

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 4, 2002

Chris Perea, P.E.
Wilson & Company
4900 Lang Ave NE
Albuquerque, New Mexico 87109

RE: PEARSON SPEC BUILDING

(J-19/D74)

(8016 Pennsylvania Cr. NE)

ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY

ENGINEERS STAMP DATED 3/14/2001

ENGINEERS CERTIFICATION DATED 2/22/2002

Dear Mr. Perea:

Based upon the information provided in your Engineers Certification submittal dated 4/3/2002, and based upon the approval of the SO19 by the Storm Drainage Maintenance Inspector, dated 3/28/2002, the above referenced site is approved for a Permanent Certificate of Occupancy.

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

Teresa A. Martin

Mydrology Plan Checker

Public Works Department

C: Vickie Chavez, COA drainage file

approval file

DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

PROJECT TITLE: <u>David Pearson Spec Bldg.</u> ZC	NE MAP/DRG. FILE#: J-19
DRB#: <u>N/A</u> EPC#: <u>N/A</u>	WORK ORDER #: <u>N/A</u>
blocks B and C of Mesa del Norte Height N	center, a subdivision of the City of Albuquerque, NM, a replat of Io. 10, as the same as shown and designated on the replat of said clerk of Bernalillo County, NM on September 3, 1976, in plat book
CITY ADDRESS: 8016 Pennsylvania Circle NE. Albuar	ueraue. NM 87110
ENGINEERING: Wilson & Company	CONTACT: John A. Tellez
ADDRESS: 4900 Lang Avenue NE	PHONE: (505) 348-4128
CITY, STATE: Albuquerque, NM	ZIP CODE: <u>87109</u>
OWNER: David Pearson	CONTACT: David Pearson
ADDRESS: 4830 Juan Tabo Boulevard N.E. Suite 1	PHONE: (505) 293 8275
CITY, STATE: <u>Albuquerque, NM 87111</u>	ZIP CODE: <u>87106</u>
ARCHITECT: Gerard R. Brown Architect	CONTACT: Gerard R. Brown
ADDRESS: PO Box 12904	PHONE: (505) 877-2838
CITY, STATE: <u>Albuguerque, NM 87195</u>	ZIP CODE:
SURVEYOR:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
CONTRACTOR:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
CHECK TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	SIA / FINANCIAL GUARANTEE RELEASE
DRAINAGE PLAN	PRELIMINARY PLAT APPROVAL
CONCEPTUAL GRADING & DRAINAGE PLAN	S. DEV. PLAN FOR SUB'D. APPROVAL
GRADING PLAN	S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
EROSION CONTROL PLAN	SECTOR PLAN APPROVAL
✓ ENGINEERS CERTIFICATION (HYDROLOGY)	FINAL PLAT APPROVAL
CLOMR\LOMR	FOUNDATION PERMIT APPROVAL
TRAFFIC CIRCULTAION LAYOUT (TCL)	BUILDING PERMIT APPROVAL
	X CERTIFICATION OF OCCUPANCY (PERM.)
ENGINEERS CERTIFICATION (DRB. APPR. SITE PLAN)	
X OTHER - AS-BUILTS	GRADING PERMIT APPROVAL
	PAVING PERMIT APPROVAL
	WORK ORDER APPROVAL OTHER (SPECIFY) 「同意同》 [国意]
WAS A PRE-DESIGN CONFRENCE ATTENDED:	OTHER (SPECIFY) [] [] [] [] [] [] [] [] [] [
YES	APR 0 3 2002
X NO	
COPY PROVIDED	HYDROLOGY SECTION
Date Submitted: April 03, 2002	By: John A. Tellez
Requests for approvals of Site Development Plans and/or Subdivision The particular nature, location and scope of the proposed development of the following levels of submittal may be required based on	ent defines the degree of drainage detail. One or

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five

2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5)

3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

T.\Projects\X1218013\M\Docs\DIS2 doc



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 5, 2001

Daniel Aguirre, P.E.
Wilson & Company
4900 Lang Avenue NE
Albuquerque, NM 87109

Attn: Mario Juarez-Infante

RE: PEARSON SPEC BUILDING, 8016 Pennsylvania Circle NE (J19-D74). GRADING AND DRAINAGE PLAN FOR BUILDING PERMIT AND FOR SO#19 PERMIT

APPROVALS. ENGINEER'S STAMP DATED March 14, 2001.

Dear Mr. Aguirre:

Based on the information provided on your March 15, 2001 submittal, the above referenced project is approved for both Building and SO#19 Permits.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit is required for construction within the City right-of-way. A copy of this approval letter must be on hand when applying for the excavation permit.

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,

John P. Murray, P.E.

Hydrology

c: Pam Lujan
Terri Martin
File

PUBLIC WORKS DEPARTMENT

APRIL 5, 2001

INTEROFFICE CORRESPONDENCE

HYDROLOGY DIVISION

TO:

Pam Lujan, Permits

FROM John Murray, Hydrology, PWD

SUBJECT: PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHT-OF-WAY

DRAINAGE FILE NUMBER (J19-D74). PEARSON SPEC BUILDING AT 8016 Pennsylvania Circle NE.

