



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 4, 2002

Chris Perea, P.E.
Wilson & Company
4900 Lang Ave NE
Albuquerque, New Mexico 87109

RE: PEARSON SPEC BUILDING (J-19/D74)
(8016 Pennsylvania Cr. NE)
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
ENGINEERS STAMP DATED 3/14/2001
ENGINEERS CERTIFICATION DATED 2/22/2002

Dear Mr. Perea:

Based upon the information provided in your Engineers Certification submittal dated 4/3/2002, and based upon the approval of the SO19 by the Storm Drainage Maintenance Inspector, dated 3/28/2002, the above referenced site is approved for a Permanent Certificate of Occupancy.

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

Teresa A. Martin

CAM Hydrology Plan Checker
Public Works Department

C: Vickie Chavez, COA
✓ drainage file
approval file

DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

J-19/D74

PROJECT TITLE: David Pearson Spec Bldg. ZONE MAP/DRG. FILE#: J-19

DRB#: N/A EPC#: N/A WORK ORDER #: N/A

LEGAL DESCRIPTION: Lot numbered twenty four (24) of ashcraft center, a subdivision of the City of Albuquerque, NM, a replat of blocks B and C of Mesa del Norte Height No. 10, as the same as shown and designated on the replat of said subdivision, filed in the office of the county clerk of Bernalillo County, NM on September 3, 1976, in plat book D7, Folio 58.

CITY ADDRESS: 8016 Pennsylvania Circle NE, Albuquerque, NM 87110

ENGINEERING: Wilson & Company CONTACT: John A. Tellez

ADDRESS: 4900 Lang Avenue NE PHONE: (505) 348-4128

CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: David Pearson CONTACT: David Pearson

ADDRESS: 4830 Juan Tabo Boulevard N.E. Suite 1 PHONE: (505) 293 8275

CITY, STATE: Albuquerque, NM 87111 ZIP CODE: 87106

ARCHITECT: Gerard R. Brown Architect CONTACT: Gerard R. Brown

ADDRESS: PO Box 12904 PHONE: (505) 877-2838

CITY, STATE: Albuquerque, NM 87195 ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

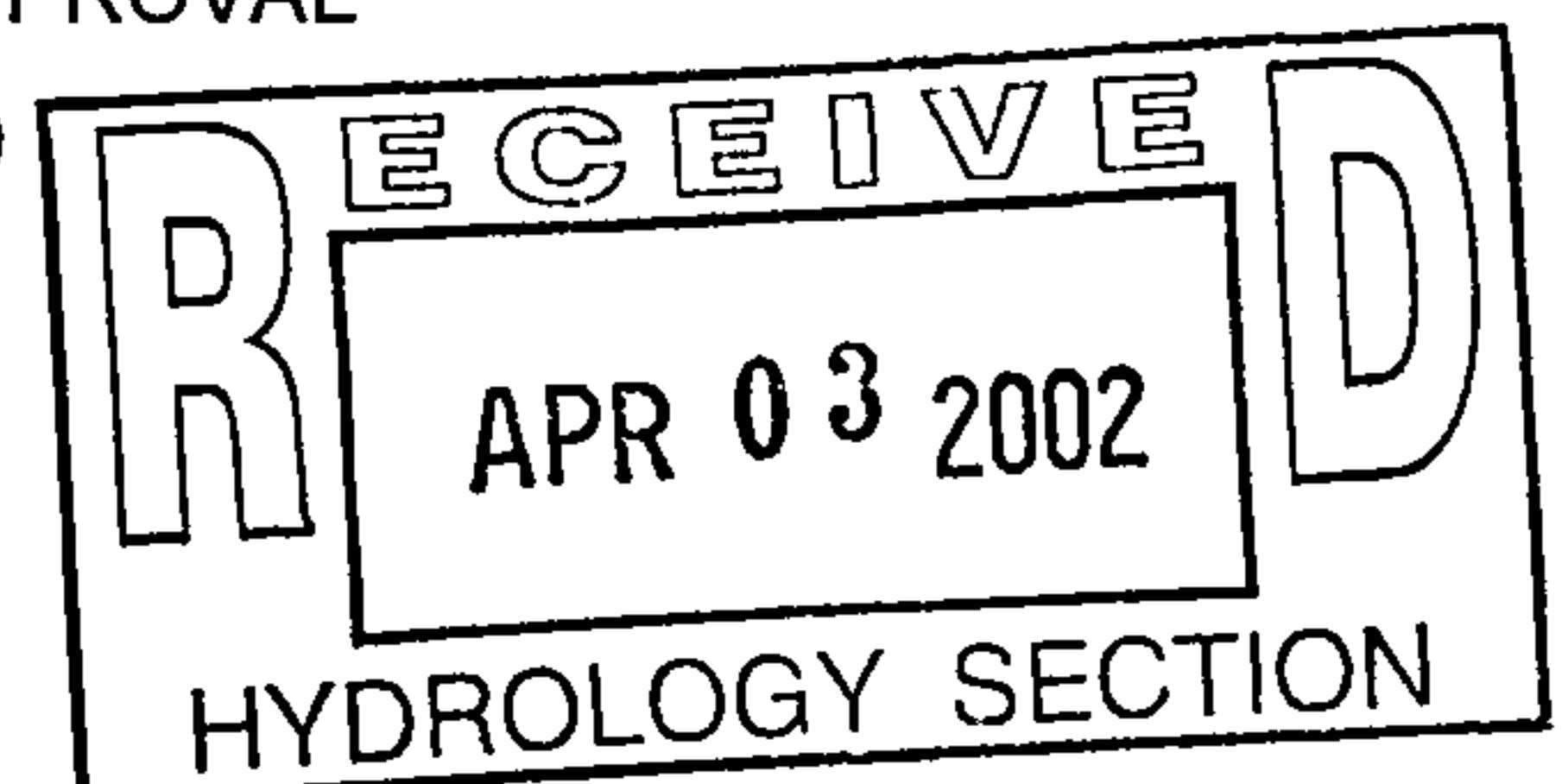
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEERS CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB. APPR. SITE PLAN)
- ☒ OTHER - AS-BUILTS

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATION OF OCCUPANCY (PERM.)
- ☐ CERTIFICATION OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



Date Submitted: April 03, 2002 By: John A. Tellez

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5)
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 5, 2001

Daniel Aguirre, P.E.
Wilson & Company
4900 Lang Avenue NE
Albuquerque, NM 87109

Attn: Mario Juarez-Infante

RE: PEARSON SPEC BUILDING, 8016 Pennsylvania Circle NE (J19-D74). GRADING AND DRAINAGE PLAN FOR BUILDING PERMIT AND FOR SO#19 PERMIT APPROVALS. ENGINEER'S STAMP DATED March 14, 2001.

