

CITY OF ALBUQUERQUE



October 20, 2017

Van H Gilbert Architect PC
Kevin Degraauw
2428 Baylor Dr SE
Albuquerque, NM 87106

Re: Honda Gen-3
8301 Lomas Blvd NE
Traffic Circulation Layout
Engineer's/Architect's Stamp 10-20-17 (J19-D072)

Dear Mr. Degraauw,

Based upon the information provided in your submittal received 10-19-17, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please list the width and length for all existing and proposed parking spaces. Some dimensions are not shown. On Sheet TCL-104 please add dimensions for the existing parking spaces. For example the 30 pace islands add the size for the parking spaces.
2. Show all drive aisle widths and radii. Some dimensions are not shown. Please add dimensions on the existing drive aisles.
3. One-way vehicular paths require pavement directional signage and a posted **"Do Not Enter"** sign at the point of egress. Please show detail and location of posted signs. The aisle next to the ADA parking spots appears to be less than 24 feet for two way travel.
4. Show the clear sight triangle and add the following note to the plan:
"Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle. The vehicle display on the corner of Virginia St and Lomas Blvd look to be in the 35 feet clear site triangle."

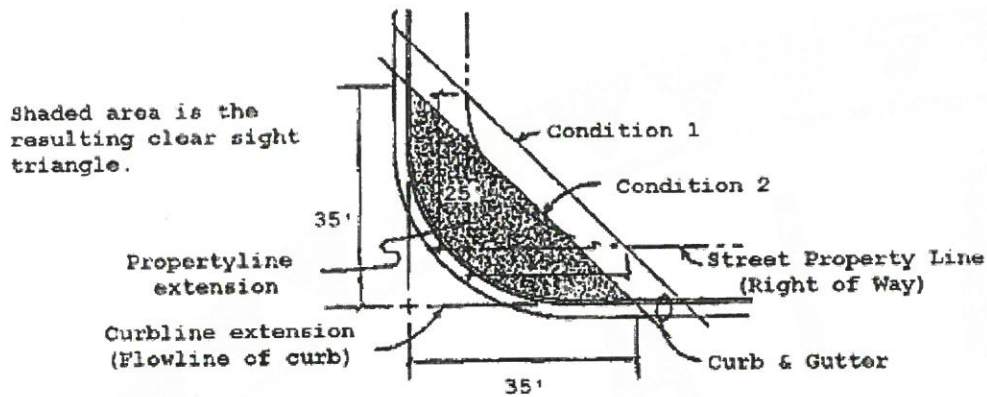
PO Box 1293

Albuquerque

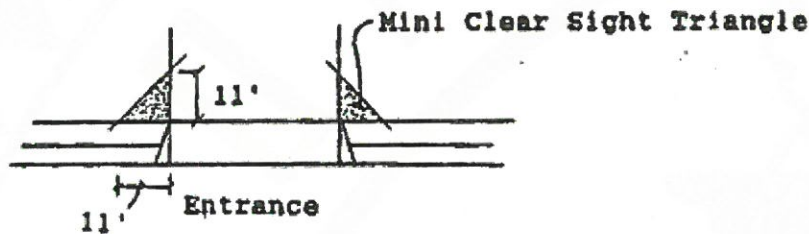
NM 87103

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CITY OF ALBUQUERQUE



Please show the mini sight triangle for the drive entrances as well.



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Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact me at 924-3630.

Sincerely,

Logan Patz
Senior Engineer, Planning Dept.
Development Review Services

LWP via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

Project Title: Honda Gen-3 **Building Permit #:** _____ **Hydrology File #:** 1A DOT
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: LT 18-A-1-A Block 24 Plat of Lots 5-A, 7-A, 18-A-1-A Block 24 & Lot 13-A, A5-A & 18-1-A
City Address: and Pending Lots 19-24 Block 25 East Addition
8301 Lomas Boulevard NE, Albuquerque, NM 87110
Applicant: Garcia Automotive **Contact:** _____
Address: PO Box 26207, Albuquerque, NM 87125
Phone#: _____ **Fax#:** _____ **E-mail:** _____
Other Contact: Van H. Gilbert Architect PC **Contact:** Kevin DeGrauw
Address: 2428 Baylor Drive SE, Albuquerque, NM 87106
Phone#: (505)247-9955 **Fax#:** (505)247-1826 **E-mail:** ~~kuice@vhgarchitect.com~~
kdegrauw@vhgarchitect.com

