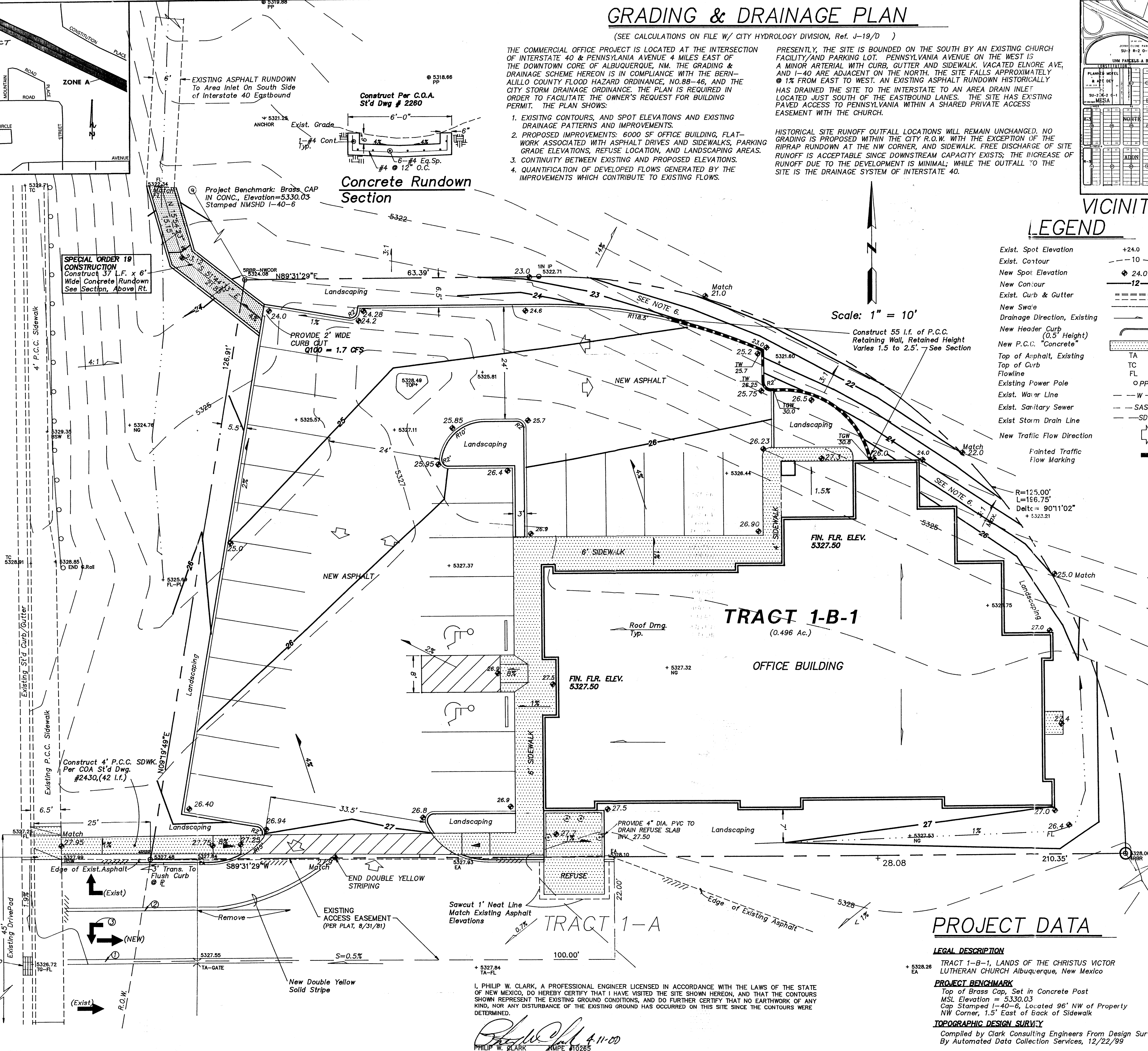


FIRM MAP
PANEL # 358

Pennsylvania Avenue NE
(R.O.W. Varies)

Relocate North Curb Cut
5' To South, Reconstruct
P.C.C. Drive Pad Per
City St'd Dwg. #2425

Exist. Drop
Inlet



GRADING & DRAINAGE PLAN

(SEE CALCULATIONS ON FILE W/ CITY HYDROLOGY DIVISION, Ref. J-19/D)

THE COMMERCIAL OFFICE PROJECT IS LOCATED AT THE INTERSECTION OF INTERSTATE 40 & PENNSYLVANIA AVENUE 4 MILES EAST OF THE DOWNTOWN CORE OF ALBUQUERQUE, NM. THE GRADING & DRAINAGE SCHEME HEREON IS IN COMPLIANCE WITH THE BERNALILLO COUNTY FLOOD HAZARD ORDINANCE, NO.88-46, AND THE CITY STORM DRAINAGE ORDINANCE. THE PLAN IS REQUIRED IN ORDER TO FACILITATE THE OWNER'S REQUEST FOR BUILDING PERMIT. THE PLAN SHOWS:

1. EXISTING CONTOURS, AND SPOT ELEVATIONS AND EXISTING DRAINAGE PATTERNS AND IMPROVEMENTS.
2. PROPOSED IMPROVEMENTS: 6000 SF OFFICE BUILDING, FLAT-WORK ASSOCIATED WITH ASPHALT DRIVES AND SIDEWALKS, PARKING GRADE ELEVATIONS, REFUSE LOCATION, AND LANDSCAPING AREAS.
3. CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
4. QUANTIFICATION OF DEVELOPED FLOWS GENERATED BY THE IMPROVEMENTS WHICH CONTRIBUTE TO EXISTING FLOWS.

PRESENTLY, THE SITE IS BOUNDED ON THE SOUTH BY AN EXISTING CHURCH FACILITY AND PARKING LOT. PENNSYLVANIA AVENUE ON THE WEST IS A MINOR ARTERIAL WITH CURB, GUTTER AND SIDEWALK. VACATED ELMORE AVE. AND I-40 ARE ADJACENT ON THE NORTH. THE SITE FALLS APPROXIMATELY 1% FROM EAST TO WEST. AN EXISTING ASPHALT RUNDOWN HISTORICALLY HAS DRAINED THE SITE TO THE INTERSTATE TO AN AREA DRAIN INLET LOCATED JUST SOUTH OF THE EASTBOUND LANES. THE SITE HAS EXISTING PAVED ACCESS TO PENNSYLVANIA WITHIN A SHARED PRIVATE ACCESS EASEMENT WITH THE CHURCH.

HISTORICAL SITE RUNOFF OUTFALL LOCATIONS WILL REMAIN UNCHANGED. NO GRADING IS PROPOSED WITHIN THE CITY R.O.W. WITH THE EXCEPTION OF THE RIPRAP RUNDOWN AT THE NW CORNER, AND SIDEWALK. FREE DISCHARGE OF SITE RUNOFF IS ACCEPTABLE SINCE DOWNSTREAM CAPACITY EXISTS; THE INCREASE OF RUNOFF DUE TO THE DEVELOPMENT IS MINIMAL; WHILE THE OUTFALL TO THE SITE IS THE DRAINAGE SYSTEM OF INTERSTATE 40.

Concrete Rundown Section

Construct Per C.O.A.
St'd Dwg # 2280

EXISTING ASPHALT RUNDOWN
To Area Inlet On South Side
of Interstate 40 Eastbound

Project Benchmark: Brass CAP
IN CONC., Elevation=5330.03
Stamped NMSHD I-40-6

SPECIAL ORDER 19
CONSTRUCTION
Construct 37' L.F. x 6' Wide
Concrete Rundown
See Section, Above Rt.

