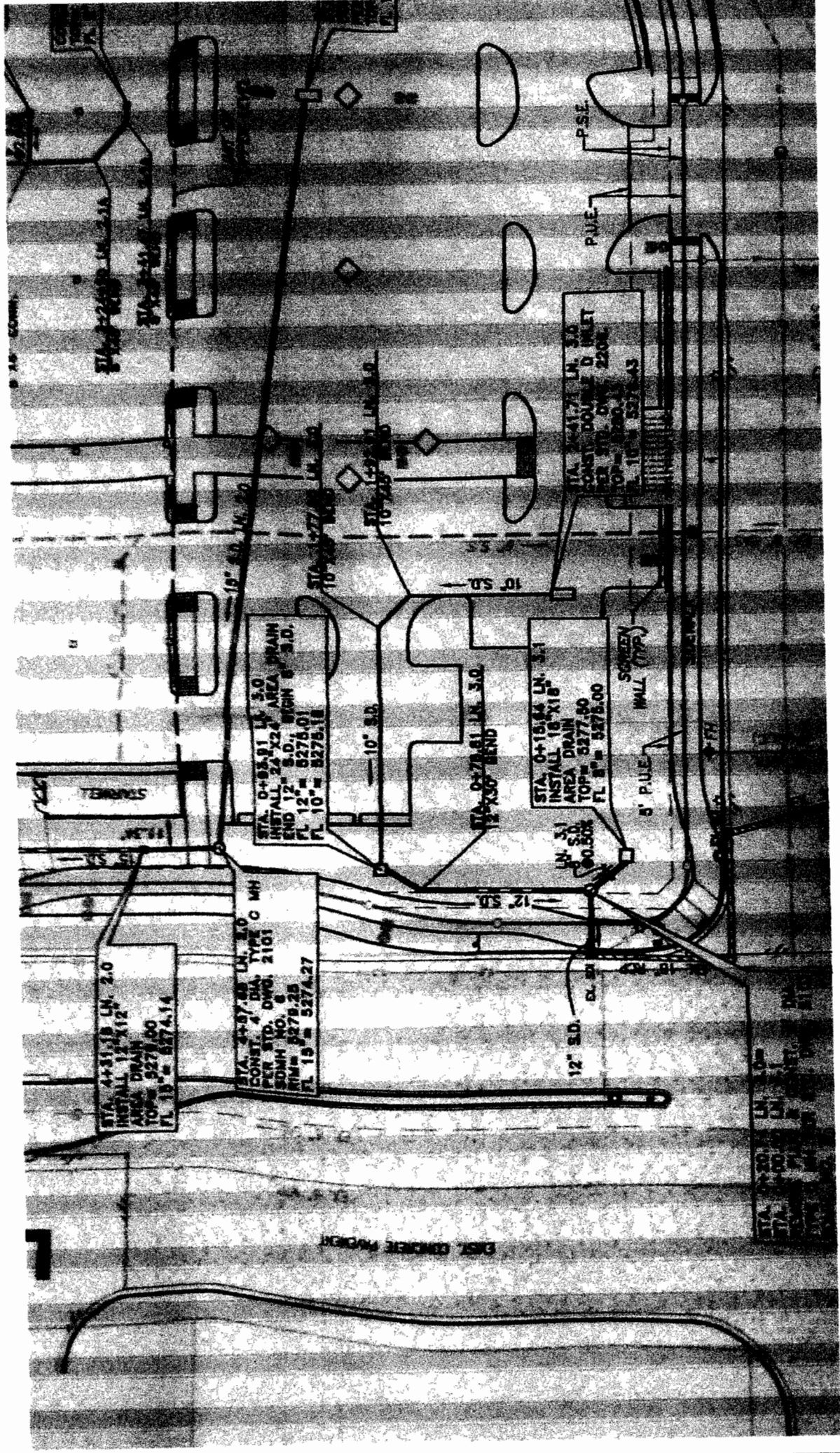
APPENDIX B

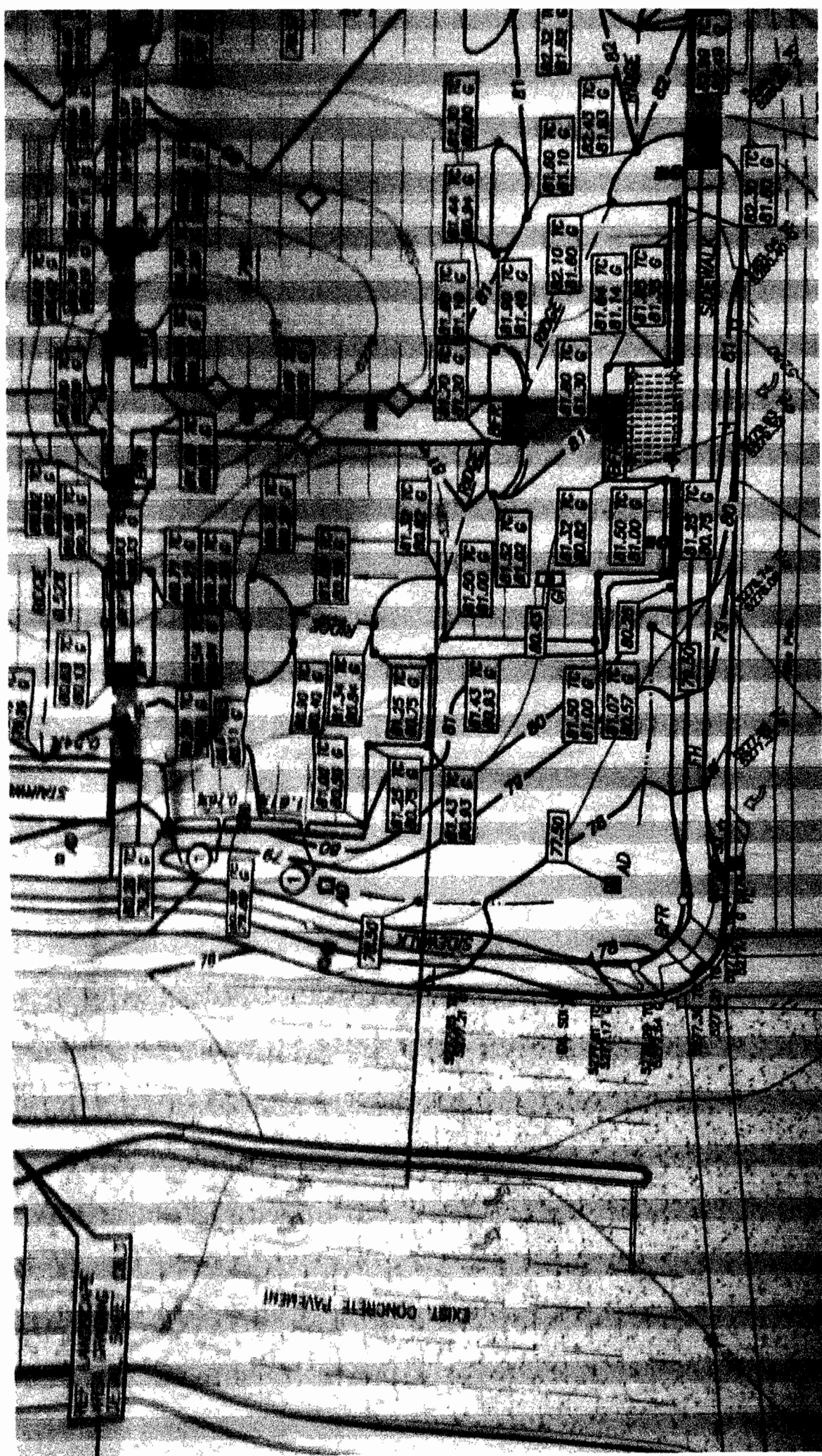
EXCERPTS FROM TARGET

MASTER DRAINAGE PLAN



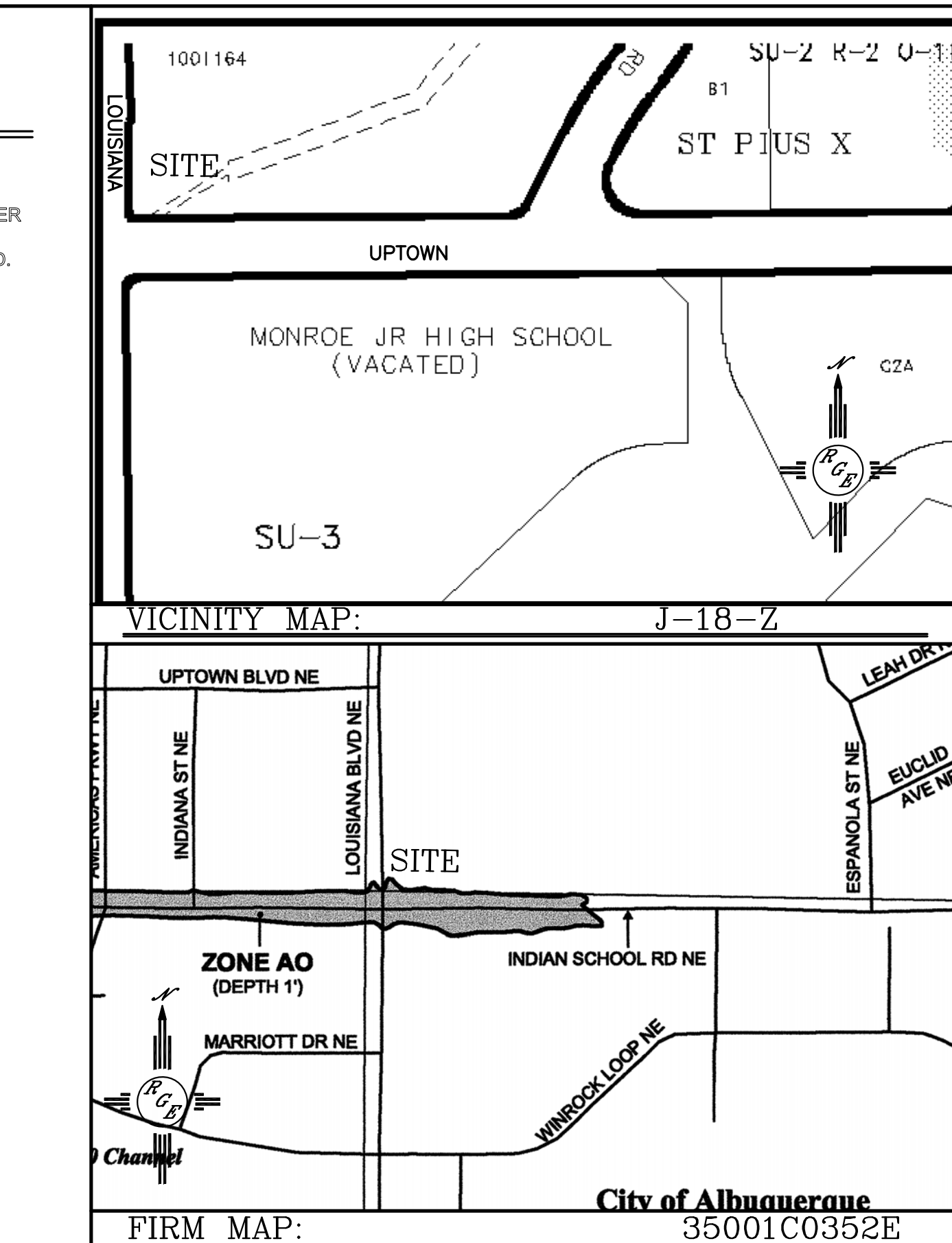
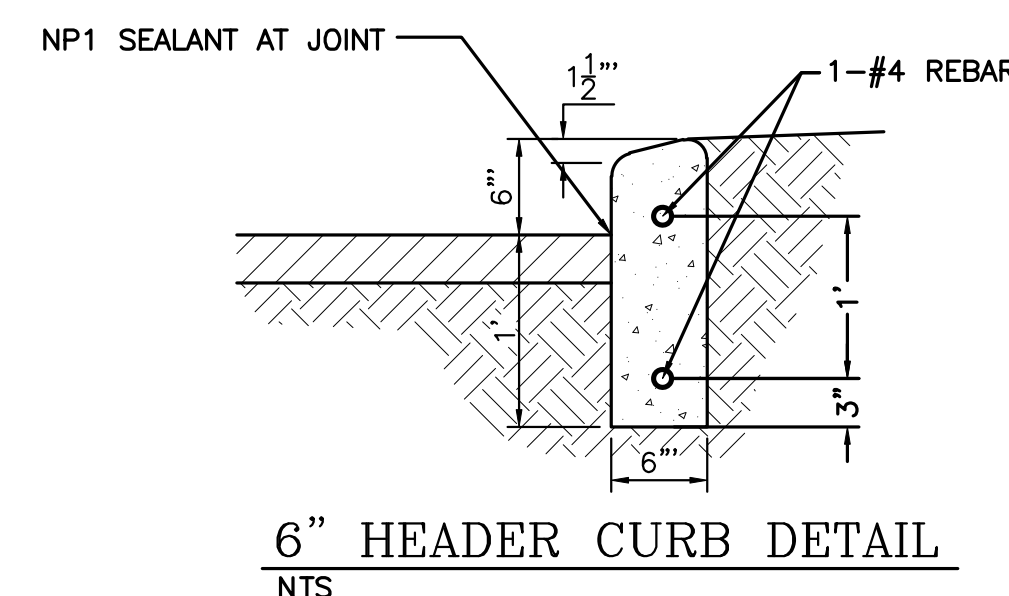
2-1	0.08	0.93	5.38	4.30	SHEET FLOW TO DOUBLE D INLET
2-2	0.02	0.64	5.38	0.07	SHEET FLOW TO 12"x12" AREA DRAIN
