

# CITY OF ALBUQUERQUE



May 8, 2017

Jake Bordenave, P.E., P.S  
Bordenave Designs  
PO Box 91194  
Albuquerque, NM 87199

RE: **Garcia Honda Gen 3 Service Bldg**  
**8301 Lomas NE**  
**Request for Certificate of Occupancy – Permanent**  
**Hydrology Final Inspection - Approved**  
**Engineer's Stamp Date 8/29/18 (J19D072)**  
**Certification Dated: 5/1/18**

Dear Mr. Bordenave,

Based on the certification received 5/2/18, this project is approved in support of release of Certificate of Occupancy (Permanent) by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3695 or [dpeterson@cabq.gov](mailto:dpeterson@cabq.gov).

Albuquerque

Sincerely,

NM 87103

Dana Peterson, P.E.  
Senior Engineer, Planning Dept.  
Development and Review Services

[www.cabq.gov](http://www.cabq.gov)

C: Email      Serna, Yvette M.; Fox, Debi; Tena, Victoria C.; Sandoval, Darlene M.



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: GARCIA HONDA Building Permit #: 18065  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ City Drainage #: 319/D072  
Legal Description: Lots 19-24, Block 24, EAST END ADDITION Work Order#: \_\_\_\_\_  
City Address: 8301 LOMAS NE ALB, NM 87  
Engineering Firm: BORDENAVE DESIGNS Contact: \_\_\_\_\_  
Address: P.O. Box 91194, 87179  
Phone#: 823-1344 Fax#: 821-9105 E-mail: jakebordenave@comcast.net  
Owner: GARCIA Contact: \_\_\_\_\_  
Address: 8301 LOMAS NE, ALB, NM, 87110  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Architect: V.H. GILBERT Contact: M. Lee  
Address: 2428 BAYLOR SE 87106  
Phone#: 247-9955 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Other Contact: \_\_\_\_\_  
Address: \_\_\_\_\_ Contact: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN RESUBMIT  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☒ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ OTHER (SPECIFY) \_\_\_\_\_

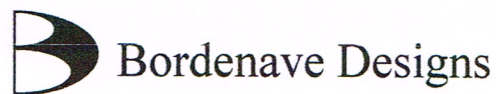
IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 05/01/18 By: [Signature]

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_



May 1, 2018

City of Albuquerque  
Hydrology, Planning Dept.  
PO Box 1293  
Albuquerque, NM 87103

Attn: Dana Peterson, PE  
Re: J19/D072

The following is written in response to your comments (dated 04/19/18) on the subject project. The responses are in the same order as your comments.

1. The Drainage Certification language per the DPM has been added to the Certification Drawing.
2. The sidewalk culvert construction has been revised as follows:
  - a. see item e,
  - b. screws have been welded to the plate,
  - c. screws are flush with plate,
  - d. plate is flush with sidewalk,
  - e. the 2 barrel sidewalk culvert detail has been approved by the City of Albuquerque. A copy of the approved design is attached.

Thank you for your review and comments.