Dear Mr. Aguirre:

Based on the information provided on your March 15, 2001 submittal, the above referenced project is approved for both Building and SO#19 Permits.

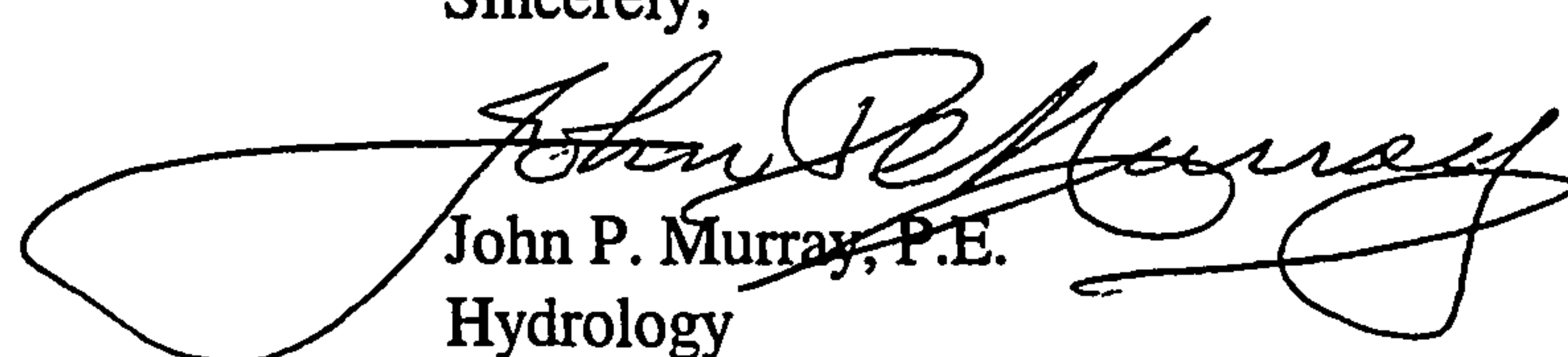
Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit is required for construction within the City right-of-way. A copy of this approval letter must be on hand when applying for the excavation permit.

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: Pam Lujan
Terri Martin
✓ File

PUBLIC WORKS DEPARTMENT

APRIL 5, 2001

INTEROFFICE CORRESPONDENCE

HYDROLOGY DIVISION

TO: Pam Lujan, Permits

FROM: John Murray, Hydrology, PWD

**SUBJECT: PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHT-OF-WAY
DRAINAGE FILE NUMBER (J19-D74). PEARSON SPEC BUILDING AT
8016 Pennsylvania Circle NE.**

Transmitted herewith is a copy of the approved drainage plan for the referenced project incorporating the SO #19 design.

This plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

As you are aware, the signed off SO #19 is required by this office for Certificate of Occupancy release; therefore your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of the Certificate of Occupancy.

Thank you for your cooperation and if you should have any questions and/or comments, please feel free to call me at 924-3984.

Attachment

DRAINAGE INFORMATION SHEET

PROJECT TITLE: David Pearson Spec Bldg. ZONE ATLAS/DRNG. FILE#: J-19/022 ^{D74}

DRB#: N/A EPC#: N/A WORK ORDER #: N/A

LEGAL DESCRIPTION: Lot numbered twenty four (24) of ashcraft center, a subdivision of the City of Albuquerque, NM, a replat of blocks B and C of Mesa del Norte Height No. 10, as the same as shown and designated on the replat of said subdivision, filed in the office of the county clerk of Bernalillo County, NM on September 3, 1976, in plat book D7, Folio 58.

CITY ADDRESS: 8016 Pennsylvania Circle NE, Albuquerque, NM 87110

ENGINEERING FIRM: Wilson & Company CONTACT: Mario G. Juarez-Infante

ADDRESS: 4900 Lang Ave. NE PHONE: (505) 348-4021
Albuquerque, NM 87109

OWNER: David Pearson CONTACT: David Pearson

ADDRESS: 4830 Juan Tabo Boulevard N.E. PHONE: (505)-293-8275
Suite 1
Albuquerque, NM 87111

ARCHITECT: Gerard R. Brown Architect CONTACT: Gerard R. Brown

ADDRESS: PO Box 12904 PHONE: (505) 877-2838
Albuquerque, NM 87195

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

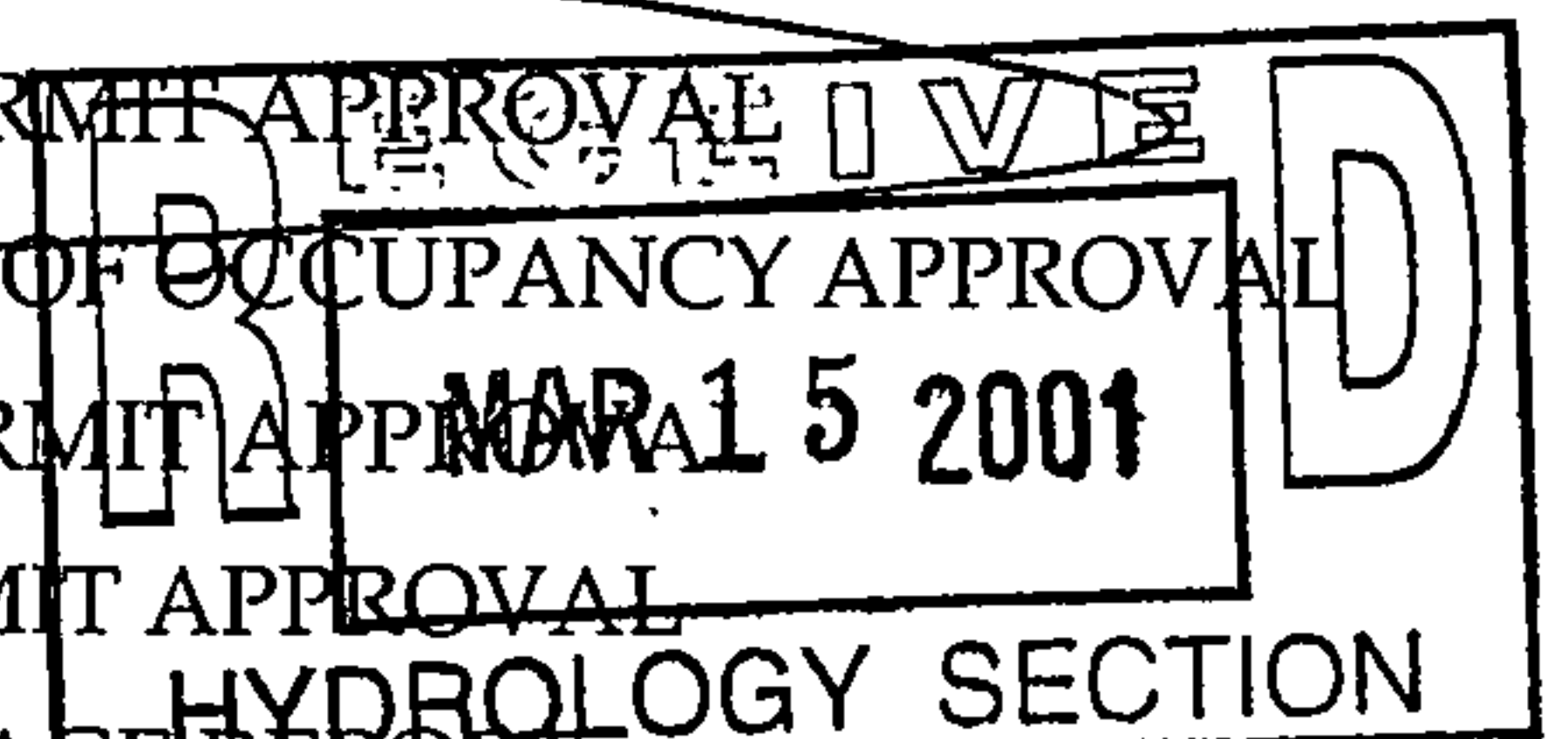
- ☒ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☒ OTHER SO-19