2-3	0.05	0.64	5.38	0.17	SHEET FLOW TO 12"x12" AREA DRAIN
2-4	0.12	0.64	5.38	0.41	SHEET FLOW TO 12"x12" AREA DRAIN
2-5	0.04	0.93	5.38	0.20	SHEET FLOW TO TRENCH DRAIN
2-6	0.07	0.93	5.38	0.35	SHEET FLOW TO TRENCH DRAIN
2-7	0.21	0.64	5.38	0.72	SHEET FLOW TO LOUISIANA BOULEVARD N.E.
TOTAL FLOW TO EXISTING STORM DRAIN INLET IN LOUISIANA BLVD. N.E.= 6.22 cfs					
3-1	0.13	0.93	5.38	0.65	SHEET FLOW TO DOUBLE D INLET
3-2	0.33	0.93	5.38	1.65	SHEET FLOW TO 24"x24" AREA DRAIN
3-3	0.18	0.64	5.38	0.61	SHEET FLOW TO 18"x18" AREA DRAIN
3-4	0.02	0.93	5.38	0.10	SHEET FLOW TO LOUISIANA BOULEVARD N.E.
3-5	0.03	0.93	5.38	0.16	SHEET FLOW TO LOUISIANA BOULEVARD N.E.
TOTAL FLOW TO EXISTING STORM DRAIN INLET IN LOUISIANA BLVD. N.E.= 3.17 cfs					
4-1	0.15	0.65	5.38	0.65	SHEET FLOW TO 18"x18" AREA DRAIN
				0.15	SHEET FLOW TO 12"x12" GRAITE INLET
					SHEET FLOW TO ROOF DRAIN
					SHEET FLOW TO INDIAN SCHOOL ROAD N.E.
TOTAL FLOW TO EXISTING STORM DRAIN INLET IN LOUISIANA BLVD. N.E.= 2.85 cfs					