Sincerely,

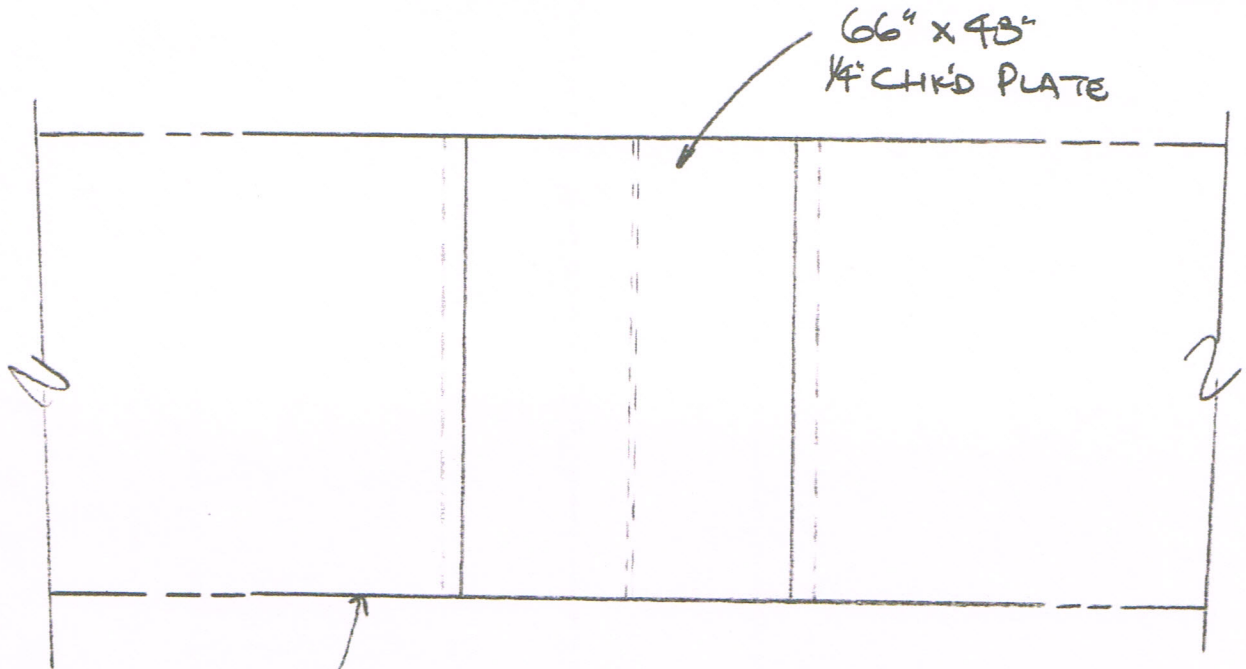
Jean J.(Jake) Bordenave





6501 Americas Parkway NE • Suite 301  
Albuquerque • New Mexico • 87110  
881-3008 • Facsimile 881-4025

SHEET NO. 1 OF 1  
JOB GARCIA HONDA 8301 LOMAS NE ALBUQ  
SUBJECT SIDEWALK CULVERT COVER  
CLIENT HART CONST. JOB NO. \_\_\_\_\_  
BY JR DATE 23 APRIL 18  
CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_

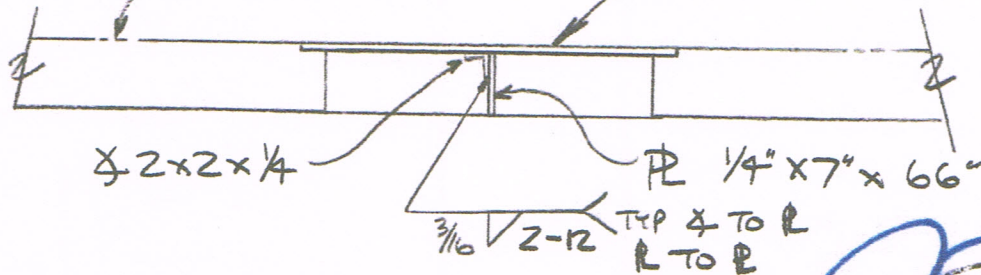


EXISTING  
SIDEWALK

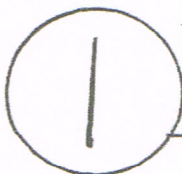
PLAN VIEW

SCALE:  $\frac{1}{2}'' = 1'-0''$

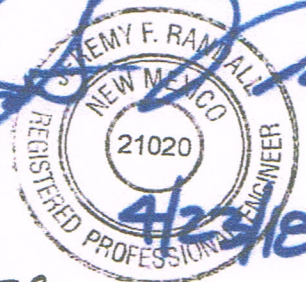
$\frac{1}{4}''$  CHK'D PLATE



SECTION



SIDEWALK CULVERT COVER



519-010

#1

**PRIVATE FACILITY  
DRAINAGE COVENANT**

This Drainage Covenant ("Covenant"), between Guadalupe LLC ("Owner"), whose address is P.O. Box 26207 Albuquerque NM 87125, and whose telephone number is (505) 260-5188 and the City of Albuquerque, New Mexico, a municipal corporation whose address is P.O. Box 1293, Albuquerque, New Mexico 87103, is made in Albuquerque, Bernalillo County, New Mexico and is entered into as of the date Owner signs this Covenant.

1. **Recital.** The Owner is the current owner of the following described real property located at [give legal description, and street address]

Lots 19 thru 24, Block 24, East End Addition

Book B11 Folio 151  
recorded on 7-23-1976, pages \_\_\_\_ through \_\_\_\_, as Document No. \_\_\_\_ in the records of the Bernalillo County Clerk, State of New Mexico (the "Property").

Pursuant to City ordinances, regulations and other applicable laws, the Owner is required to construct and maintain certain drainage facilities on the Property, and the parties wish to enter into this Covenant to establish the obligations and responsibilities of the parties.