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

OTHER (SPECIFY) _____

DATE SUBMITTED: 10/19/17 By: [Signature]

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

THE PROJECT IS LOCATED AT 8301 LOMAS BOULEVARD IN THE NORTHEAST QUADRANT OF ALBUQUERQUE. LOMAS BOULEVARD ABUTS THE SITE TO THE SOUTH, WITH NEIGHBORHOOD STREETS ABUTTING BOTH THE EAST AND WEST SIDES (UTAH STREET TO THE WEST AND VIRGINIA STREET TO THE EAST). A SMALL GROUP OF RESIDENTIAL PROPERTIES ARE IMMEDIATELY TO THE NORTH OF THE SITE AND INTERSTATE 40 IS A MAJOR BOUNDARY JUST NORTH OF RESIDENTIAL AREA. WYOMING BOULEVARD IS EAST OF THE SITE.

THE SITE IS SURROUNDED BY ACTIVE BUSINESSES, RETAIL SPACES, AND VIBRANT CAR DEALERSHIPS SO THE USAGE IS FITTING FOR THE AREA. THE SITE IS WELL BUFFERED BY EXISTING LANDSCAPING AND FENCE BUFFERS AS REQUIRED IN A C-2 ZONING CLASSIFICATION WHERE ADJACENT TO AN R-1 ZONING CLASSIFICATION. THERE CURRENTLY ARE NO SECTOR DEVELOPMENT PLANS THAT OVERLAY THIS SITE, ONLY A COMPREHENSIVE PLAN AREA: ESTABLISHED URBAN. STANDARD C-2 REGULATIONS WILL APPLY AND THE WORK BEING APPLIED FOR WILL MEET THE CRITERIA FOR PARKING AND DEVELOPMENT AS OUTLINED IN THE CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE.

AN EXISTING HONDA DEALERSHIP IS CURRENTLY LOCATED ON THE SITE. THE DEALER SPACE NEEDS TO BE REMODELED AND THE SERVICE DEPARTMENT EXPANDED AS SHOWN WITH THIS DRAWING PACKAGE. RECENTLY A STRIP OF RESIDENTIAL PROPERTIES TO THE NORTH WERE DEMOLISHED AND THE SITE WAS COMBINED INTO THE C-2 PROPERTY. THIS NOW EXTENDS THE SITE NORTH TO MARBLE AVENUE. WITH THIS LAND ADDITION, A SERVICE DEPARTMENT BUILDING CAN BE ADDED AS SHOWN IN THE DRAWING HERE.

THE CONCEPT FOR THIS SITE DEVELOPMENT IS TO FOLLOW A TYPICAL BRAND NAME CAR DEALERSHIP LAYOUT, WITH EXISTING RETAIL AND NEW CAR SALES FRONTING LOMAS AND UTAH, AND TO ALLOW THE SERVICE AND PARTS DEPARTMENT TO EXPAND TO THE NORTH FROM THE RETAIL ZONE. CUSTOMERS MAY ENTER ALONG LOMAS OR ALONG UTAH. THIS UTAH DRIVEWAY ALLOWS FOR ONE-TO-ONE SERVICE EXPERIENCE FOR THE OWNERS. THEY CAN GO TO THEIR CAR SERVICE, PICK UP A PART OR ACCESSORY, AND ALSO SHOP FOR CARS. THE NEW STREET DRIVE PADS AT UTAH ARE SET BACK FAR ENOUGH FROM THE LOMAS INTERSECTION TO ALLOW FOR PROPER APPROACHES, AND VISION TRIANGLES WERE SET UP IN THE LOCATION OF THE NEW BUILDING TO INCREASE SAFETY.

TRAFFIC WOULD CONTINUE TO USE THE EXISTING SUCCESSFUL PARKING AND CIRCULATION LAYOUT AS IS, WITH THE ONLY MODIFICATIONS BEING IMMEDIATELY ADJACENT TO THE NORTH AND ALONG THE NEW BUILDING. TWO-WAY TRAFFIC IS USED AT EVERY DRIVE LANE POSSIBLE TO EASE IN VEHICULAR SITE ACCESS, AND PEDESTRIAN FRIENDLY PATHS ONLY CROSS THESE TRAFFIC LANES AT PERPENDICULAR ANGLES.