Transmitted herewith is a copy of the approved drainage plan for the referenced project incorporating the SO #19 design.

This plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

As you are aware, the signed off SO #19 is required by this office for Certificate of Occupancy release; therefore your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of the Certificate of Occupancy.

Thank you for your cooperation and if you should have any questions and/or comments, please feel free to call me at 924-3984.

Attachment

DRAINAGE INFORMATION SHEET

DRB#: N/A	PROJECT TIT	ΓLE: David Pearson Spec Bldg.	ZONE ATLAS/DRN	G. FILE#: J-19/2000	
LEGAL DESCRIPTION: Lot numbered twenty four (24) of ashcraft center, a subdivision of the City of Albuquerque, NM, a replat of blocks B and C of Mesa del Norte Height No. 10, as the same as shown and designated on the replat of said subdivision, filed in the office of the county clerk of Bemalillo County, NM on September 3, 1976, in plat book D7, Folio 58. CITY ADDRESS: 8016 Pennsylvania Circle NE, Albuquerque, NM 87110 ENGINEERING FIRM: Wilson & Company CONTACT: Mario G. Juarez-Infante PHONE: (505) 348-4021 Albuquerque, NM 87109 OWNER: David Pearson CONTACT: David Pearson CONTACT: Suite 1 Albuquerque, NM 87111 ARCHITECT: Gerard R. Brown Architect ADDRESS: PHONE: CONTACT: Gerard R. Brown PHONE: (505) 877-2838 Albuquerque, NM 87195 SURVEYOR: ADDRESS: PHONE: CONTACT: CONTACT: ADDRESS: PHONE: CONTACT: BRAINAGE REPORT SKETCH PLAT APPROVAL SCIENTIFICATION SECTION OF PROVAL SECTION OF PROVAL SOEV. PLAN FOR BLDG: PERMIT APPROVAL ADDRESS: ADDRESS: ADDRESS: PRELIMINARY PLAT APPROVAL ADDRESS: ADDRESS: ADDRESS: PHONE: CONTACT: ADDRESS: ADDRE	DRB#·	N/Δ FPC#· N/Δ	MORK ORDER	#· \\T / \\	
Albuquerque, NM, a replat of blocks B and C of Mesa del Norte Height No. 10, as the same as shown and designated on the replat of said subdivision, filed in the office of the county clerk of Bernalillo County, NM on September 3, 1976, in plat book D7, Folio 58. CITY ADDRESS: 8016 Pennsylvania Circle NE, Albuquerque, NM 87110 ENGINEERING FIRM: Wilson & Company CONTACT: Mario G. Juarez-Infante ADDRESS: 4900 Lang Ave. NE PHONE: (505) 348-4021 Albuquerque, NM 87109 OWNER: David Pearson CONTACT: David Pearson ADDRESS: 4830 Juan Tabo Boulevard N.E. PHONE: (505)-293-8275 Suite 1 Albuquerque, NM 87111 ARCHITECT: Gerard R. Brown Architect CONTACT: Gerard R. Brown Albuquerque, NM 87195 SURVEYOR: CONTACT: Gerard R. Brown Architect CONTACT: Gerard R. Brown Albuquerque, NM 87195 SURVEYOR: CONTACT: CONTACT: GONTACT: PHONE: (505) 877-2838 Albuquerque, NM 87195 SURVEYOR: CONTACT: CONTACT: Albuquerque, NM 87195 SURVEYOR: CONTACT: PHONE: CONTACT: PHONE: CONTACT: PHONE: CONTACT: ADDRESS: PHONE: CONTACT: CONTACT: ADDRESS: PHONE: CONTACT: ADDRESS: PHONE: CONTACT: CONTACT: ADDRESS: PHONE: CONTACT: CONTACT: ADDRESS: PHONE: CONTACT: CONTACT: CONTACT: CONTACT: CONTACT: ADDRESS: PHONE: CONTACT: CON	_				
10, as the same as shown and designated on the replat of said subdivision, filed in the office of the county clerk of Bernalillo County, NM on September 3, 1976, in plat book D7, Folio 58. CITY ADDRESS: 8016 Pennsylvania Circle NE, Albuquerque, NM 87110 ENGINEERING FIRM: Wilson & Company CONTACT: Mario G. Juarez-Infante ADDRESS: 4900 Lang Ave. NE PHONE: (505) 348-4021 Albuquerque, NM 87109 OWNER: David Pearson CONTACT: David Pearson ADDRESS: 4830 Juan Tabo Boulevard N.E. PHONE: (505)-293-8275 Suite 1 Albuquerque, NM 87111 ARCHITECT: Gerard R. Brown Architect CONTACT: Gerard R. Brown ADDRESS: PO Box 12904 PHONE: (505) 877-2838 Albuquerque, NM 87195 SURVEYOR: CONTACT: Gerard R. Brown Architect CONTACT: GONTACT: GONT					