PROVIDE 2' WIDE
CURB CUT
Q100 = 1.7 CFS

Scale: 1" = 10'

Construct 55' L.F. of P.C.C.
Retaining Wall, Retained Height
Varies 1.5 to 2.5'. See Section

VICINITY MAP ZONE J-19 Scale: 1" = 750'

LEGEND

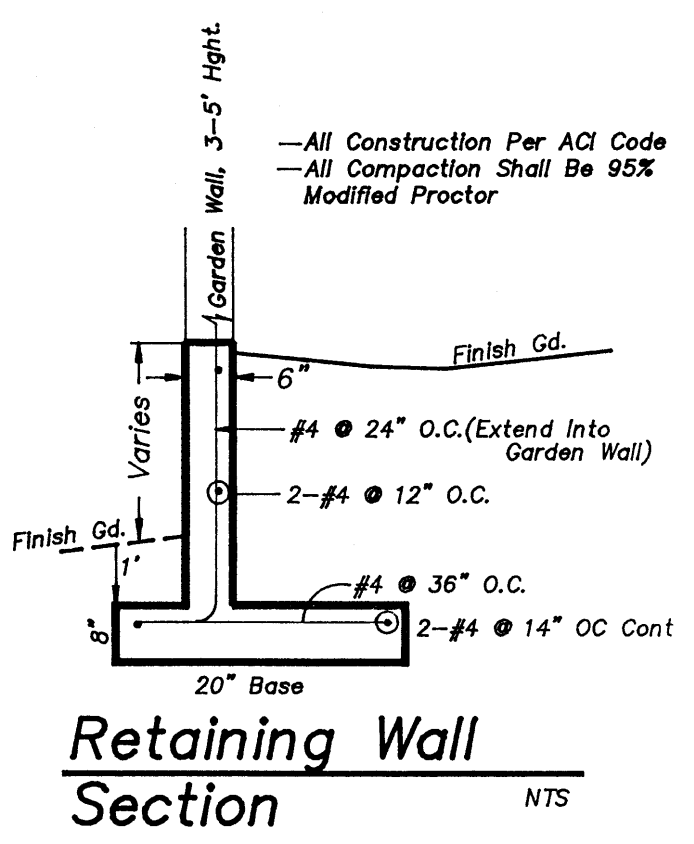
- Exist. Spot Elevation +24.0
- Exist. Contour -10
- New Spot Elevation 24.0
- New Contour 12
- Exist. Curb & Gutter
- New Swale Drainage Direction, Existing
- New Header Curb (0.5' Height)
- New P.C.C. "Concrete"
- Top of Asphalt, Existing
- Top of Curb
- Flowline
- Existing Power Pole
- Exist. Water Line
- Exist. Sanitary Sewer
- Exist. Storm Drain Line
- New Traffic Flow Direction
- Fainted Traffic Flow Marking

NOTES

- "Calculations" On File With City Hydrology Division J-19/073
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TRANSPORTATION KEYED NOTES

- 1 Existing Double Yellow Striping
- 2 Existing Solid White Stripe - Remove and replace w/ Double Yellow Stripe
- 3 Remove Left-Turn Arrow, Replace With White Traffic Arrow



Retaining Wall
Section

PROJECT DATA

LEGAL DESCRIPTION

TRACT 1-B-1, LANDS OF THE CHRISTUS VICTOR LUTHERAN CHURCH Albuquerque, New Mexico

PROJECT BENCHMARK

Top of Brass Cap, Set in Concrete Post
MSL Elevation = 5330.03
Cap Stamped I-40-6, Located 96' NW of Property NW Corner, 1.5' East of Back of Sidewalk

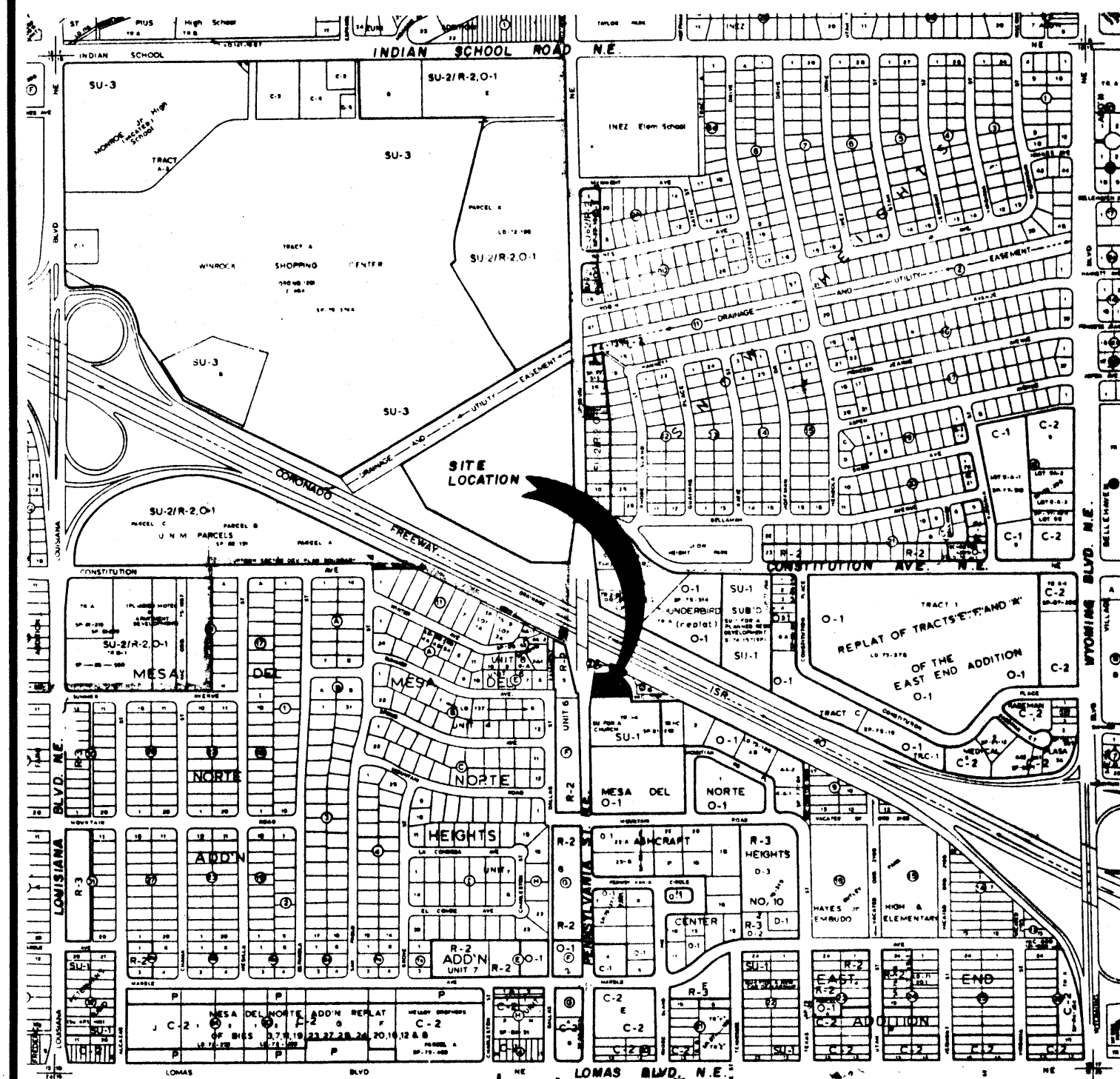
TOPOGRAPHIC DESIGN SURVEY

Compiled by Clark Consulting Engineers From Design Survey By Automated Data Collection Services, 12/22/99

I, PHILIP W. CLARK, A PROFESSIONAL ENGINEER LICENSED IN ACCORDANCE WITH THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT I HAVE VISITED THE SITE SHOWN HEREON, AND THAT THE CONTOURS SHOWN REPRESENT THE EXISTING GROUND CONDITIONS, AND DO FURTHER CERTIFY THAT NO EARTHWORK OF ANY KIND, NOR ANY DISTURBANCE OF THE EXISTING GROUND HAS OCCURRED ON THIS SITE SINCE THE CONTOURS WERE DETERMINED.