THERE SHOULD BE LITTLE TO NO IMPACT TO ADJACENT SITES AS THIS CONTINUES TO BE A SUCCESSFUL CAR DEALERSHIP THAT HAS WORKED WELL FOR YEARS AT THIS LOCATION. LESS IMPACT IS ACTUALLY FELT AS THERE ARE LESS IMMEDIATE ADJACENT RESIDENTIAL PROPERTIES THAT SHARE PROPERTY LINES. MARBLE AVENUE ACTS AS A BUFFER TO THE NORTH EDGE OF THE SITE. NO VARIANCES SHOULD BE REQUESTED FOR THIS WORK TO ALLOW IT TO HAPPEN, AS THIS IS A PERMISSIVE USE OF C-2 AND THIS IS AN ESTABLISHED BUSINESS WITH EXISTING ACCESS POINTS AND AMPLE OFF-STREET PARKING TO BE REUSED.

PROJECT NAME:	HONDA GARCIA GEN 3, REMODELED AUTO DEALERSHIP SALES BUILDING, WITH ADDITIONS (PHASE 2)
UPC:	101905844401540502
OWNER:	SHEILA P. GARCIA
OWNER ADDRESS:	PO BOX 26207 ALBUQUERQUE, NM 87125-6207
LEGAL DESCRIPTION:	LT 18-A-1-A BLK 24 PLAT OF LOTS 5-A, 7-A, 18-A-1-A BLOCK 24 & LOT 13-A, A5-A & 18-1-A AND PENDING LOTS 19-24 BLOCK 25 EAST ADDITION

ZONE ATLAS MAP: J-19-Z
ZONE CLASSIFICATION: C-2

NOTE: TOTAL COMBINED ACREAGE OF ENTIRE SITE: 5.6 AC

SERVICE USES (#27): 8,355 SF / 200 = 42
OFFICES (#21): 11,098 SF / 200 = 55

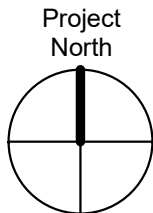
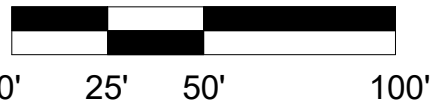
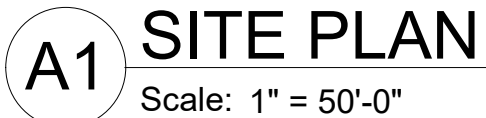
TOTAL:	97
LESS 10% BUS DISCOUNT:	<u>10</u>
TOTAL REQUIRED:	<u>87</u>