Filed in the office of the county clerk of Bernalillo County, NM on September 3, 1976, in plat book D7, Folio 58. CITY ADDRESS: 8016 Pennsylvania Circle NE, Albuquerque, NM 87110 ENGINEERING FIRM: Wilson & Company CONTACT: Mario G. Juarez-Infante (505) 348-4021 Albuquerque, NM 87109 OWNER: Albuquerque, NM 87109 OWNER: David Pearson CONTACT: David Pearson ADDRESS: 4830 Juan Tabo Boulevard N.E. PHONE: (505)-293-8275 Suite 1 Albuquerque, NM 87111 ARCHITECT: Gerard R. Brown Architect CONTACT: Gerard R. Brown ADDRESS: PO Box 12904 PHONE: (505) 877-2838 Albuquerque, NM 87195 SURVEYOR: CONTACT: GONTACT:					
3, 1976, in plat book D7, Folio 58. CITY ADDRESS: 8016 Pennsylvania Circle NE, Albuquerque, NM 87110 ENGINEERING FIRM: Wilson & Company CONTACT: Mario G. Juarez-Infante ADDRESS: 4900 Lang Ave. NE PHONE: (505) 348-4021 Albuquerque, NM 87109 OWNER: David Pearson CONTACT: David Pearson ADDRESS: 4830 Juan Tabo Boulevard N.E. PHONE: (505)-293-8275 Suite 1 Albuquerque, NM 87111 ARCHITECT: Gerard R. Brown Architect CONTACT: Gerard R. Brown ADDRESS: PO Box 12904 PHONE: (505) 877-2838 Albuquerque, NM 87195 SURVEYOR: CONTACT: Albuquerque, NM 87195 SURVEYOR: CONTACT: CONTACT: PHONE: PHONE: CONTACT: PHONE: PHON					
CITY ADDRESS: 8016 Pennsylvania Circle NE, Albuquerque, NM 87110 ENGINEERING FIRM: Wilson & Company CONTACT: Mario G. Juarez-Infante ADDRESS: 4900 Lang Ave. NE PHONE: (505) 348-4021 Albuquerque, NM 87109 OWNER: David Pearson CONTACT: David Pearson ADDRESS: 4830 Juan Tabo Boulevard N.E. PHONE: (505)-293-6275 Suite 1 Albuquerque, NM 87111 ARCHITECT: Gerard R. Brown Architect CONTACT: Gerard R. Brown ADDRESS: PO Box 12904 PHONE: (505) 877-2838 Albuquerque, NM 87195 SURVEYOR: CONTACT: ADDRESS: PHONE: ADDRESS: PHONE: CONTACT: ADDRESS: PHONE: ADDRESS: PHONE: CONTACT: ADDRESS: PHONE: AD				mo County, Mivi on September	
ENGINEERING FIRM: Wilson & Company ADDRESS: 4900 Lang Ave. NE Albuquerque, NM 87109 OWNER: David Pearson ADDRESS: 4830 Juan Tabo Boulevard N.E. Suite 1 Albuquerque, NM 87111 ARCHITECT: Gerard R. Brown Architect ADDRESS: PO Box 12904 Albuquerque, NM 87195 SURVEYOR: CONTACT: David Pearson ADDRESS: PO Box 12904 Albuquerque, NM 87195 SURVEYOR: CONTACT: Gerard R. Brown ADDRESS: PHONE: (505) 877-2838 ADDRESS: PHONE: CONTACT: ADDRESS: PHONE: CONTACT: PHONE:				10	
ADDRESS: 4900 Lang Ave. NE Albuquerque, NM 87109 OWNER: David Pearson CONTACT: David Pearson ADDRESS: 4830 Juan Tabo Boulevard N.E. Suite 1 Albuquerque, NM 87111 ARCHITECT: Gerard R. Brown Architect CONTACT: Gerard R. Brown ADDRESS: PO Box 12904 PHONE: (505) 877-2838 Albuquerque, NM 87195 SURVEYOR: CONTACT: Gerard R. Brown ADDRESS: PHONE: CONTACT: ADDRESS: PHONE: CONTACT: ADDRESS: PHONE: CONTACT: PHONE: CONTACT: ADDRESS: PHONE: TYPE OF SUBMITTAL: CHECK TYPE OF APPROVAL SOUGHT: X DRAINAGE REPORT SKETCH PLAT APPROVAL CONCEPTUAL GRADING & DRAINAGE PLAN S. DEV. PLAN FOR SUB'D. APPROVAL X GRADING PLAN S. DEV. PLAN FOR SUB'D. APPROVAL EROSION CONTROL PLAN SECTOR PLAN APPROVAL ENGINEER'S CERTIFICATION FINAL PLAT APPROVAL X OTHER SO-19 PRE-DESIGN MEETING: CERTIFICATION FINAL PLAT APPROVAL X DRAINAGE REPORT SECTOR PLAN APPROVAL ENGINEER'S CERTIFICATION FINAL PLAT APPROVAL X DRAINAGE PLAN SECTOR PLAN APPROVAL ENGINEER'S CERTIFICATION FINAL PLAT APPROVAL ENGINEER'S CERTIFICATION FINAL PLAT APPROVAL SCHORL PROVIDED S.A.D. DRAINAGE PROVAL X BUILDING PERMIT APPROVAL CERTIFICATE OF CUPANCY APPROVAL S.A.D. DRAINAGE-REQUIREMENTS YES OTHER: T, C, C, C, OTHER: T, C,	CITT ADDKI	255: 8016 Pennsylvania Circle NE, P	ubuquerque, Nivi 871	10	