PRE-DESIGN MEETING:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION-PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE-REQUIREMENTS
- ☒ OTHER: T.C.C.



Date Submitted: 3/14/01

By: Mario G. Juarez-Infante



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

February 27, 2002

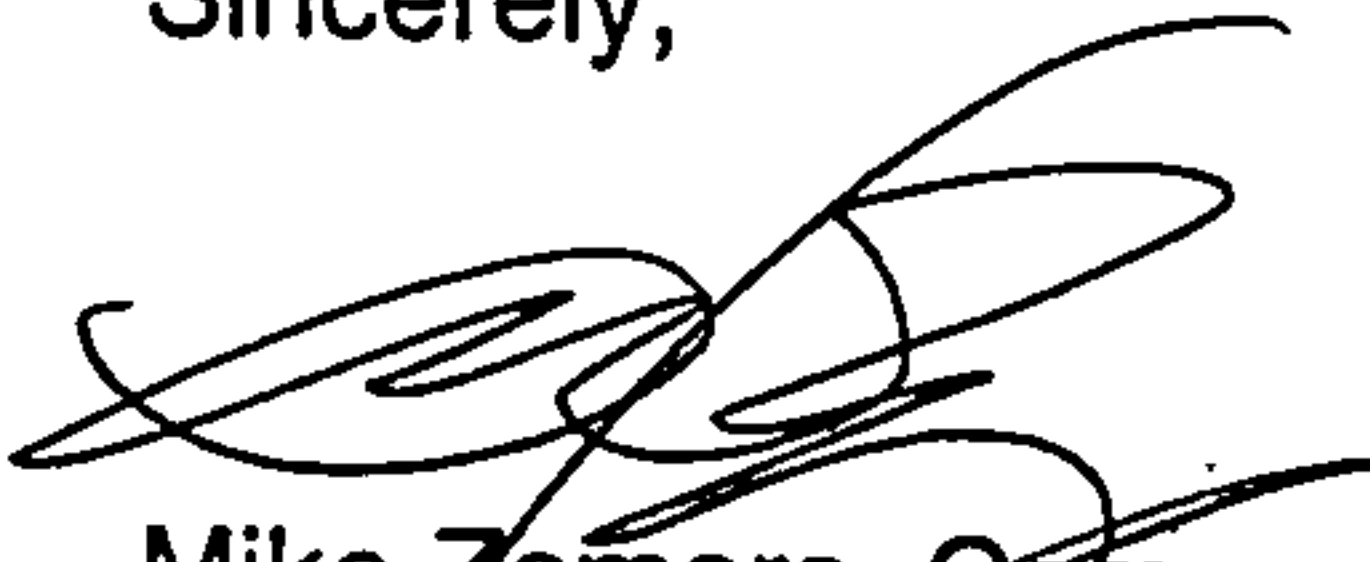
Gerard Brown, Registered Architect
P.O. Box 12904
Albuquerque, NM 87195

Re: Certification Submittal for Final Building Certificate of Occupancy for
Pearson Spec. Office Building, [J19 / D074]
8016 Pennsylvania Circle N.E.
Architect's Stamp Dated 02/26/02

Dear Mr. Brown:

The TCL / Letter of Certification submitted on Feb. 27, 2002 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to Building and Safety and final C.O. has been logged in by Vicki Chavez in the Building Safety Section downstairs.

Sincerely,


Mike Zamora, Commercial Plan Checker
Development and Building Services
Public Works Department

c: Engineer
Hydrology file
Mike Zamora



GERARD R. BROWN

A R C H I T E C T

*"Designed for the user
to inspire the human spirit"*

February 26, 2002

Mr. Michael J. Zamora, Traffic Plan Checker
City of Albuquerque, Transportation Development
600 Second Street N.W.
Albuquerque, New Mexico 87102