PARKING PROVIDED ON LOT:	81
SERVICE BAYS/INTERIOR:	<u>37</u>
TOTAL PARKING PROVIDED:	118

HANDICAPPED PARKING SPACES REQUIRED: 04
HANDICAPPED PARKING SPACES PROVIDED: 04

MOTORCYCLE SPACES REQUIRED: 03
MOTORCYCLE SPACES PROVIDED: 03

BICYCLE SPACES REQUIRED: 14 / 20 = 04
BICYCLE SPACES PROVIDED: 04



1	PROPERTY LINE
2	EXISTING RESIDENTIAL PROPERTIES
3	EXISTING SITE WALL, TYPICAL
4	EXISTING METAL FENCE
5	EXISTING METAL GATE
6	EXISTING SIDEWALK, CURB, AND GUTTER, TYPICAL
7	EXISTING DRIVEWAY ENTRANCE
8	EXISTING LANDSCAPING, TYPICAL
9	EXISTING LIGHT POLE
10	EXISTING TREE / PLANTINGS, TYPICAL
11	EXISTING FIRE HYDRANT
12	EXISTING PUBLIC STREET
13	EXISTING STOP SIGN / STREET SIGN
14	EXISTING DUMPSTER
15	EXISTING TRANSFORMER
16	EXISTING BUS STOP
17	EXISTING STRIPING TO REMAIN
18	EXISTING CURB AND GUTTER, TYPICAL
19	EXISTING 24" x 48" TRUNCATED DOME MAT AND ADA RAMP
20	EXISTING POWER POLE
21	EXISTING PAVEMENT MARKINGS
22	EXISTING SLIDING METAL GATE
23	RELOCATED LIGHT POLE
24	NEW 24" x 48" TRUNCATED DOME MAT, REPLACE RAMP TO CABO STANDARDS IF EXISTING RAMP IS NOT UP TO CODE CODE
25	NEW PAVEMENT SIGNAGE, TYPICAL; REFER: A3/TC1-102
26	NEW ASPHALT PATCH AND REPAIR AT CURB/GUTTER, TYPICAL
27	NEW PARKING SPACE STRIPING, TYPICAL
28	NEW HC RAMP, REFER: A2/TC1-102
29	NEW PAVEMENT MARKINGS, TYPICAL; REFER: C5/TC1-102
30	NEW LIGHT POLE
31	NEW LANDSCAPING, TYPICAL
32	NEW ADA PARKING SIGNAGE, REFER: A5 AND C2/TC1-102
33	NEW BICYCLE RACK, REFER: C3/TC1-102
34	NEW ASPHALT PAVING, TYPICAL; REFER: B5/TC1-102
35	NEW 6" THICK CONCRETE SIDEWALK
36	NEW 6" CONCRETE CURB AND GUTTER, TYPICAL; REFER: B2/TC1-102
37	NEW MOTORCYCLE SIGNAGE, REFER: C2 AND A5/TC1-102

ARCHITECTURE • INTERIORS • PLANNING



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Web Site www.vhgarchitect.com

CONSULTANTS

PROJECT

GARCIA AUTOMOTIVE
GROUP
GARCIA HONDA
GENERATION 3
DEALERSHIP
RENOVATION -
PHASE I

ADDRESS

8301 LOMAS BLVD,
ALBUQUERQUE, NM
87110

PERMIT SET



10-20-2017



DESIGNED
TO EARN THE
ENERGY STAR

The estimated energy performance for this design meets US EPA criteria. The building will be eligible for ENERGY STAR after maintaining superior performance for one year.

Mark	Date	Description
Date	OCTOBER 201	
Project Number	1591	
Drawn By	MO	
Checked By	KD, MI	
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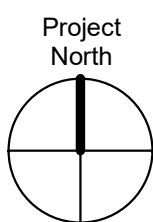
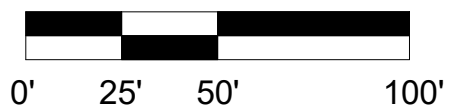
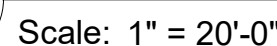
SHEET TITLE