ADDRESS: 4900 Lang Ave. NE Albuquerque, NM 87109 OWNER: David Pearson CONTACT: David Pearson ADDRESS: 4830 Juan Tabo Boulevard N.E. Suite 1 Albuquerque, NM 87111 ARCHITECT: Gerard R. Brown Architect CONTACT: Gerard R. Brown ADDRESS: PO Box 12904 PHONE: (505) 877-2838 Albuquerque, NM 87195 SURVEYOR: CONTACT: Gerard R. Brown ADDRESS: PHONE: CONTACT: ADDRESS: PHONE: CONTACT: ADDRESS: PHONE: CONTACT: CONTACT: ADDRESS: PHONE: CONTACT: CONTACT: CONTACT: ADDRESS: PHONE: CONTACT: ADDRESS: PHONE: CONTACT: CONTACT: CONTACT: CERTIFICATE OF APPROVAL ADDRESS: PHONE: CERTIFICATE OF CUPANCY APPROVAL ADDRESS: PHONE: CONTACT: CONTACT: CONTACT: CERTIFICATE OF CUPANCY APPROVAL ADDRESS: ADDRESS: PHONE: CONTACT: CONTACT: CERTIFICATE OF CUPANCY APPROVAL ADDRESS: ADDRESS: PHONE: CONTACT: ADDRESS: ADDRESS: PHONE: CONTACT: ADDRESS: CONTACT: ADDRESS: ADDRESS: ADDRESS: ADDRESS: ADDRESS: ADDRESS: ADDRESS: ADDRESS:	ENGINEERI	NG FIRM: Wilson & Company	CONTACT:	Mario G. Juarez-Infante	
Albuquerque, NM 87109 OWNER: David Pearson ADDRESS: 4830 Juan Tabo Boulevard N.E. PHONE: (505)-293-8275 Suite 1 Albuquerque, NM 87111 ARCHITECT: Gerard R. Brown Architect ADDRESS: PO Box 12904 PHONE: (505) 877-2838 Albuquerque, NM 87195 SURVEYOR: CONTACT: Gerard R. Brown PHONE: (505) 877-2838 Albuquerque, NM 87195 SURVEYOR: CONTACT: PHONE: CONTACT: PRELIMINARY PLAT APPROVAL SUGHT: CONCEPTUAL GRADING & DRAINAGE PLAN S. DEV. PLAN FOR SUB'D. APPROVAL SUGHT: PROJUNG PERMIT APPROVAL SECTOR PLAN APPROVAL SECTOR PLAN APPROVAL FOUNDATION-PERMIT APPROVAL SECTOR PLAN APPROVAL SECTOR PLAN APPROVAL SECTOR PLAN APPROVAL SULL PROJUNG PERMIT APPROVAL SALD DARINAGE-REQUIREMENTS SULL PROJUNG PERMIT APPROVAL SULL PROJUN					
OWNER: David Pearson ADDRESS: 4830 Juan Tabo Boulevard N.E. Suite 1 Albuquerque, NM 87111 ARCHITECT: Gerard R. Brown Architect ADDRESS: PO Box 12904 Albuquerque, NM 87195 SURVEYOR: CONTACT: Gerard R. Brown ADDRESS: PHONE: (505) 877-2838 Albuquerque, NM 87195 SURVEYOR: CONTACT: PHONE: CONTACT: ADDRESS: PHONE: CONTACT: PHONE: CONTACT: ADDRESS: PHONE: CONTA					
ADDRESS: 4830 Juan Tabo Boulevard N.E. Suite 1 Albuquerque, NM 87111 ARCHITECT: Gerard R. Brown Architect ADDRESS: PO Box 12904 PHONE: (505) 877-2838 Albuquerque, NM 87195 SURVEYOR: CONTACT: Gerard R. Brown ADDRESS: PHONE: (505) 877-2838 Albuquerque, NM 87195 SURVEYOR: CONTACT: PHONE: CONT	OWNER:		– CONTACT·	David Pearson	
Suite 1 Albuquerque, NM 87111 ARCHITECT: Gerard R. Brown Architect ADDRESS: PO Box 12904 PHONE: (505) 877-2838 Albuquerque, NM 87195 SURVEYOR: CONTACT: ADDRESS: PHONE: CONTACT: ADDRESS: PHONE: CONTACT: ADDRESS: PHONE: CONTACT: ADDRESS: PHONE: CONTACT: ADDRESS: PHONE: TYPE OF SUBMITTAL: CHECK TYPE OF APPROVAL SOUGHT: X DRAINAGE REPORT SKETCH PLAT APPROVAL X DRAINAGE PLAN PRELIMINARY PLAT APPROVAL X GRADING PLAN S. DEV. PLAN FOR SUB'D. APPROVAL X GRADING PLAN SECTOR PLAN APPROVAL EROSION CONTROL PLAN SECTOR PLAN APPROVAL ENGINEER'S CERTIFICATION FINAL PLAT APPROVAL X OTHER SO 19 PRE-DESIGN MEETING: CERTIFICATION FINAL PLAT APPROVAL X BUILDING PERMIT APPROVAL X BUILDING PERMIT APPROVAL X BUILDING PERMIT APPROVAL YES GRADING PERMIT APPROVAL X BUILDING PERMIT APPROVAL YES GRADING PERMIT APPROVAL YES GRADING PERMIT APPROVAL YES GRADING PERMIT APPROVAL X BUILDING PERMIT APPROVAL YES GRADING PERMIT APPROVAL YE					