PHILIP W. CLARK
NEW MEXICO
4-11-00
#10285

Clark Consulting Engineers		19 Ryan Road Edgewood, New Mexico 87015	
Tel: (505) 281-2444		Fax: (505) 281-2444	
DATE	REVISION	TRACT 1-B-1, LANDS OF THE CHRISTUS VICTOR LUTHERAN CHURCH	
1-19-00	Revised Site Plan	TUAN OFFICE BUILDING	
3-15-00	Addr. City Cmts	1240 Pennsylvania NE	
3-31-00	"	Grading & Drainage/Transportation Plans	
4-10-00	"		
DESIGNED BY: PWC	DRAWN BY: CCE	JOB #: TUAN_OFF	1 OF 1
CHECKED BY: PWC	DATE: 12/21/99	FILE #: G/D	



VICINITY MAP

NOT TO SCALE
SITE APPEARS ON ZONE ATLAS J-19 (CITY)

SUBDIVISION DATA

1. D.R.B. No. DRB-91-77
2. Zone Atlas Index No. J-19 (City)
3. Gross Subdivision Acreage 0.4959 Acre
4. Total No. of Tracts created None
5. Total No. of Tracts existing 1
6. No streets created or deleted by this plat.
7. Date of Survey: June 3, 1991

NOTES:

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings & distances in parenthesis are record.
4. All corners were found or set as shown on plat.

DISCLOSURE STATEMENT

The purpose of this plat is to eliminate the utility easements retained in vacated Elnore Ave. NE, Vacation Ordinance No. V-458, filed January 22, 1964 which were released by V-91-13, DRB-91-77.

EASEMENTS

1. This Plat shows all easements set forth on Commitment for Title Insurance File No. 40062-A issued by Pioneer National Title Insurance, a Tior Company furnished by client: Edgar D. Schreiner

DESCRIPTION:

Tract 1-B of Plat of Lands of the Christus Victor Lutheran Church, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on August 31, 1981.

FREE CONSENT, DEDICATION

The undersigned owners and proprietors of the property described hereon, do hereby consent to the replatting of said property as shown hereon, and the same is with their free consent and in accordance with their desires.

Edgar T. Schreiner
Edgar T. Schreiner

Emmellenne D. Schreiner
Emmellenne D. Schreiner

ACKNOWLEDGEMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

On this 3rd day of December, 1991, the foregoing instrument was acknowledged before me

by Edgar T. Schreiner and Emmellenne D. Schreiner

My commission expires December 22, 1992

Cheryl Fay Cabret
Notary Public

VACATION PLAT OF
TRACT 1-B-1
LANDS OF THE CHRISTUS
VICTOR LUTHERAN CHURCH
ALBUQUERQUE, NEW MEXICO
(A REPLAT OF TRACT 1-B)
NOVEMBER, 1991

State of New Mexico)
County of Bernalillo) SS
This instrument was filed for record on
11/16/92 JAN 16 1992
At 11:06 o'clock AM. Recorded in Vol. 92C
of records of said County Folio 4
Shirley R. Brown Clerk & Recorder
Deputy Clerk

APPROVALS

sp. 92-3
Subdivision No. _____
Jack Cloud 1/16/92
Planning Director Date
Frank J. Cugin 12/31/91
City Engineer Date
Robert W. Kane 12-31-91
Traffic Engineer Date
FOR John Traka 12-10-91
A.M.A.F.C.A. Date
City Supervisor Date
Robert W. Kane 1/14/92
Real Property Division Date
Robert W. Kane 1-6-92
City Public Works Date
Dustin M. Stone 12-21-91
Parks & Recreation Date

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND

PAID ON UPC # 101905829020140920

PROPERTY OWNER OF RECORD:

Edgar T. & Emmellenne Schreiner

BERNALILLO COUNTY TREASURER'S OFFICE:

Allen Kamm 12-11-91

SURVEYOR'S CERTIFICATION

I, Preston E. Hall, New Mexico Registered Professional Surveyor No. 10,042, do hereby certify that this plat was prepared by me or under my supervision, meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and correct to the best of my belief and knowledge.

Preston E. Hall
Preston E. Hall, N.M.P.S. No. 10,042

SHEET 1 OF 2

HALL SURVEYING CO.

12805 Menaul Blvd. N.E.
Albuquerque, New Mexico 87112
Phone: (505) 292-6727

S-4923 FB 91-2 11/11/91
Client: Edgar Schreiner

VACATION PLAT OF
TRACT I-B-1
LANDS OF THE CHRISTUS
VICTOR LUTHERAN CHURCH
ALBUQUERQUE, NEW MEXICO
(A REPLAT OF TRACT I-B)
NOVEMBER, 1991

-9204095

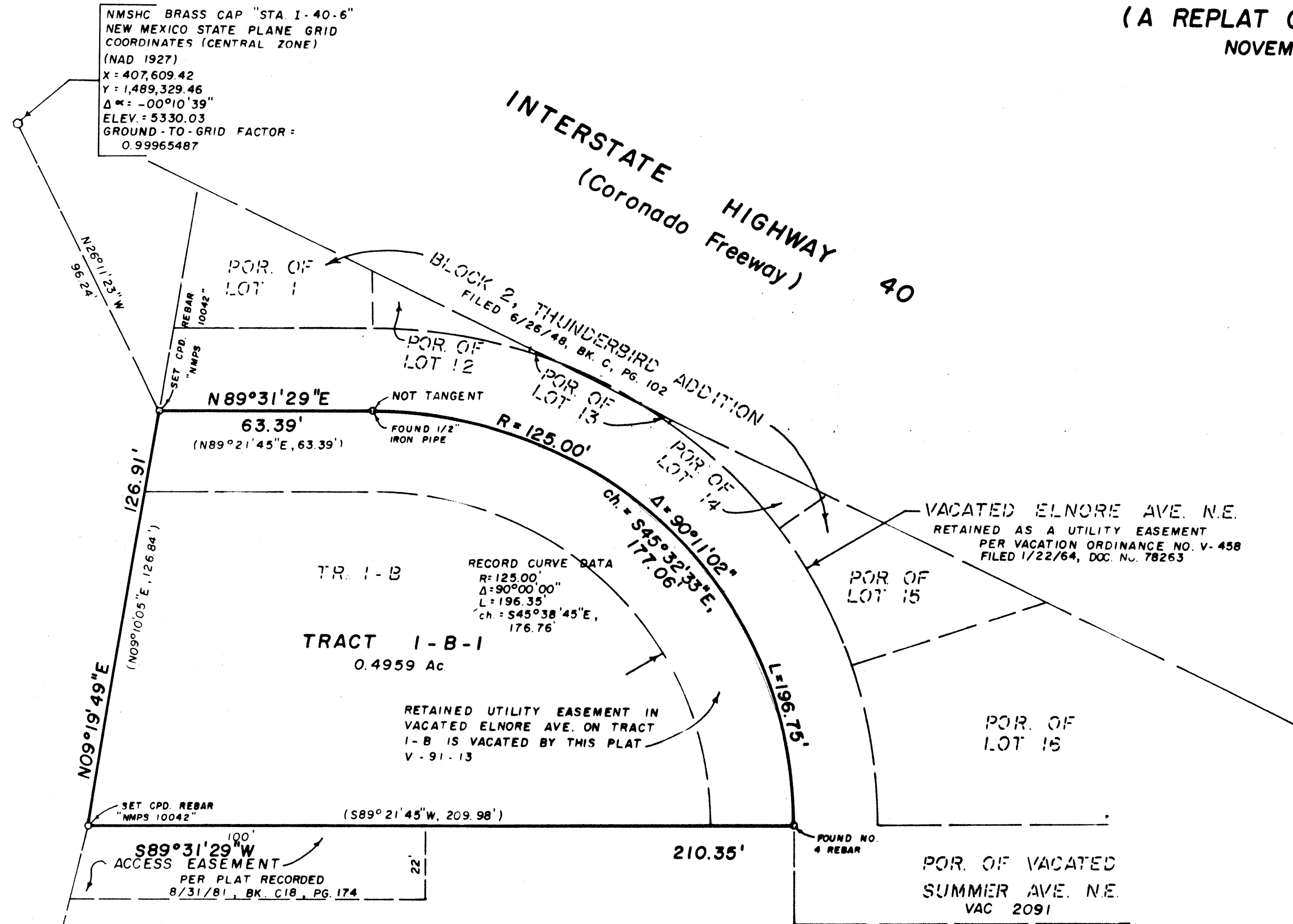
State of New Mexico } SS
County of Bernalillo }
This instrument was filed for record on
11-47 JAN 10 1992
At 10 o'clock P.M. Recorded in Vol. 92C
of records of said County Folio 4
Edgar D. Schreiner Clerk & Recorder
Deputy Clerk