1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

THIS SITE IS A FINISHED PAD WITHIN THE TARGET MASTER DRAINAGE PLAN. ALL OF THE SURROUNDING ONSITE PRIVATE DRAINAGE INFRASTRUCTURE WAS DESIGNED FOR FULLY DEVELOPED CONDITIONS. THIS SITE CONFORMS TO THE MASTER DRAINAGE PLAN. THE EXISTING PRIVATE UNDERGROUND STORM DRAIN COLLECTS THE DEVELOPED STORM WATER FROM THE PARKING LOT AND THE BUILDING. THE DOWN STREAM IMPROVEMENTS ARE IN PLACE FOR THIS DEVELOPMENT, NO OFF SITE SYSTEM MODIFICATIONS WILL BE REQUIRED.

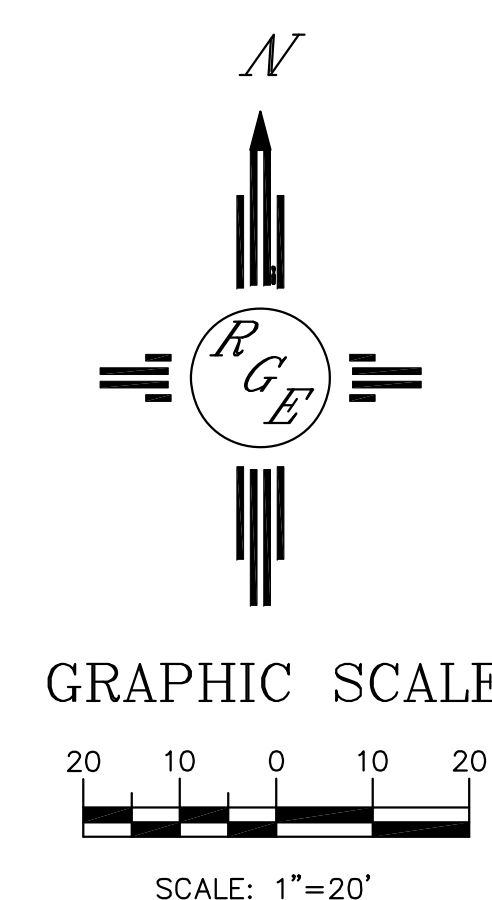


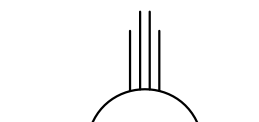
LEGAL DESCRIPTION:
TRACT A-1-C HUNT-SPECTRUM

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL CURB AND GUTTER TO 6" HEADER UNLESS OTHERWISE NOTED.
3. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. ALL NEW PAVING SHALL BE 6" PCC OVER 8" SUBGRADE PREPARATION IN CONFORMANCE TO ACI 330R-08. UNLESS OTHERWISE NOTED.
5. ANY CURBS OR PAVEMENT NEGATIVELY IMPACTED BY CONSTRUCTION ACTIVITY SHALL BE REPLACED TO MATCH EXISTING CONDITIONS.
7. ALL EARTHWORK SHALL CONFORM TO PROJECT GEOTECHNICAL REPORT PREPARED BY GEO-TEST, INC DATED 12/5/16.
8. ALL SITE WORK SHALL CONFORM TO CITY OF ALBUQUERQUE STANDARDS FOR PUBLIC WORKS CONSTRUCTION EDITION 9

[illegible]

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.



ENGINEER'S SEAL	LA MADELEINE		DRAWN BY: WCW/J
	GRADING AND DRAINAGE PLAN		DATE 12-12-16
DAVID SOULE P.E. #14522	 <i>Rio Grande Engineering</i> 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999		SHEET # C001 JOB # 21634



DPA

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Unnamed
DRAWING NUMBER
AX.X