Albuquerque, NM 87111 ARCHITECT: Gerard R. Brown Architect CONTACT: Gerard R. Brown ADDRESS: PO Box 12904 PHONE: (505) 877-2838 Albuquerque, NM 87195 SURVEYOR: CONTACT: PHONE: ADDRESS: PHONE: CONTACT: CONTACT: CONTACT: PHONE: CONTACT: PHONE: TYPE OF SUBMITTAL: CHECK TYPE OF APPROVAL SOUGHT: X DRAINAGE REPORT SKETCH PLAT APPROVAL CONCEPTUAL GRADING & DRAINAGE PLAN PRELIMINARY PLAT APPROVAL CONCEPTUAL GRADING & DRAINAGE PLAN S. DEV. PLAN FOR SUBT. APPROVAL EROSION CONTROL PLAN SECTOR PLAN APPROVAL ENGINEER'S CERTIFICATION FINAL PLAT APPROVAL X OTHER SO.19 PRE-DESIGN MEETING: CERTIFICATION FINAL PLAT APPROVAL X GRADING PERMIT APPROVAL X OTHER SO.19 PRE-DESIGN MEETING: CERTIFICATION FINAL PLAT APPROVAL A BUILDING PERMIT APPROVAL COPY PROVIDED DRAINAGE-REQUIREMENTS OTHER: 7, C, C, DRAINAGE-REQUIREMENTS OTHER: 7, C, C, DRAINAGE-REQUIREMENTS				(303) 273 0273	
ARCHITECT: Gerard R. Brown Architect CONTACT: Gerard R. Brown ADDRESS: PO Box 12904 PHONE: (505) 877-2838 Albuquerque, NM 87195 SURVEYOR: CONTACT: PHONE: ADDRESS: PHONE: CONTACT: PHONE: CONTACTOR: CONTACT: PHONE: CONTACTOR: CONTACT: PHONE: TYPE OF SUBMITTAL: CHECK TYPE OF APPROVAL SOUGHT: X DRAINAGE REPORT SKETCH PLAT APPROVAL X DRAINAGE PLAN PRELIMINARY PLAT APPROVAL CONCEPTUAL GRADING & DRAINAGE PLAN S. DEV. PLAN FOR SUBTD. APPROVAL X GRADING PLAN SECTOR PLAN APPROVAL EROSION CONTROL PLAN SECTOR PLAN APPROVAL ENGINEER'S CERTIFICATION FINAL PLAT APPROVAL X OTHER SO-19 PRE-DESIGN MEETING: CERTIFICATION FINAL PLAT APPROVAL YES NO COPY PROVIDED A BUILDING PERMIT APPROVAL S. AD. DRAINAGE-REQUIREMENTS COPY PROVIDED DRAINAGE-REQUIREMENTS Y OTHER: 7, C, C, DRAINAGE-REQUIREMENTS				•	
ADDRESS: PO Box 12904 Albuquerque, NM 87195 SURVEYOR: CONTACT: ADDRESS: PHONE: CONTACTOR: ADDRESS: PHONE: CONTACT: PHONE: CONTACT: PHONE: CONTACT: ADDRESS: PHONE: CONTACT: ADDRESS: PHONE: CONTACT: ADDRESS: PHONE: CHECK TYPE OF APPROVAL SOUGHT: X DRAINAGE REPORT SKETCH PLAT APPROVAL CONCEPTUAL GRADING & DRAINAGE PLAN CONCEPTUAL GRADING & DRAINAGE PLAN S. DEV. PLAN FOR SUB'D. APPROVAL EROSION CONTROL PLAN ENGINEER'S CERTIFICATION FINAL PLAT APPROVAL X OTHER SO-19 PRE-DESIGN MEETING: YES NO COPY PROVIDED DRAINAGE-REQUIREMENTS Y. OTHER: T, C, C, Date Submitted: 3/14/01	ARCHITECT		— CONTACT·	Cerard R Brown	
Albuquerque, NM 87195 SURVEYOR: ADDRESS: CONTACT: PHONE: CONTACT: ADDRESS: PHONE: TYPE OF SUBMITTAL: CHECK TYPE OF APPROVAL SOUGHT: X DRAINAGE REPORT X DRAINAGE PLAN CONCEPTUAL GRADING & DRAINAGE PLAN GRADING PLAN EROSION CONTROL PLAN EROSION CONTROL PLAN ENGINEER'S CERTIFICATION X OTHER SO-19 PRE-DESIGN MEETING: YES NO COPY PROVIDED Albuquerque, NM 87195 CONTACT: PHONE: CHECK TYPE OF APPROVAL SOUGHT: SKETCH PLAT APPROVAL PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUBD. APPROVAL SECTOR PLAN APPROVAL FOUNDATION-PERMIT APPROVAL X BUILDING PERMIT APPROVAL YES NO COPY PROVIDED DRAINAGE-REQUIREMENTS Y. OTHER: T, C, C, Date Submitted: 3/14/01					
SURVEYOR: ADDRESS: CONTRACTOR: CONTACT: PHONE: CONTACT: ADDRESS: PHONE: TYPE OF SUBMITTAL: CHECK TYPE OF APPROVAL SOUGHT: X DRAINAGE REPORT X DRAINAGE PLAN CONCEPTUAL GRADING & DRAINAGE PLAN EROSION CONTROL PLAN EROSION CONTROL PLAN ENGINEER'S CERTIFICATION X OTHER SO-19 PRE-DESIGN MEETING: YES NO COPY PROVIDED Date Submitted: 3/14/01			, IIIOIVI.	(303) 677-2030	