SCALE 1" = 30'

PENNSYLVANIA STREET N.E.

INTERSTATE HIGHWAY 40
(Coronado Freeway)

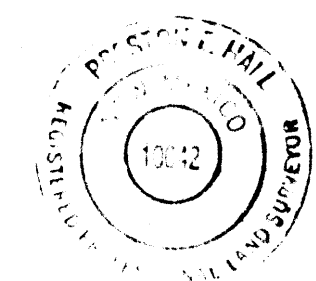
NMSHC BRASS CAP "STA. I-40-6"
NEW MEXICO STATE PLANE GRID
COORDINATES (CENTRAL ZONE)
(NAD 1927)
X = 407,609.42
Y = 1,489,329.46
Δ = -00°10'39"
ELEV. = 5330.03
GROUND-TO-GRID FACTOR =
0.99965487



TRACT I-A
LANDS OF THE CHRISTUS VICTOR LUTHERAN CHURCH
FILED 8/31/81, BK. C18, PG. 174

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I, Preston E. Hall, New Mexico Registered Professional Surveyor No. 10,042,
do hereby certify that this plat was prepared by me or under my supervision,
meets the minimum requirements for monumentation and surveys contained in the
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Preston E. Hall, N.M.P.S. No. 10,042



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Albuquerque, New Mexico 87112
Phone: (505) 292-6727
S-4923 FB 91-2 11/11/91
Client: Edgar Schreiner

92C-4(2)

92C-4(2)

GRADING & DRAINAGE PLAN

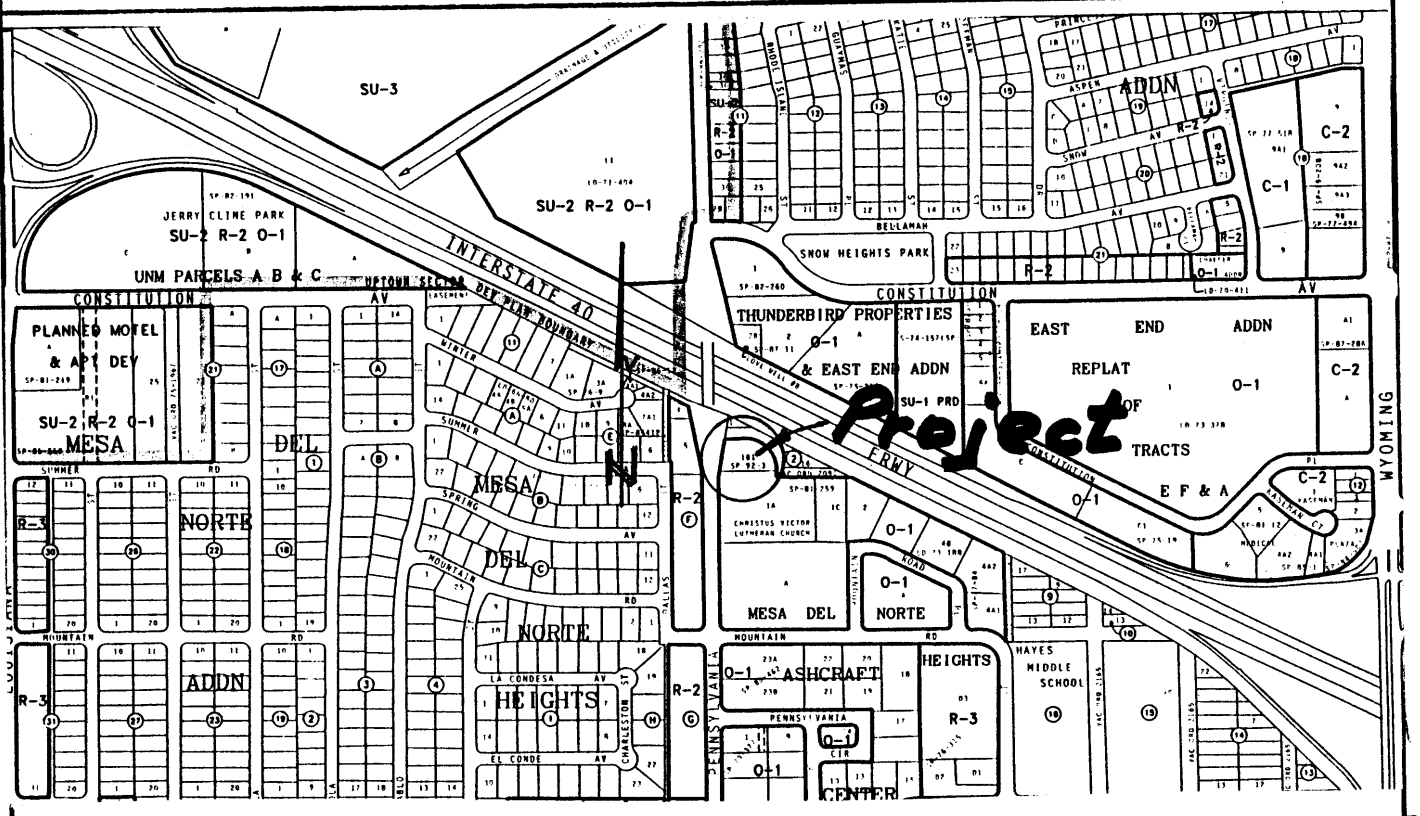
(SEE CALCULATIONS ON FILE W/ CITY HYDROLOGY DIVISION, Ref. J-19/D)

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VICINITY MAP ZONE J-19

LEGEND

- Exist. Spot Elevation +24.0
- Exist. Contour -10
- New Spot Elevation +24.0
- New Contour -12
- Exist. Curb & Gutter
- New Swale
- Drainage Direction, Existing
- New Header Curb (0.5' Height)
- New P.C.C. "Concrete"
- Top of Asphalt, Existing
- Top of Curb
- Flowline
- Existing Power Pole
- Exist. Water Line
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- Exist. Storm Drain Line
- New Traffic Flow Direction
- Painted Traffic Flow Marking

NOTES

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 - 3 Remove Left-Turn Arrow-Replace w/ white Traffic Arrow
- All Construction Per AGC Code
--All Compaction Shall Be 95% Modified Proctor

Retaining Wall Section



PROJECT DATA

LEGAL DESCRIPTION

TRACT 1-B-1, LANDS OF THE CHRISTUS VICTOR LUTHERAN CHURCH Albuquerque, New Mexico

PROJECT BENCHMARK

Top of Brass Cap, Set in Concrete Post
MSL Elevation = 5330.03
Cap Stamped I-40-6, Located 96' NW of Property NW Corner, 1.5' East of Back of Sidewalk

TOPOGRAPHIC DESIGN SURVEY

Compiled by Clark Consulting Engineers From Design Survey By Automated Data Collection Services, 12/22/99