2. **Description and Construction of Drainage Facility.** The Owner shall construct the following "Drainage Facility" within the Property at the at the Owner's sole expense in accordance with the standards, plans and specifications approved by the City:

RETENTION POND & OVERFLOW FACILITIES

The Drainage Facility is more particularly described in **Exhibit A** attached hereto and made a part hereof.

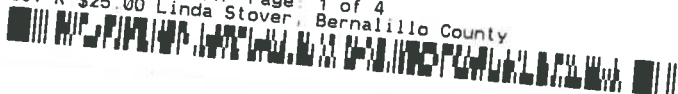
3. **Maintenance of Drainage Facility.** The Owner shall maintain the Drainage Facility at Owner's sole cost in accordance with the approved Drainage Report and plans.

4. **Benefit to Property.** The Owner acknowledges and understands that the Drainage Facility required herein to be constructed on the Owner's property is for the private benefit and protection of the Owner's property and that failure to maintain such facility could result in damage or loss to the Property.

5. **Inspection of Drainage Facility.** The City shall have no duty or obligation whatsoever to perform any inspection, maintenance or repair of the Drainage Facility, it being the duty of the Owner, its heirs, successors and assigns to construct and maintain the facility in accordance with approved plans and specifications.

Doc# 2017088391

09/12/2017 03:19 PM Page: 1 of 4  
COV R \$25.00 Linda Stover, Bernalillo County



6. Liability of City. The Owner understands and agrees that the City shall not be liable to the Owner, its heirs, successors or assigns, or to any third parties for any damages resulting from the Owner's failure to construct, maintain or repair the Drainage Facility.

7. Indemnification. The Owner owns and controls the Drainage Facility and shall not permit the Drainage Facility to constitute a hazard to the health or safety of the general public. The Owner agrees to indemnify, defend and hold harmless the City, its officials, agents and employees, from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Owner, its agents, representatives, contractors or subcontractors or arising from the failure of the Owner, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Developer or Owner herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Covenant, this Covenant to indemnify will not extend to liability, claims, damages, losses or expenses, including attorneys' fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the respective indemnitee, or the agents or employees of the respective indemnitee; or (2) the giving of or the failure to give direction or instructions by the respective indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property.

8. Assessment. Nothing in this Covenant shall be construed to relieve the Owner, its heirs, assigns and successors from an assessment against the Owner's property for improvements to the property under a duly authorized and approved Special Assessment District. The parties specifically agree that the value of the Drainage Facility will not reduce the amount assessed by the City.

9. Binding on Owner's Property. The covenants and obligations of the Owner set forth herein shall be binding on the Owner, its heirs, assigns and successors and on the Owner's property and constitute covenants running with the Owner's property until released by the City. This Covenant can only be released by the City's Chief Administrative Officer with concurrence of the City Engineer.

10. Entire Covenant. This Covenant contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

11. Changes to Covenant. Changes to this Covenant are not binding unless made in writing, signed by both parties.

12. Effective Date of Covenant. This Covenant shall be effective as of the date of signature of the Owner.

**OWNER:**

By [signature]: [Signature]  
Name [print]: Edward T. Garcia  
Title: Managing Member  
Dated: 8.29.17

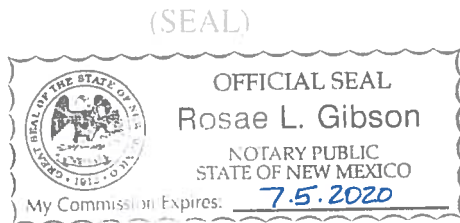
**CITY OF ALBUQUERQUE:**

By: [Signature]  
Shahab Biazar, P.E., City Engineer  
Dated: 9/11/17

**OWNER'S ACKNOWLEDGMENT**

STATE OF NEW MEXICO                    )  
                                                          )ss  
COUNTY OF BERNALILLO            )

This instrument was acknowledged before me on this 29 day of August,  
2017, by Edward T. Garcia (name of person signing permit),  
Managing Member (title of person signing permit) of  
Guadalquivir (Owner).



[Signature]  
Notary Public  
My Commission Expires: 7.5.2020

**CITY'S ACKNOWLEDGMENT**

STATE OF NEW MEXICO                    )  
                                                          )ss  
COUNTY OF BERNALILLO            )

This instrument was acknowledged before me on this 11<sup>th</sup> day of  
September, 2017, by Shahab Biazar, P.E., City Engineer, of the City of Albuquerque,  
a municipal corporation, on behalf of said corporation.