**Re: A Spec Office Building for David Pearson
8016 Pennsylvania Circle, N.E.
Albuquerque, New Mexico**

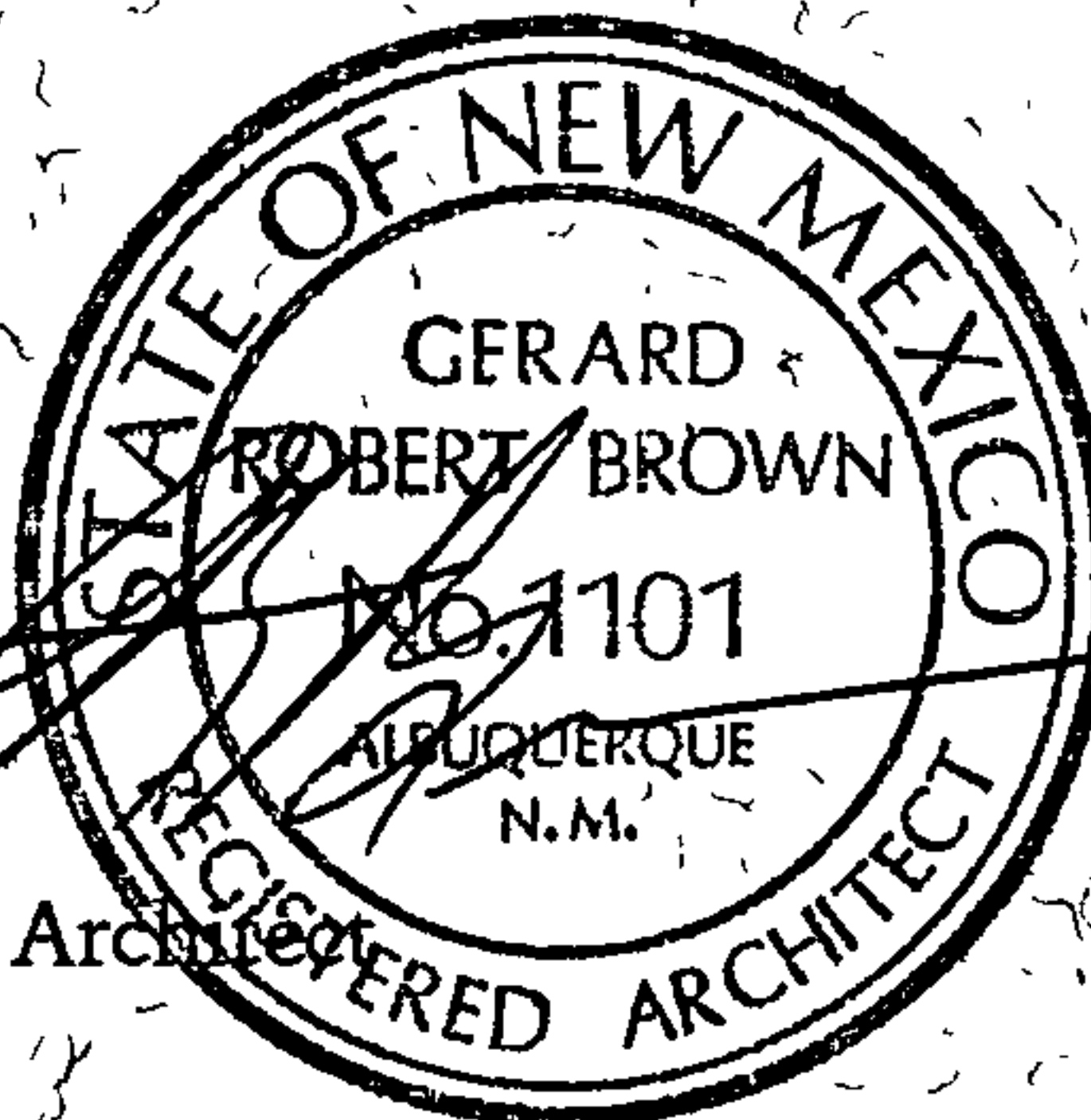
Dear Mike:

Upon inspection at the above referenced project, this letter will certify that the parking lot and Traffic Circulation Layout has been constructed in accordance with the attached Sheet C-1 from the building permit set.

Thank you for your assistance with this project.

Sincerely Yours,

Gerard R. Brown, Architect

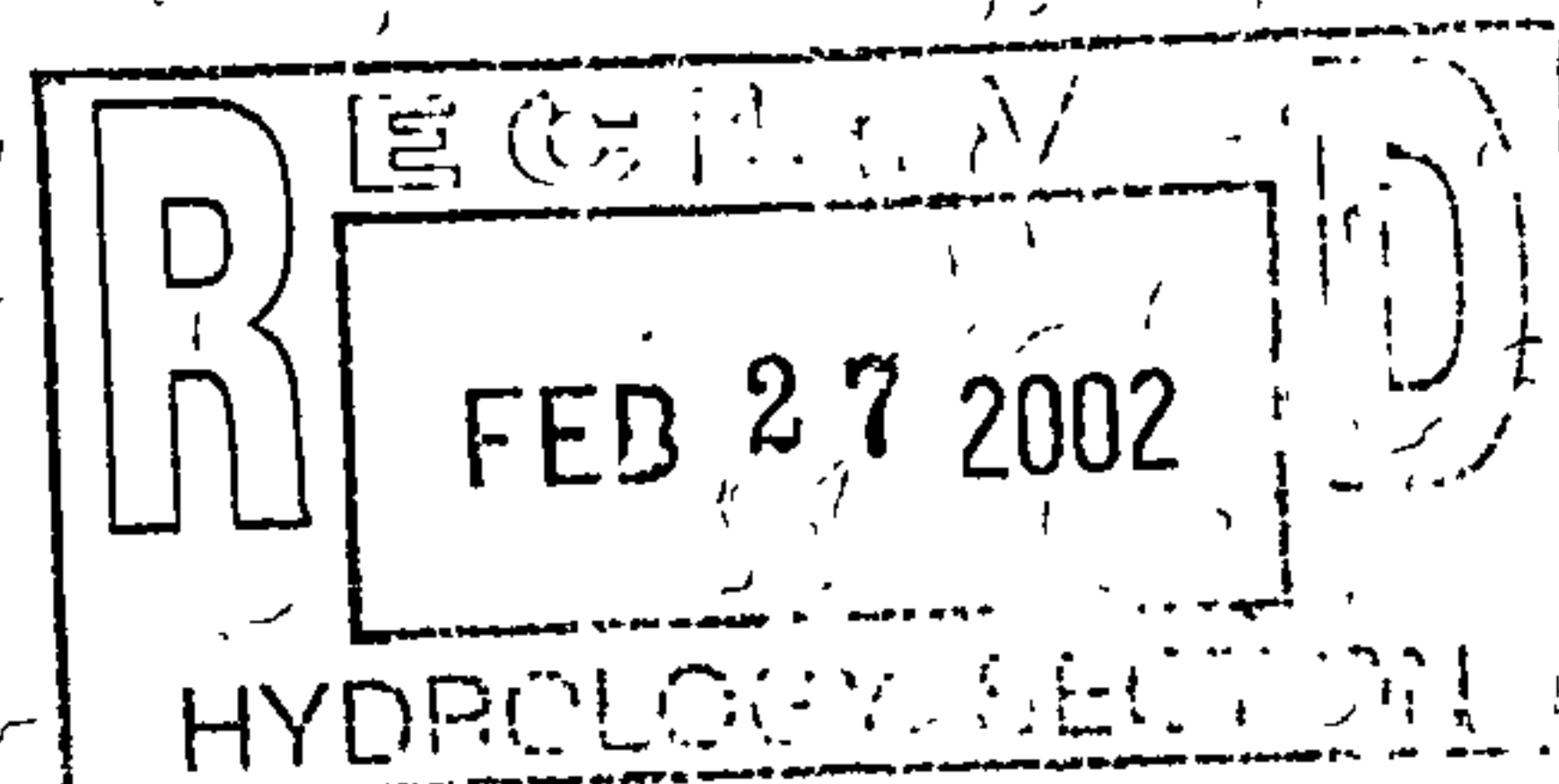


02-26-02

cc: David Pearson
Angelo Turiciano, General Contractor

Attachments: Sheet C-1
Drainage and Transportation Information Sheet

P.O. Box 12904
Albuquerque, N.M. 87195
Phone or FAX:
(505) 877-2838
E-mail:
GerardRBrown@aol.com



DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: A Spec Office Building For David Pearson ZONE MAP/DRG. FILE #: J-19 # D074
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 24, of the Ashcroft Center Addition
 CITY ADDRESS: 8016 Pennsylvania Circle NE, Albuquerque, NM 87110

ENGINEERING FIRM: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

OWNER: David Pearson
 ADDRESS: 4830 Jumanabo N.E. Suite 1
 CITY, STATE: Albuquerque, NM

CONTACT: David Pearson
 PHONE: 505/293-8275
 ZIP CODE: 87111

ARCHITECT: Gerard R. Brown
 ADDRESS: P.O. Box 12904
 CITY, STATE: Albuquerque, NM 87195

CONTACT: Gerard Brown
 PHONE: 505/877-2838
 ZIP CODE: 87195

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: Angelo Turicimo, General Contractor
 ADDRESS: 3535 Princeton Drive N.E.
 CITY, STATE: Albuquerque, NM

CONTACT: Angelo Turicimo
 PHONE: 505/881-7934
 ZIP CODE: 87107

CHECK TYPE OF SUBMITTAL:

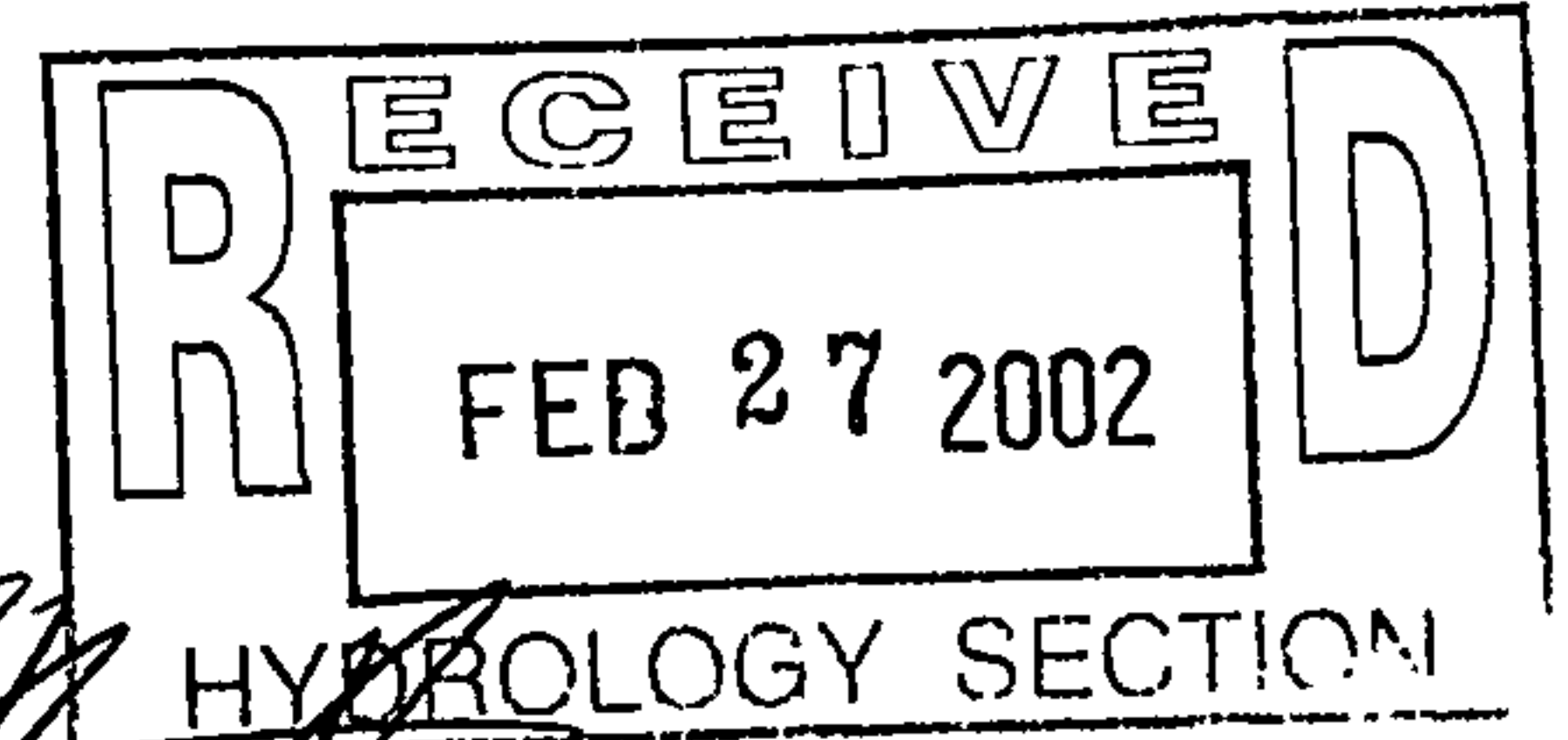
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
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- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 02/26/02 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

2/27/02 - c'd in PT to Vicki; 3/7/02 - Sent letter dated 2/27; - logged in

DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

J-19/D74

PROJECT TITLE: David Pearson Spec Bldg. ZONE MAP/DRG. FILE#: J-19

DRB#: N/A EPC#: N/A WORK ORDER #: N/A

LEGAL DESCRIPTION: Lot numbered twenty four (24) of ashcraft center, a subdivision of the City of Albuquerque, NM, a replat of blocks B and C of Mesa del Norte Height No. 10, as the same as shown and designated on the replat of said subdivision, filed in the office of the county clerk of Bernalillo County, NM on September 3, 1976, in plat book D7, Folio 58.