Clark Consulting Engineers

19 Ryan Road Edgewood, New Mexico 87015

Tele: (505) 281-2444 Fax: (505) 281-2444

DATE REVISION 1-19-00 Revised Site Plan

3-15-00 Add City Code

3-31-00 HLU

DESIGNED BY: PWC DRAWN BY: CCE JOB #: TUAN-00

CHECKED BY: PWC DATE: 12/21/99 FILE #: G/D

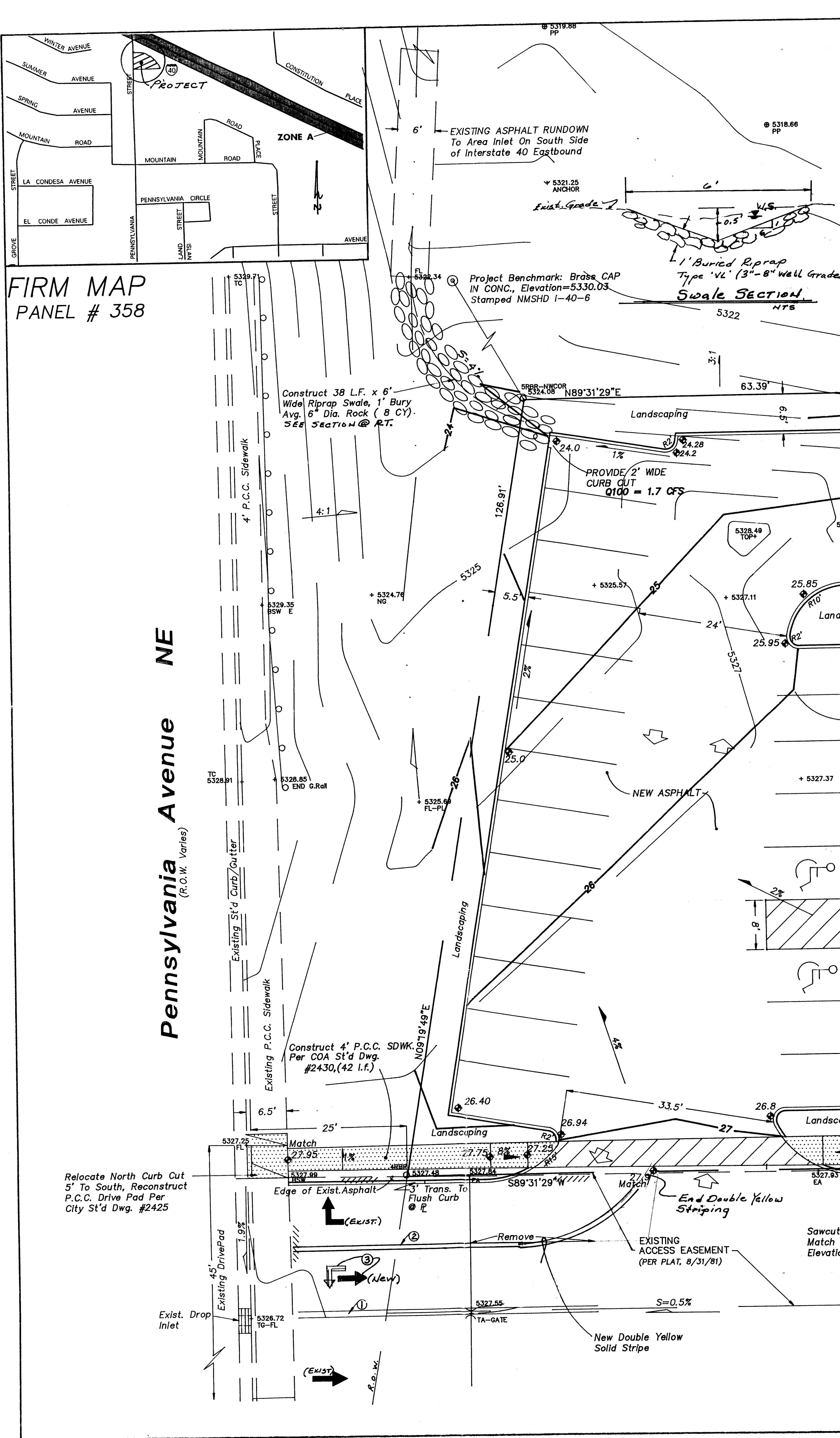
1 OF 1

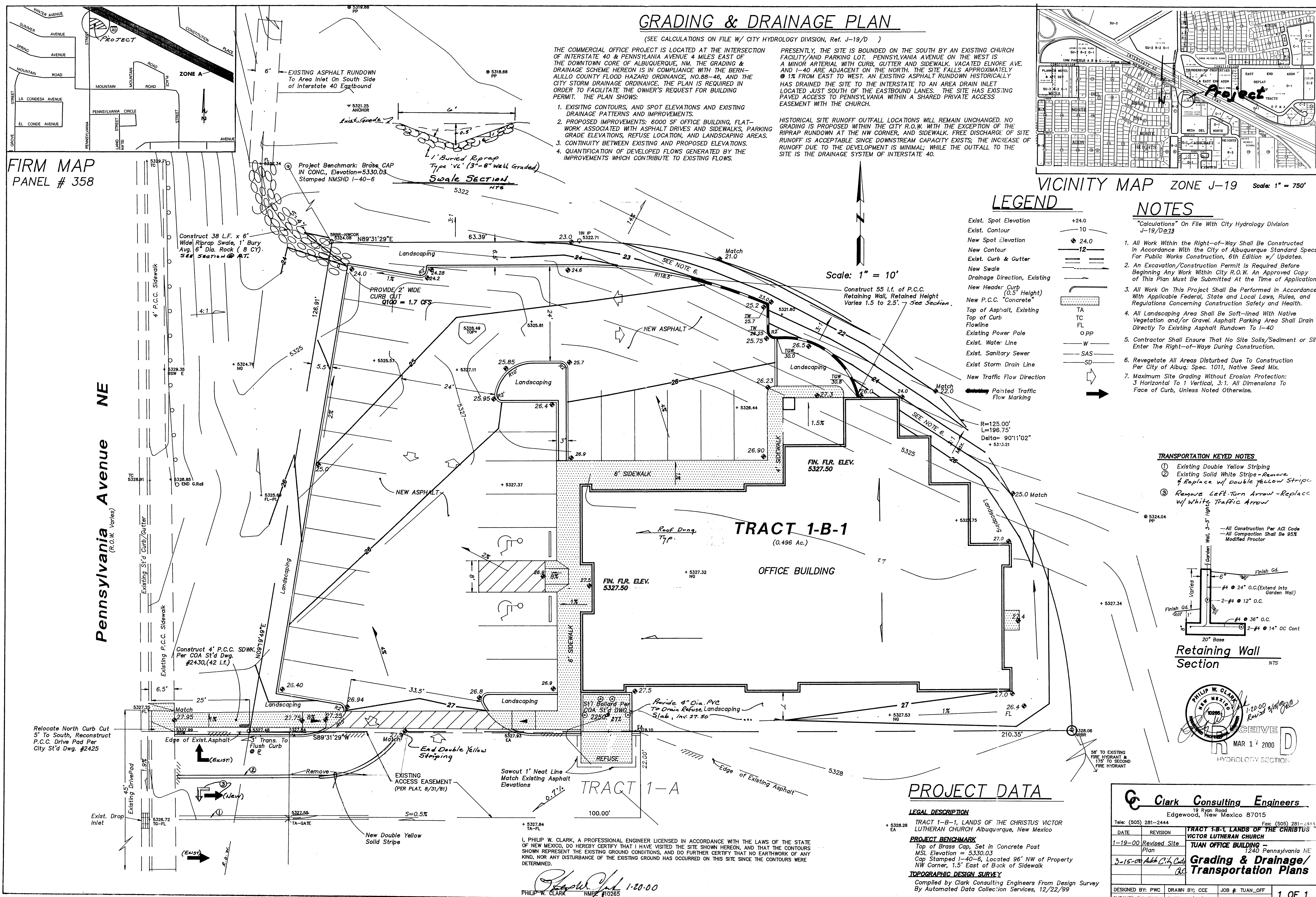
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Philip W. Clark 1-20-00
NMP #10265