TRAFFIC CIRCULATION LAYOUT - PHASE 2

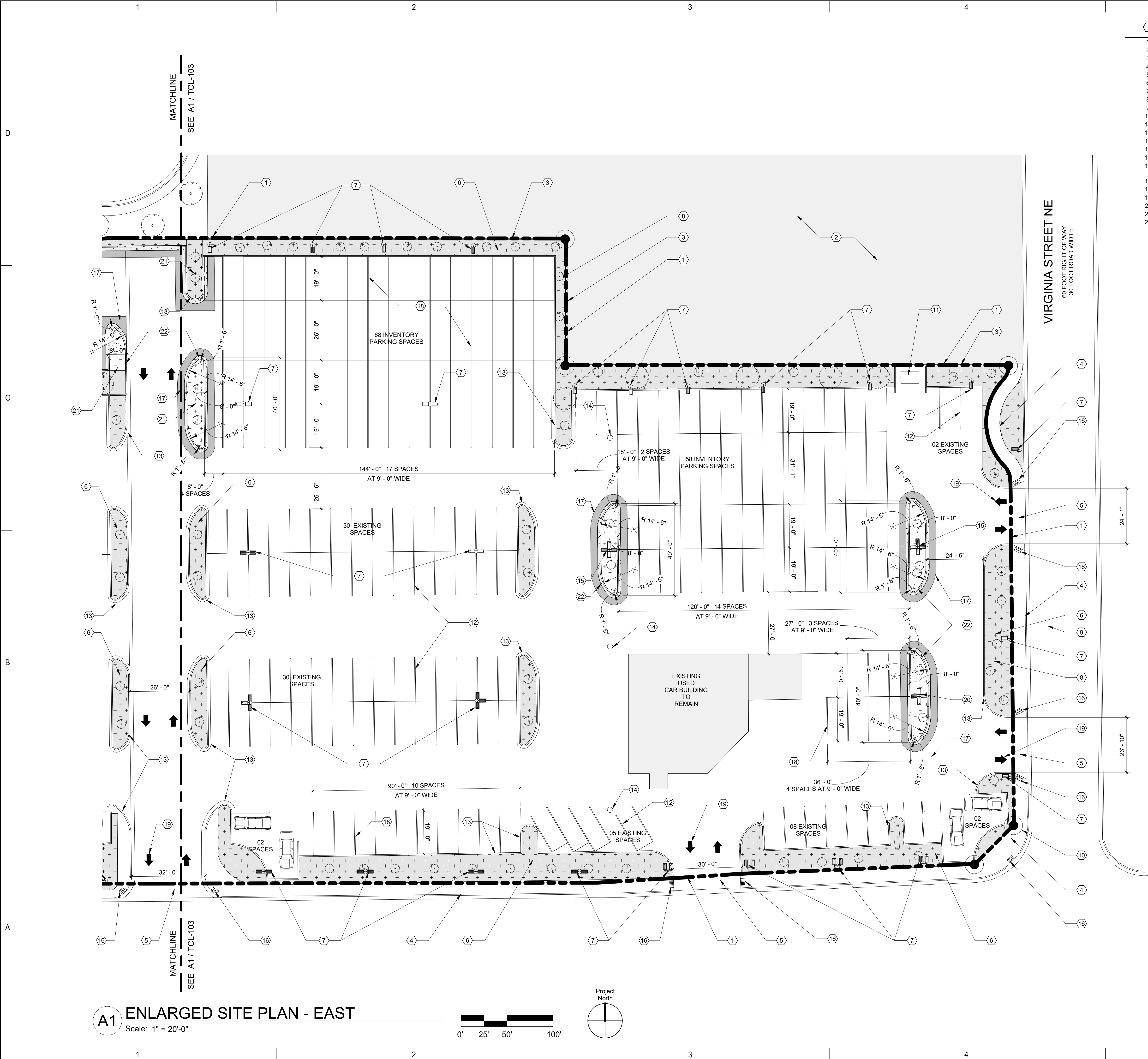
TCL-101



TCL-103



10/17/2017 2:47:27 PM C:\Users\mlee\Documents\REVIT LOCAL\15918 Garcia Honda Gen III\15918 - GARCIA HONDA GEN III_MAIN BUILDING_Phase I_Mlee.rvt



SHEET KEYNOTES - TCL-104

- 1 PROPERTY LINE
- 2 EXISTING RESIDENTIAL PROPERTIES
- 3 EXISTING SITE WALL, TYPICAL
- 4 EXISTING SIDEWALK, CURB, AND GUTTER, TYPICAL
- 5 EXISTING DRIVEWAY ENTRANCE
- 6 EXISTING LANDSCAPING, TYPICAL
- 7 EXISTING LIGHT POLE
- 8 EXISTING TREE / PLANTINGS, TYPICAL
- 9 EXISTING PUBLIC STREET
- 10 EXISTING STOP SIGN / STREET SIGN
- 11 EXISTING DUMPSTER
- 12 EXISTING STRIPING TO REMAIN
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- 14 EXISTING POWER POLE
- 15 RELOCATED LIGHT POLE
- 16 NEW 24" x 48" TRUNCATED DOME MAT, REPLACE RAMP TO CABO STANDARDS IF EXISTING RAMP IS NOT UP TO CODE CODE
- 17 NEW ASPHALT PATCH AND REPAIR AT CURB/GUTTER, TYPICAL
- 18 NEW PARKING SPACE STRIPING, TYPICAL
- 19 NEW PAVEMENT MARKINGS, TYPICAL; REFER: C5/TCL-102
- 20 NEW LIGHT POLE
- 21 NEW LANDSCAPING, TYPICAL
- 22 NEW 6" CONCRETE CURB AND GUTTER, TYPICAL; REFER: D1/TCL-102

Van H. Gilbert Architect PC
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GENERATION 3
DEALERSHIP
RENOVATION -
PHASE I

ADDRESS

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ALBUQUERQUE, NM
87110

PERMIT SET



10-20-2017



Mark	Date	Description
	OCTOBER 2017	
Project Number	15918	
Drawn By	MOL	
Checked By	KD, MB	
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SHEET TITLE

ENLARGED PLAN -
PHASE 2

TCL-104

SHEET 4 OF 4