CITY ADDRESS: 8016 Pennsylvania Circle NE, Albuquerque, NM 87110

ENGINEERING: Wilson & Company CONTACT: John A. Tellez

ADDRESS: 4900 Lang Avenue NE PHONE: (505) 348-4128

CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: David Pearson CONTACT: David Pearson

ADDRESS: 4830 Juan Tabo Boulevard N.E. Suite 1 PHONE: (505) 293 8275

CITY, STATE: Albuquerque, NM 87111 ZIP CODE: 87106

ARCHITECT: Gerard R. Brown Architect CONTACT: Gerard R. Brown

ADDRESS: PO Box 12904 PHONE: (505) 877-2838

CITY, STATE: Albuquerque, NM 87195 ZIP CODE:

SURVEYOR: CONTACT:

ADDRESS: PHONE:

CITY, STATE: ZIP CODE:

CONTRACTOR: CONTACT:

ADDRESS: PHONE:

CITY, STATE: ZIP CODE:

CHECK TYPE OF SUBMITTAL:

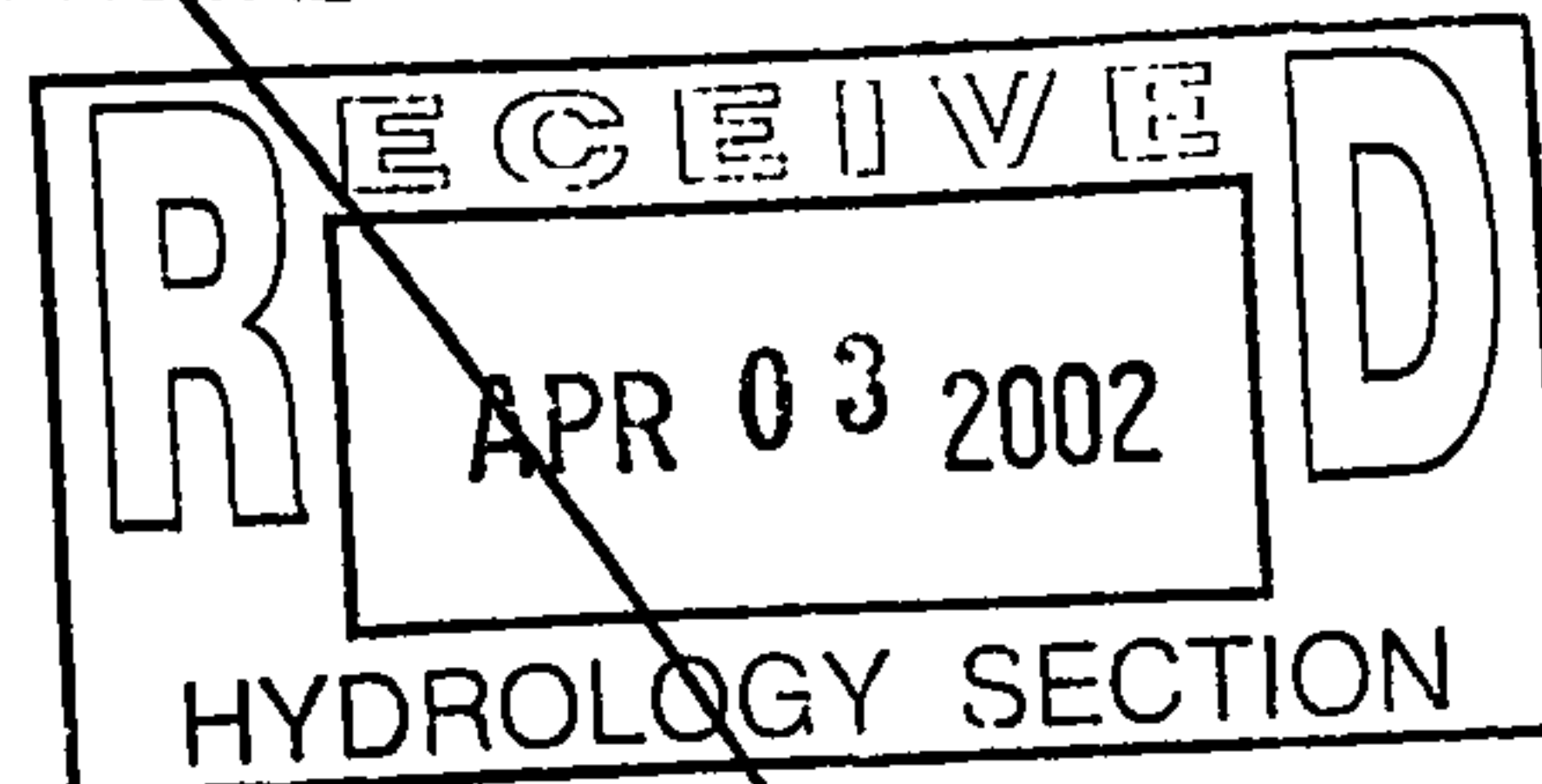
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- ☐ DRAINAGE PLAN
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- ☐ ENGINEERS CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB. APPR. SITE PLAN)
- ☒ OTHER - AS-BUILTS

CHECK TYPE OF APPROVAL SOUGHT:

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- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
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- ☐ FINAL PLAT APPROVAL
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- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATION OF OCCUPANCY (PERM.)
- ☐ CERTIFICATION OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



Date Submitted: April 03, 2002

By: John A. Tellez

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

April 13, 2001

Mario G. Juarez-infante for Daniel Aguirre, Registered Professional Engineer,
Wilson & Company
4900 Lang N.E.
Albuquerque, New Mexico 87109

Re: T.C.L. submittal for building permit approval for Pearson Spec. Building,
8016 Pennsylvania N.E. [J19/D074],
Engineer's Stamp dated 3/14/2001.

Dear Mr. Juarez-Infante,

The location referenced above is not acceptable and requires modification to the Traffic Circulation Layout (T.C.L.) prior to Building Permit release as stated on the attached checklist, written comments, and red-lined T.C.L. markup.

Please resubmit revised T.C.L. after addressing typed and marked up comments.
Submit Plan along with typed comments and all red-lined, mark-up copies.

Sincerely,

Mike Zamora,
Commercial Plan Checker

cc:
Engineer
Hydrology File
Office File

Hydrology Copy

TRAFFIC CIRCULATION LAYOUT CHECKLIST

SITE ADDRESS: 9016 Pennsylvania NE. AGENT: Mario Juarez-Infante-Wilson DATE: 4/13/01
LEGAL DESCRIPTION: Ashcraft Center Subdivision, Lot 24 ZONE ATLAS PAGE: J-19

The Traffic Control Layout (TCL) is a basic Site Plan that contains information on all new and existing elements involved in the development of the site including: buildings, street widths, street sidewalks and curb & gutter, parking lot features, driveways, landscaped areas, lot lines and easement limits, etc. It will be reviewed prior to submittal of plans for a building permit. The TCL must be processed prior to submittal of plans for building permit. In most all cases the TCL must be certified by the designer-of-record prior to the issuance of a Certificate of Occupancy.

On all subsequent submittals, the design firm needs to complete and return the new *TRAFFIC CIRCULATION LAYOUT CHECKLIST* (Amendment To Come) provided, along with us of the DPM (Development Process Manual) to confirm required City standards. Also refer to previous TCL/Building Permit submittals (along with comments and markups) for past projects to avoid repeating errors and to help reduce the time required for plan review on subsequent TCL submittals. The first checklist has been completed by Transportation.