FIRM MAP
PANEL # 358

Pennsylvania Avenue NE
(R.O.W. Varies)





GRADING & DRAINAGE PLAN

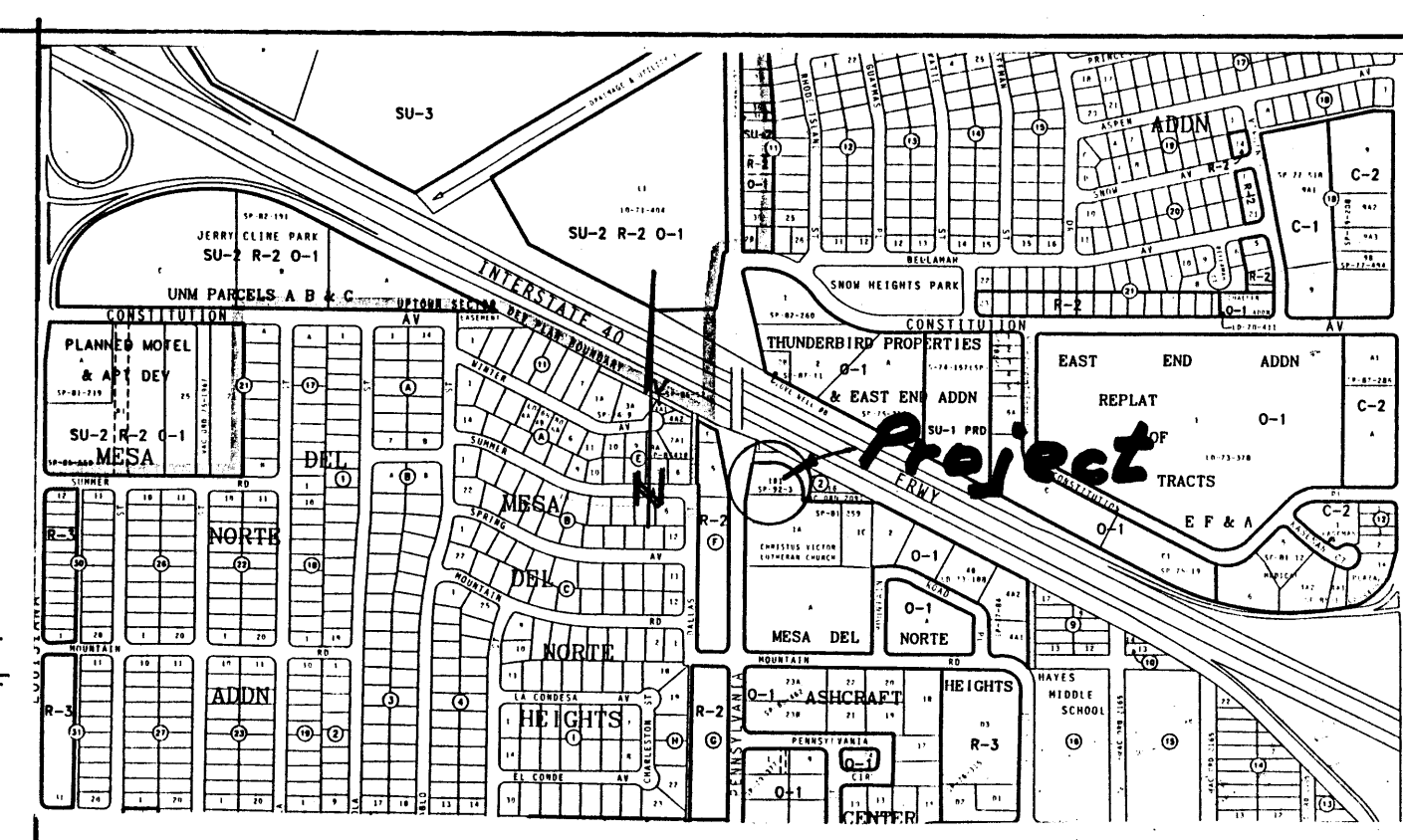
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New Swale	
Drainage Direction, Existing	
New Header Curb (0.5' Height)	
New P.C.C. "Concrete"	
Top of Asphalt, Existing	TA
Top of Curb	TC
Flowline	FL
Existing Power Pole	OP
Exist. Water Line	W
Exist. Sanitary Sewer	SAS
Exist Storm Drain Line	SD
New Traffic Flow Direction	
Painted Traffic Flow Marking	

NOTES

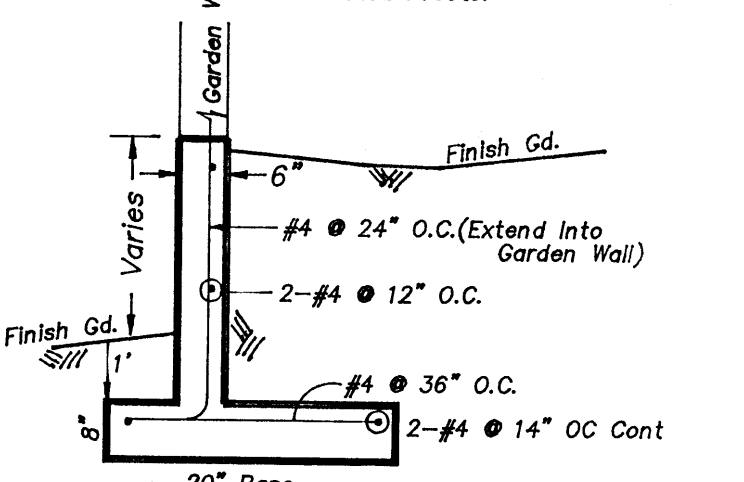
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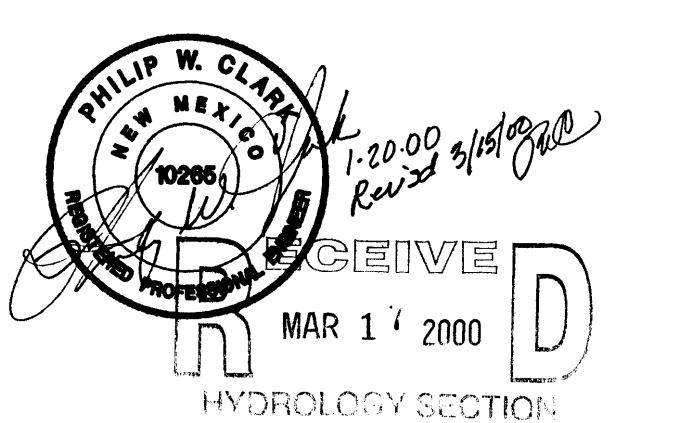
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Retaining Wall Section NTS



PROJECT DATA

LEGAL DESCRIPTION

TRACT 1-B-1, LANDS OF THE CHRISTUS VICTOR LUTHERAN CHURCH Albuquerque, New Mexico

PROJECT BENCHMARK

Top of Brass Cap, Set in Concrete Post
MSL Elevation = 5330.03
Cap Stamped I-40-6, Located 96' NW of Property NW Corner, 1.5' East of Back of Sidewalk

TOPOGRAPHIC DESIGN SURVEY

Compiled by Clark Consulting Engineers From Design Survey By Automated Data Collection Services, 12/22/99

Clark Consulting Engineers 19 Ryn Road Edgewood, New Mexico 87015	
Tele: (505) 281-2444	Fax: (505) 281-2444
DATE	REVISION
1-19-00	Revised Site Plan
3-15-00	Add City Code
TRACT 1-B-1, LANDS OF THE CHRISTUS VICTOR LUTHERAN CHURCH TUAN OFFICE BUILDING - 1240 Pennsylvania NE Grading & Drainage/Transportation Plans	
DESIGNED BY: PWC	DRAWN BY: OCE
CHECKED BY: PWC	DATE: 12/21/99
JOB #: TUAN_OFF	FILE #: Q/D
1 OF 1	

I, PHILIP W. CLARK, A PROFESSIONAL ENGINEER LICENSED IN ACCORDANCE WITH THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT I HAVE VISITED THE SITE SHOWN HEREON, AND THAT THE CONTOURS SHOWN REPRESENT THE EXISTING GROUND CONDITIONS, AND DO FURTHER CERTIFY THAT NO EARTHWORK OF ANY KIND, NOR ANY DISTURBANCE OF THE EXISTING GROUND HAS OCCURRED ON THIS SITE SINCE THE CONTOURS WERE DETERMINED.