ADDRESS: CONTRACTOR: CONTACT: ADDRESS: PHONE: TYPE OF SUBMITTAL: CHECK TYPE OF APPROVAL SOUGHT: X DRAINAGE REPORT SKETCH PLAT APPROVAL Y DRAINAGE PLAN CONCEPTUAL GRADING & DRAINAGE PLAN S. DEV. PLAN FOR SUB'D. APPROVAL X GRADING PLAN EROSION CONTROL PLAN EROSION CONTROL PLAN ENGINEER'S CERTIFICATION FINAL PLAT APPROVAL X OTHER SO 19 FRE-DESIGN MEETING: YES NO COPY PROVIDED DATE SUBMITTAL: CHECK TYPE OF APPROVAL SKETCH PLAT APPROVAL PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUB'D. APPROVAL FOUNDATION PERMIT APPROVAL SECTOR PLAN APPROVAL FOUNDATION PERMIT APPROVAL SUILDING PERMIT APPROVAL YES GRADING PERMIT APPROVAL YES OTHER: OTHER: TO THERE SO 19 DRAINAGE-REQUIREMENTS Y OTHER: TO COPY PROVIDED DATE SUBMITTED: DATE SUBMITTED: OTHER: T, C,	SURVEYOR		— CONTACT·		
CONTRACTOR: ADDRESS: PHONE: TYPE OF SUBMITTAL: CHECK TYPE OF APPROVAL SOUGHT: X DRAINAGE REPORT SKETCH PLAT APPROVAL X DRAINAGE PLAN CONCEPTUAL GRADING & DRAINAGE PLAN S. DEV. PLAN FOR SUB'D. APPROVAL X GRADING PLAN EROSION CONTROL PLAN ENGINEER'S CERTIFICATION FINAL PLAT APPROVAL X OTHER SO-19 X BUILDING PERMIT APPROVAL CERTIFICATE OF DOCUPANCY APPROVAL YES NO COPY PROVIDED DATE SUBMITTAL: CHECK TYPE OF APPROVAL SKETCH PLAT APPROVAL S. DEV. PLAN FOR BLDG: PERMIT APPROVAL FOUNDATION-PERMIT APPROVAL CERTIFICATE OF DOCUPANCY APPROVAL A BUILDING PERMIT APPROVAL CERTIFICATE OF DOCUPANCY APPROVAL A BUILDING PERMIT APPROVAL S. DEV. PLAN APPROVAL S. DEV. PLAN FOR BLDG: PERMIT APPROVAL FOUNDATION-PERMIT APPROVAL CERTIFICATE OF DOCUPANCY APPROVAL A BUILDING PERMIT APPROVAL CERTIFICATE OF DOCUPANCY APPROVAL CERTIFICATE OF DOCUPANCY APPROVAL A BUILDING PERMIT APPROVAL CERTIFICATE OF DOCUPANCY APPROVAL CERTIFICATE OF DOCUPANCY APPROVAL A BUILDING PERMIT APPROVAL CERTIFICATE OF DOCUPANCY APPROVAL CERTIFICATE OF DOCUPANCY APPROVAL CONCEPTUAL OF THE CONCEPTUAL O					
ADDRESS: TYPE OF SUBMITTAL: CHECK TYPE OF APPROVAL SOUGHT: X DRAINAGE REPORT X DRAINAGE PLAN CONCEPTUAL GRADING & DRAINAGE PLAN CONCEPTUAL GRADING & DRAINAGE PLAN S. DEV. PLAN FOR SUB'D. APPROVAL S. DEV. PLAN FOR BLDG: PERMIT APPROVAL EROSION CONTROL PLAN ENGINEER'S CERTIFICATION THAT APPROVAL FINAL PLAT APPROVAL FOUNDATION-PERMIT APPROVAL FOUNDATION-PERMIT APPROVAL CERTIFICATE OF DOCUPANCY APPROVAL YES NO COPY PROVIDED DRAINAGE-REQUIREMENTS YOTHER: 7, C, C, Date Submitted: 3/14/01				· ·- ·- · - · - · - · - · - · - · · · ·	
TYPE OF SUBMITTAL: CHECK TYPE OF APPROVAL SOUGHT: X DRAINAGE REPORT X DRAINAGE PLAN CONCEPTUAL GRADING & DRAINAGE PLAN X GRADING PLAN EROSION CONTROL PLAN ENGINEER'S CERTIFICATION X OTHER SO-19 FINAL PLAT APPROVAL FOUNDATION-PERMIT APPROVAL X BUILDING PERMIT APPROVAL X BUILDING PERMIT APPROVAL YES NO COPY PROVIDED COPY PROVIDED CHECK TYPE OF APPROVAL SOUGHT: SKETCH PLAT APPROVAL PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR BLDG. PERMIT APPROVAL FINAL PLAT APPROVAL FOUNDATION-PERMIT APPROVAL CERTIFICATE OF DOCUPANCY APPROVAL S. A.D. DRAINAGE REQUIREMENTS OTHER: 7, C, C, Date Submitted: 3/14/01					
X DRAINAGE REPORT X DRAINAGE PLAN CONCEPTUAL GRADING & DRAINAGE PLAN X GRADING PLAN EROSION CONTROL PLAN ENGINEER'S CERTIFICATION X OTHER SO-19 PRE-DESIGN MEETING: YES NO COPY PROVIDED Date Submitted: 3/14/01 SKETCH PLAT APPROVAL PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR BLDG: PERMIT APPROVAL SECTOR PLAN APPROVAL FINAL PLAT APPROVAL FOUNDATION-PERMIT APPROVAL CERTIFICATE OF DOCUPANCY APPROVAL S. D. DRAINAGE-REQUIREMENTS OTHER: 7, C, C, OTHER: 7, C, C,	TIDIDICE.		I II() \L.		