LEGEND-

- ☒ *Item addressed on initial submittal*
- ☐ *Item not yet addressed by designer or plan checker*
- ☒ *Not Applicable*

GENERAL INFORMATION REQUIRED:

- ☒ 1. TCL will be stamped, signed and dated by architect or engineer.
- ☒ 2. Street address of site - could be part of title block or Drainage Application sheet in Hydrology file.
- ☒ 3. Provide name of subdivision; lot number and/or tract number on TCL, if it's not on the Drainage Information Sheet.
- ☐ 4. Place note on TCL and Site Plan for Construction:

As required by Transportation Development Section, a copy of the approved TCL AS-BUILT will be submitted by the designer or acceptable representative party which includes a letter of certification stating the site has been constructed in accordance with the approved TCL. Verification of TCL acceptability, to include random field checks, will be made before a Final Certificate of Occupancy (C.O.) is issued. Please call this office to obtain temporary CO.

- ☒ 5. The plan review by Zoning could initiate a new review if original parking lot layout, approved by Transportation, needs to be altered.
- ☒ 6. Any Infrastructure work on city property, as part of this development, must be complete before issuance of CO. If work is not completed, Financial Guarantee must be on file with Design Review Office.
- ☒ 7. Encroachment agreements are needed when structures, fences, walls or items of equal conflict are within City property.
- ☐ 8. Drawing line work on Drainage and Landscape Plans must exactly match Site Plan.

SPECIFIC INFORMATION REQUIRED:

- ❑ 1. State Highway Department approval is required at locations where access is being taken from Highway Dept. roadways.
- ❑ 2. Call out all overhead doors on site or call out, including size, on TCL.
- ❑ 3. Overhead doors desired on site. Expectation by plan reviewer is that large wheel base (refuse/UPS) vehicle will be smallest vehicle to use doors. Refer to DPM for restrictions.
- ❑ 4. State the design vehicle to be used at rear of site.
- ❑ 5. Provide new and existing elements on TCL, properly labeled, and dimensioned. Show clear differentiation between existing construction and new improvements on TCL.
- ❑ 6. Indicate which buildings the permit will certify for parking improvements. If applicable, clearly differentiate future construction line type from new construction line type.
- ❑ 7. Any minor changes to TCL as required by Transportation and are acceptable by Hydrology, call out on Site Plan as such: "INSPECTION OF CONSTRUCTION FOR CO, FOR TRANSPORTATION, WILL BE DONE FROM THIS SHEET."
- ❑ 8. Indicate transition from one surface type to the other on TCL, for example, ramps (include handicap (HC) ramps), concrete/ asphalt, landscape area/ concrete, concrete / dirt, concrete /gravel, etc. Label each area or stipple--or equal--to show varying surfaces.
- ❑ 9. Show, label and dimension position of all existing obstructions in sidewalks in City right-of-way.
- ❑ 10. Label to paint, on asphalt, stalls for small car parking as "COMPACT" or equal.
- ❑ 11. Minimum 5 foot width concrete sidewalk raised 6" above parking surface will be needed, when located at front of parking vehicles (min.20' long stall) adjacent to any building. Place sidewalk at other locations where landscape shrubbery is required, by Zoning, at front of stalls.
- ❑ 12. At HC parking area, HC ramp must be constructed as part of sidewalk and not part of parking area.
- ❑ 13. Restriping of parking stalls shall be called out, to be per City Standard.
- ❑ 14. For future reference and for this project, provide half width of all streets 40' wide and over on TCL. Also, show all streets which will be used for Heavy Commercial traffic accessing site. On major streets, include median and openings, if existing and if not, show traffic lanes on developer's side of street, up to and including middle turn lane.
- ❑ 15. Alley limits must be 20-foot width
- ❑ 16. City standard paved roadway must be constructed in alley, along the entire lot frontage from point of access into alley from street at either end of alley.
- ❑ 17. Construct alley entrance per City Std. Detail Dwg. 2428. Width of entrance will be a minimum of 24 feet when the development is the first lot on the block, and access to proposed parking is taken thorough the alley.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

June 7, 2001

Gerard R. Brown, Registered Architect,
Gerard R. Brown Architect
P.O. Box 12904
Albuquerque, New Mexico 87195

Re: T.C.L. submittal (2nd) for building permit approval for Pearson Spec. Building,
8016 Pennsylvania N.E. [J19/D074],
Engineer's Stamp dated 3/30/2001.

Dear Mr. Brown,

The location referenced above is not acceptable and requires modification to the Traffic Circulation Layout (T.C.L.) prior to Building Permit release as stated on the updated checklist, and latest red-lined T.C.L. markup.

Red markings are made on the original checklist and reflect work still needing attention. A revised checklist is also submitted.

Please resubmit revised T.C.L. after addressing typed and marked up comments.
Submit Plan along with all typed comments and all red-lined, mark-up copies.

Sincerely,

Mike Zamora,
Commercial Plan Checker

cc:
Engineer
Hydrology File
Office File

TRAFFIC CIRCULATION LAYOUT CHECKLIST

SITE ADDRESS: 8016 Pennsylvania N.E. AGENT: Frederick R. Brown DATE: 4/13/01
LEGAL DESCRIPTION: Ashcroft Center Subdivision, Lot 24 ZONE ATLAS PAGE: J-19

The Traffic Control Layout (TCL) is a basic Site Plan that contains information on all new and existing elements involved in the development of the site including: buildings, street widths, street sidewalks and curb & gutter, parking lot features, driveways, landscaped areas, lot lines and easement limits, etc. It will be reviewed prior to submittal of plans for a building permit. The TCL must be processed prior to submittal of plans for building permit. In most all cases the TCL must be certified by the designer-of-record prior to the issuance of a Certificate of Occupancy.

On all subsequent submittals, the design firm needs to complete and return the new **TRAFFIC CIRCULATION LAYOUT CHECKLIST** (Amendment To Come) provided, along with using the DPM (Development Process Manual) to confirm required City standards. Also refer to previous TCL/Building Permit submittals (along with comments and markups) for past projects to avoid repeating errors and to help reduce the time required for plan review on subsequent TCL submittals. The first checklist has been completed by Transportation.

LEGEND-

- ✓ *Item addressed on initial submittal*
- *Item not yet addressed by designer or plan checker*
- *Not Applicable*

GENERAL INFORMATION REQUIRED:

- ✓ 1. TCL will be stamped, signed and dated by architect or engineer.
- ✓ 2. Street address of site - could be part of title block or Drainage Application sheet in Hydrology file.
- ✓ 3. Provide name of subdivision; lot number and/or tract number on TCL, if it's not on the Drainage Information Sheet.
- 4. Place note on TCL and Site Plan for Construction:

As required by Transportation Development Section, a copy of the approved TCL AS-BUILT will be submitted by the designer or acceptable representative party which includes a letter of certification stating the site has been constructed in accordance with the approved TCL. Verification of TCL acceptability, to include random field checks, will be made before a Final Certificate of Occupancy (C.O.) is issued. Please call this office to obtain temporary CO. Confirmation from Hydrology, supporting this requirement, will be needed prior to approval of TCL by Transportation.