Philip W. Clark
1-20-00
PHILIP W. CLARK
NMPE #10265

GRADING & DRAINAGE PLAN

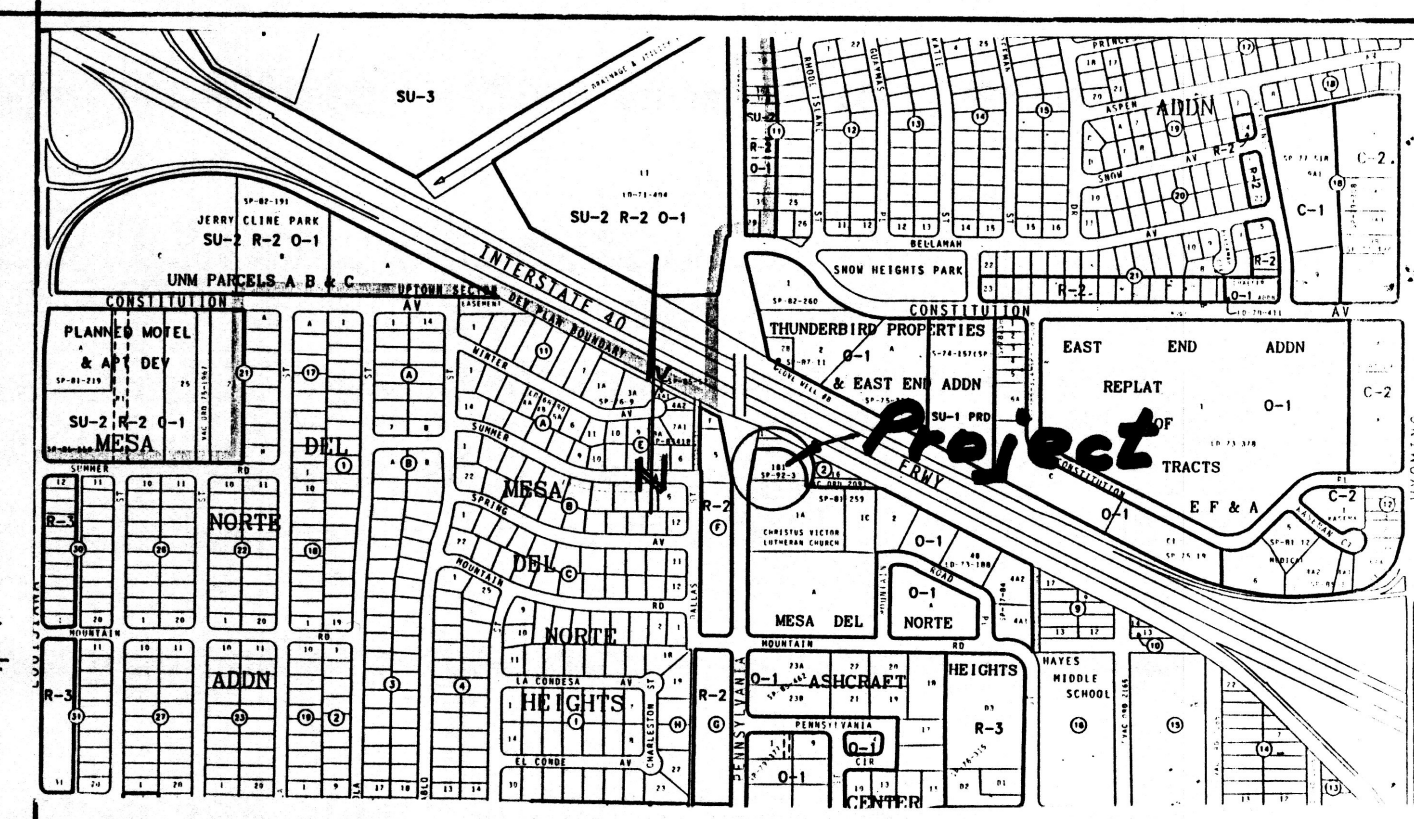
(SEE CALCULATIONS ON FILE W/ QTY HYDROLOGY DIVISION, Ref. J-19/D)

THE COMMERCIAL OFFICE PROJECT IS LOCATED AT THE INTERSECTION OF INTERSTATE 40 & PENNSYLVANIA AVENUE 4 MILES EAST OF THE DOWNTOWN CORE OF ALBUQUERQUE, NM. THE GRADING & DRAINAGE SCHEME HEREON IS IN COMPLIANCE WITH THE BERNALILLO COUNTY FLOOD HAZARD ORDINANCE, NO.88-46, AND THE CITY STORM DRAINAGE ORDINANCE. THE PLAN IS REQUIRED IN ORDER TO FACILITATE THE OWNER'S REQUEST FOR BUILDING PERMIT. THE PLAN SHOWS:

1. EXISTING CONTOURS, AND SPOT ELEVATIONS AND EXISTING DRAINAGE PATTERNS AND IMPROVEMENTS.
2. PROPOSED IMPROVEMENTS: 6000 SF OFFICE BUILDING, FLAT-WORK ASSOCIATED WITH ASPHALT DRIVES AND SIDEWALKS, PARKING GRADE ELEVATIONS, REFUSE LOCATION, AND LANDSCAPING AREAS.
3. CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
4. QUANTIFICATION OF DEVELOPED FLOWS GENERATED BY THE IMPROVEMENTS WHICH CONTRIBUTE TO EXISTING FLOWS.

PRESENTLY, THE SITE IS BOUNDED ON THE SOUTH BY AN EXISTING CHURCH FACILITY AND PARKING LOT. PENNSYLVANIA AVENUE ON THE WEST IS A MINOR ARTERIAL WITH CURB, GUTTER AND SIDEWALK. VACATED ELMORE AVE. AND I-40 ARE ADJACENT ON THE NORTH. THE SITE FALLS APPROXIMATELY 1% FROM EAST TO WEST. AN EXISTING ASPHALT RUNDOWN HISTORICALLY HAS DRAINED THE SITE TO THE INTERSTATE TO AN AREA DRAIN INLET LOCATED JUST SOUTH OF THE EASTBOUND LANES. THE SITE HAS EXISTING PAVED ACCESS TO PENNSYLVANIA WITHIN A SHARED PRIVATE ACCESS EASEMENT WITH THE CHURCH.

HISTORICAL SITE RUNOFF OUTFALL LOCATIONS WILL REMAIN UNCHANGED. NO GRADING IS PROPOSED WITHIN THE CITY R.O.W. WITH THE EXCEPTION OF THE RIPRAP RUNDOWN AT THE NW CORNER, AND SIDEWALK. FREE DISCHARGE OF SITE RUNOFF IS ACCEPTABLE SINCE DOWNSTREAM CAPACITY EXISTS; THE INCREASE OF RUNOFF DUE TO THE DEVELOPMENT IS MINIMAL; WHILE THE OUTFALL TO THE SITE IS THE DRAINAGE SYSTEM OF INTERSTATE 40.