DRAINAGE PLAN CONCEPTUAL GRADING & DRAINAGE PLAN S. DEV. PLAN FOR SUB'D. APPROVAL S. DEV. PLAN FOR BLDG: PERMIT APPROVAL EROSION CONTROL PLAN ENGINEER'S CERTIFICATION TINAL PLAT APPROVAL FOUNDATION-PERMIT APPROVAL A BUILDING PERMIT APPROVAL X BUILDING PERMIT APPROVAL YES GRADING PERMIT APPROVAL OTHER SO-19 CERTIFICATE OF OCCUPANCY APPROVAL OTHER SO-19 A BUILDING PERMIT APPROVAL OTHER SO-19 OTHER	TYPE OF SUI	BMITTAL:	CHECK TYPE OF	APPROVAL SOUGHT:	
CONCEPTUAL GRADING & DRAINAGE PLAN X GRADING PLAN EROSION CONTROL PLAN ENGINEER'S CERTIFICATION X OTHER SO-19 PRE-DESIGN MEETING: YES NO COPY PROVIDED Date Submitted: 3/14/01 S. DEV. PLAN FOR SUB'D. APPROVAL S. DEV. PLAN FOR SUB'D. APPROVAL SECTOR PLAN APPROVAL FINAL PLAT APPROVAL FOUNDATION-PERMIT APPROVAL CERTIFICATE OF OCCUPANCY APPROVAL S. A.D. DRAINAGE-REQUIREMENTS OTHER: 7, C, C, Date Submitted: 3/14/01	X DRAINA	GE REPORT	SKETCH PLAT	ΓAPPROVAL	
S. DEV. PLAN FOR BLDG. PERMIT APPROVAL EROSION CONTROL PLAN ENGINEER'S CERTIFICATION TO THER SO-19 PRE-DESIGN MEETING: YES NO COPY PROVIDED Date Submitted: 3/14/01 SECTOR PLAN APPROVAL FINAL PLAT APPROVAL FOUNDATION-PERMIT APPROVAL CERTIFICATE OF OCCUPANCY APPROVAL S.A.D. DRAINAGE-REQUIREMENTS OTHER: 7, C, C, Date Submitted: 3/14/01	X DRAINA	GE PLAN	PRELIMINARY PLAT APPROVAL		
EROSION CONTROL PLAN ENGINEER'S CERTIFICATION X OTHER SO-19 PRE-DESIGN MEETING: YES NO COPY PROVIDED Date Submitted: 3/14/01 SECTOR PLAN APPROVAL FINAL PLAT APPROVAL FOUNDATION-PERMIT APPROVAL FOUNDATION-PERMIT APPROVAL SALD. DRAINAGE-REQUIREMENTS OTHER: 7, C, C, OTHER: 7, C, C,	CONCE	TUAL GRADING & DRAINAGE PLAN	S. DEV. PLAN FOR SUB'D. APPROVAL		
ENGINEER'S CERTIFICATION X OTHER SO-19 PRE-DESIGN MEETING: YES NO COPY PROVIDED Date Submitted: 3/14/01 FINAL PLAT APPROVAL FOUNDATION-PERMIT APPROVAL SUILDING PERMIT APPROVAL FOUNDATION-PERMIT APPROVAL FOUNDATION-PERMIT APPROVAL SUILDING PERMIT APPROVAL GRADING PERMIT APPROVAL S.A.D. DRAINAGE REQUIREMENTS OTHER: 7, C, C, C, C	X GRADIN	IG PLAN	S. DEV. PLAN FOR BLDG: PERMIT APPROVAL		
TOTHER SO-19 FOUNDATION PERMIT APPROVAL BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY APPROVAL YES NO PAVING PERMIT APPROVAL S.A.D. DRAINAGE REQUIREMENTS OTHER: 7, C, C, Date Submitted: 3/14/01	EROSION	N CONTROL PLAN	SECTOR PLAN APPROVAL		
PRE-DESIGN MEETING: YES NO COPY PROVIDED COPY PROVIDED X BUILDING PERMIT APPROVAL CERTIFICATE OF DCCUPANCY APPROVAL GRADING PERMIT APPROVAL PAVING PERMIT APPROVAL S.A.D. DRAINAGE REQUIREMENTS OTHER: 7, C, C, Date Submitted: 3/14/01	ENGINEER'S CERTIFICATION		FINAL PLAT APPROVAL		
PRE-DESIGN MEETING: YES NO COPY PROVIDED COPY P	X OTHER SO-19		FOUNDATION-PERMIT APPROVAL		
PRE-DESIGN MEETING: YES NO COPY PROVIDED COPY P	***		X BUILDING PE	RIMIT APPROVAL II W E	
GRADING PERMIT APPMARAL 5 2001 NO COPY PROVIDED DRAINAGE-REQUIREMENTS OTHER: 7, C, C, C, Date Submitted: 3/14/01	PRE-DESIGN I	MEETING:			
PAVING PERMIT APPROVAL S.A.D. DRAINAGE REQUIREMENTS Drainage Requirements OTHER: 7, C, C, Date Submitted: 3/14/01	YES	F.M.			
COPY PROVIDED S.A.D. DRAINAGE REQUIREMENTS Date Submitted: 3/14/01					
DRAINAGE-REQUIREMENTS YOTHER: 7, C, C, Date Submitted: 3/14/01			SAD DRAINA CERED BOLOGY SECTION		
Date Submitted: 3/14/01					
Date Submitted: 3/14/01				<u></u>	
	Date Submitte	ed: 3/14/01			