[Signature]  
Notary Public  
My Commission Expires: March 15, 2021



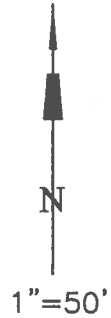
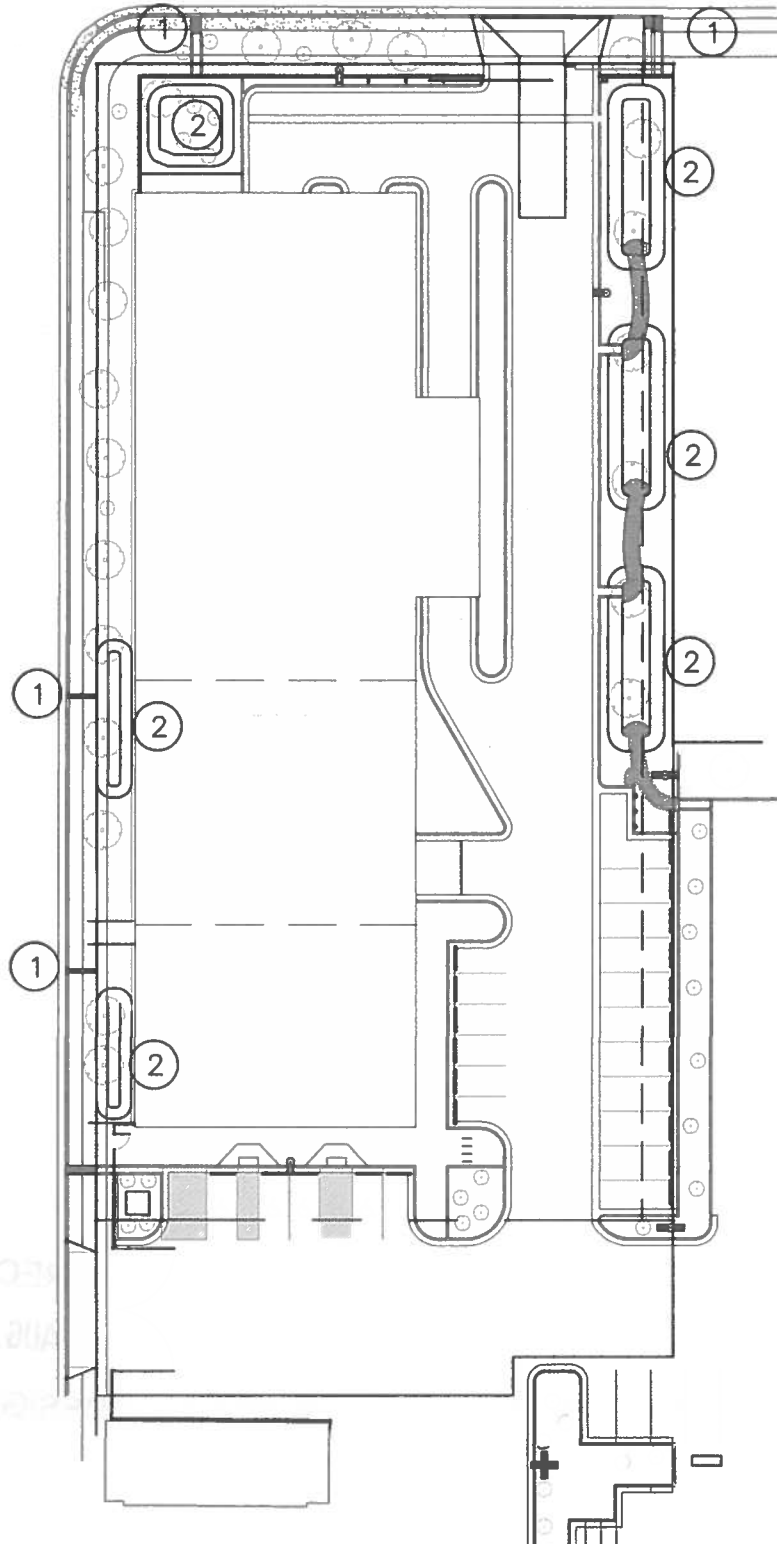
**(EXHIBIT A ATTACHED)**

# EXHIBIT A

LOTS 19-24, BLK 24, UNIT A,  
EAST END ADDITION

**MARBLE AVENUE NE**

**UTAH STREET NE**



## KEYED NOTES

- 1. POND OUTLET FACILITIES
- 2. RETENTION POND



**BORDENAVE DESIGNS**

P.O. BOX 91194, ALBUQUERQUE, NM 87189  
(505)823-1344 FAX (505)821-9105