VICINITY MAP ZONE J-19 Scale: 1" = 750'

LEGEND

Exist. Spot Elevation	+24.0
Exist. Contour	10
New Spot Elevation	+24.0
New Contour	12
Exist. Curb & Gutter	
New Swale	
Drainage Direction, Existing	
New Header Curb (0.5' Height)	
New P.C.C. "Concrete"	
Top of Asphalt, Existing	TA
Top of Curb	TC
Flowline	FL
Existing Power Pole	o PP
Exist. Water Line	W
Exist. Sanitary Sewer	SAS
Exist. Storm Drain Line	SD
New Traffic Flow Direction	
Existing Painted Traffic Flow Marking	

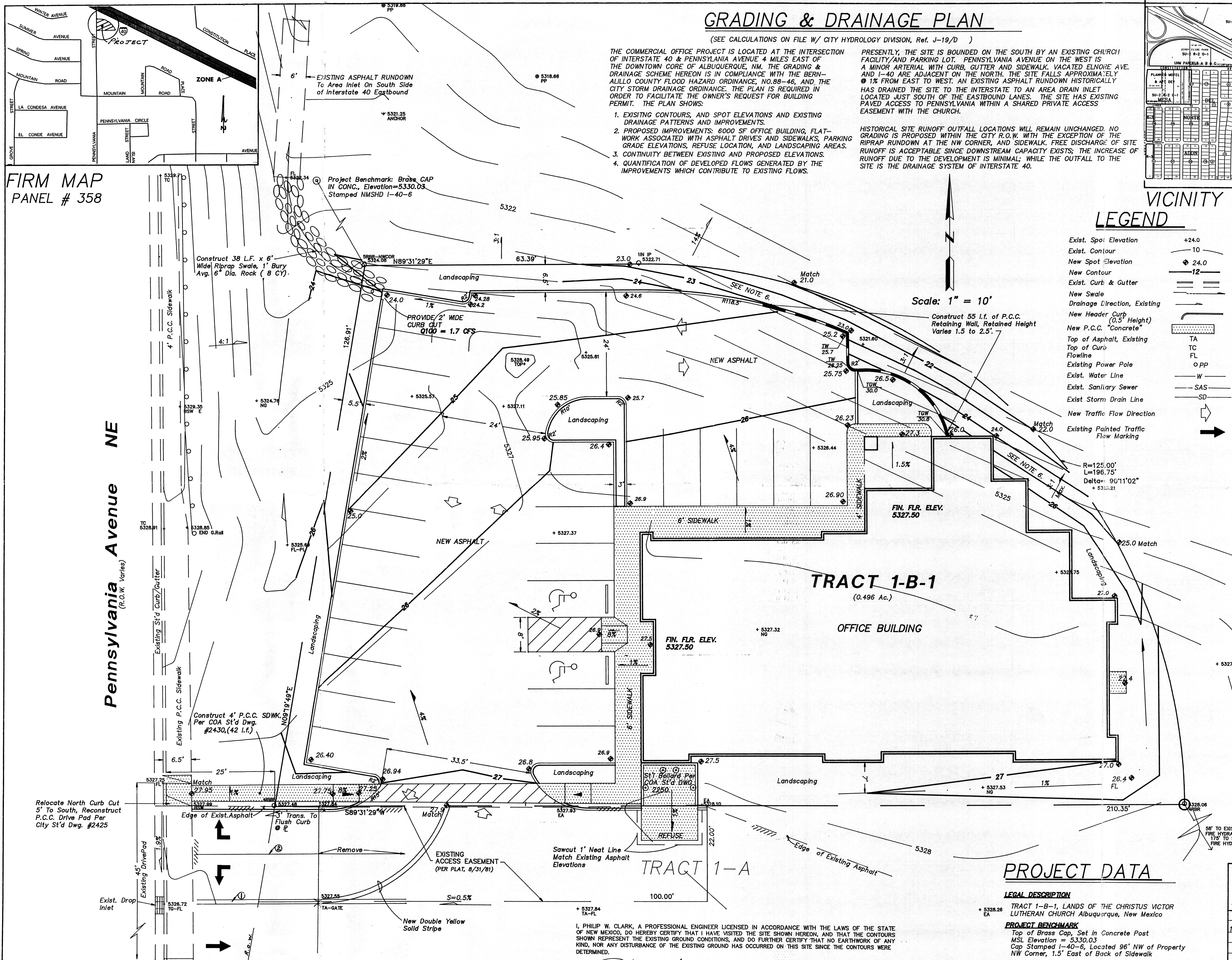
NOTES

"Calculations" On File With City Hydrology Division J-19/D

1. All Work Within the Right-of-Way Shall Be Constructed In Accordance With the City of Albuquerque Standard Specifications For Public Works Construction, 6th Edition w/ Updates.
2. An Excavation/Construction Permit Is Required Before Beginning Any Work Within City R.O.W. An Approved Copy of This Plan Must Be Submitted At the Time of Application.
3. All Work On This Project Shall Be Performed In Accordance With Applicable Federal, State and Local Laws, Rules, and Regulations Concerning Construction Safety and Health.
4. All Landscaping Area Shall Be Soft-lined With Native Vegetation and/or Gravel. Asphalt Parking Area Shall Drain Directly To Existing Asphalt Rundown To I-40
5. Contractor Shall Ensure That No Site Soils/Sediment or Silt Enter The Right-of-Ways During Construction.
6. Revegetate All Areas Disturbed Due To Construction Per City of Albuquerque, Spec. 1011, Native Seed Mix.
7. Maximum Site Grading Without Erosion Protection: 1 Horizontal To 1 Vertical, 3:1. All Dimensions To Face of Curb, Unless Noted Otherwise.

TRANSPORTATION KEYED NOTES

- ① Existing Double Yellow Striping
- ② Existing Solid White Stripes



PROJECT DATA

LEGAL DESCRIPTION
TRACT 1-B-1, LANDS OF THE CHRISTUS VICTOR LUTHERAN CHURCH Albuquerque, New Mexico

PROJECT BENCHMARK
Top of Brass Cap, Set in Concrete Post
MSL Elevation = 5330.03
Cap Stamped 1-40-6, Located 96' NW of Property NW Corner, 1.5' East of Back of Sidewalk

TOPOGRAPHIC DESIGN SURVEY
Compiled by Clark Consulting Engineers From Design Survey By Automated Data Collection Services, 12/22/99

Clark Consulting Engineers
19 Ryan Road
Edgewood, New Mexico 87015
Tels: (505) 281-2444 Fax: (505) 281-2444

DATE	REVISION	BY	CHKD
1-19-00	Revised Site Plan <td>TUAN</td> <td>OFF</td>	TUAN	OFF

TRACT 1-B-1, LANDS OF THE CHRISTUS VICTOR LUTHERAN CHURCH
TUAN OFFICE BUILDING -
Grading & Drainage/Transportation Plans

DESIGNED BY: PWC	DRAWN BY: CCE	JOB #: TUAN_OFF
CHECKED BY: PWC	DATE: 12/21/99	FILE #: G/D

1 OF 1

I, PHILIP W. CLARK, A PROFESSIONAL ENGINEER LICENSED IN ACCORDANCE WITH THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT I HAVE VISITED THE SITE SHOWN HEREON, AND THAT THE CONTOURS SHOWN REPRESENT THE EXISTING GROUND CONDITIONS, AND DO FURTHER CERTIFY THAT NO EARTHWORK OF ANY KIND, NOR ANY DISTURBANCE OF THE EXISTING GROUND HAS OCCURRED ON THIS SITE SINCE THE CONTOURS WERE DETERMINED.

PHILIP W. CLARK NMP# 10265 1-20-00