- ✓ ☒ 5. The plan review by Zoning could initiate a new review if original parking lot layout, approved by Transportation, needs to be altered.
- ✓ 6. ☒ Any Infrastructure work on city property, as part of this development, must be complete before issuance of CO. If work is not completed, Financial Guarantee must be on file with Design Review Office.
- 7. Encroachment agreements are needed when structures, fences, walls or items of equal conflict are within City property.
- 8. Drawing line work on Drainage and Landscape Plans must exactly match Site Plan.

SPECIFIC INFORMATION REQUIRED:

- 1. State Highway Department approval is required at locations where access is being taken from Highway Dept. roadways.
- 2. Overhead doors desired on site. Expectation by plan reviewer is that large wheel base (refuse/UPS) vehicle will be smallest vehicle to use doors. Refer to DPM for restrictions.
- 3. State the design vehicle to be used at rear of site.
- ✓ 4. Provide new and existing elements on TCL, properly labeled, and dimensioned. Show clear differentiation between existing construction and new improvements on TCL.
- 5. Indicate which buildings the permit will certify for parking improvements. If applicable, clearly differentiate future construction line type from new construction line type.
- 6. Any minor changes to TCL as required by Transportation and are acceptable by Hydrology, call out on Site Plan as such:
"INSPECTION OF CONSTRUCTION FOR CO, FOR TRANSPORTATION, WILL BE DONE FROM THIS SHEET."
- 7. Indicate transition from one surface type to the other on TCL, for example, ramps (include handicap (HC) ramps), concrete/ asphalt, landscape area/ concrete, concrete / dirt, concrete /gravel, etc. Label each area or stipple to show varying surfaces, or equal.
- ✓ 8. ☒ Show, label and dimension position of all existing obstructions in sidewalks in City right-of-way.
- ✓ 9. Label stalls for small car parking as "COMPACT" or equal.
- ✓ 10. Minimum 5 foot width concrete sidewalk raised 6" above parking surface will be needed, when located at front of parking vehicles (min.20' long stall) adjacent to any building. Place sidewalk at other locations where landscape shrubbery is required, by Zoning, at front of stalls.
- ✓ 11. At HC parking area, HC ramp must be constructed as part of sidewalk and not part of parking area.
- 12. Restriping of parking stalls shall be called out, to be per City Standard.
- 13. ☒ For future reference and for this project, provide half width of all streets 40' wide and over on TCL. Also, on streets which will be used for Heavy Commercial traffic accessing site. On major streets, include median and openings, if existing and if not, show traffic lanes on developer's side of street, up to and including middle turn lane.
- 14. Alley limits must be 20-foot width
- 15. City standard paved roadway must be constructed in alley, along the entire lot frontage from point of access into alley from street at either end of alley.
- 16. Construct alley entrance per City Std. Detail Dwg. 2428. Width of entrance will be a minimum of 24 feet when the development is the first lot on the block, and access to proposed parking is taken thorough the alley.

PUBLIC WORKS DEPARTMENT

APRIL 5, 2001

INTEROFFICE CORRESPONDENCE

HYDROLOGY DIVISION

TO: Pam Lujan, Permits

FROM:  John Murray, Hydrology, PWD

SUBJECT: **PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHT-OF-WAY
DRAINAGE FILE NUMBER (J19-D74). PEARSON SPEC BUILDING AT
8016 Pennsylvania Circle NE.**

Transmitted herewith is a copy of the approved drainage plan for the referenced project incorporating the SO #19 design.

This plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

As you are aware, the signed off SO #19 is required by this office for Certificate of Occupancy release; therefore your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of the Certificate of Occupancy.

Thank you for your cooperation and if you should have any questions and/or comments, please feel free to call me at 924-3984.

Attachment

Geonny Pohl Const.
Permit # 2055799
3/22/02
3/25/02 M. Lujan
COA SDM.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 5, 2001

Daniel Aguirre, P.E.
Wilson & Company
4900 Lang Avenue NE
Albuquerque, NM 87109

Attn: Mario Juarez-Infante

***RE: PEARSON SPEC BUILDING, 8016 Pennsylvania Circle NE (J19-D74). GRADING
AND DRAINAGE PLAN FOR BUILDING PERMIT AND FOR SO#19 PERMIT
APPROVALS. ENGINEER'S STAMP DATED March 14, 2001.***

Dear Mr. Aguirre:

Based on the information provided on your March 15, 2001 submittal, the above referenced project is approved for both Building and SO#19 Permits.

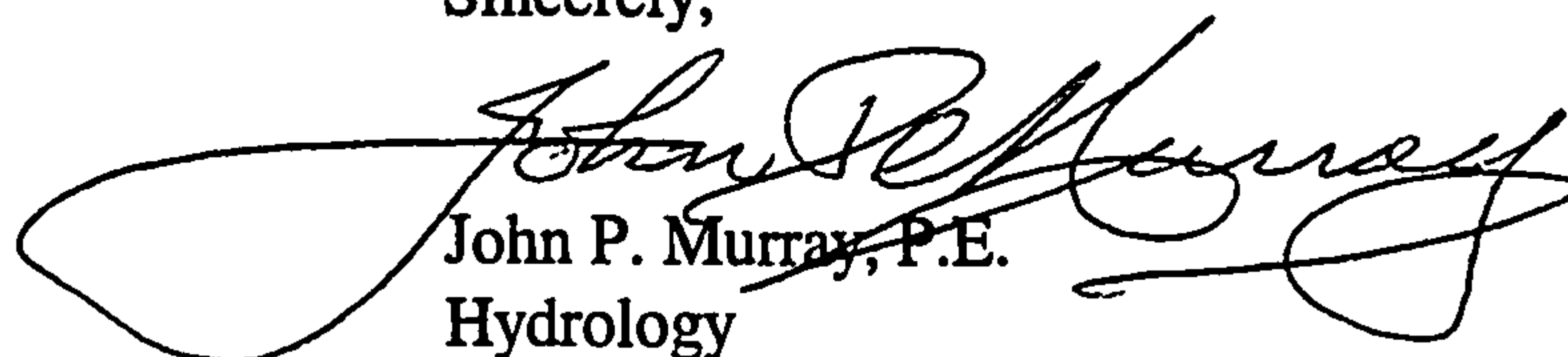
Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit is required for construction within the City right-of-way. A copy of this approval letter must be on hand when applying for the excavation permit.

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: ✓ Pam Lujan
Terri Martin
File