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Public Works Department Transportation Development Services Section

February 27, 2002

Gerard Brown, Registered Architect P.O. Box 12904 Albuquerque, NM 87195

Re:

Certification Submittal for Final Building Certificate of Occupancy for

Pearson Spec. Office Building, [J19 / D074]

8016 Pennsylvania Circle N.E. Architect's Stamp Dated 02/26/02

Dear Mr. Brown:

The TCL / Letter of Certification submitted on Feb. 27, 2002 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to Building and Safety and final C.O. has been logged in by Vicki Chavez in the Building Safety Section downstairs.

Sincerely,

Mike Zamora, Commercial Plan Checker

Development and Building Services

Public Works Department

c: Engineer
Hydrology file
Mike Zamora



GERARD R. BROWN

ARCHITEC

"Designed for the user to inspire the human spirit"

February 26, 2002

Mr. Michael J. Zamora, Traffic Plan Checker
City of Albuquerque, Transportation Development
600 Second Street N.W.
Albuquerque, New Mexico 87102

Re: A Spec Office Building for David Pearson 8016 Pennsylvania Circle, N.E.
Albuquerque, New Mexico

Dear Mike:

Upon inspection at the above referenced project, this letter will certify that the parking lot and Traffic Circulation Layout has been constructed in accordance with the attached Sheet C-1 from the building permit set.

Thank you for your assistance with this project.

Sincerely Yours,

GERARD & SBERT BROWN

Gerard R. Brown, Architect ARCY

02-26-02

cc: David Pearson

Angelo Turiciano, General Contractor

Attachments: Sheet C-1

Drainage and Transportation Information Sheet

FEB 2 7 2002

P.O. Box 12904
Albuquerque, N.M. 87195
Phone or FAX:
(505) 877-2838
E-mail:
GerardRBrown@aol.com

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: FOR DAVID PENSON DRB #:EPC#: LEGAL DESCRIPTION: 1 of 24 of the Asherralt	ZONE MAP/DRG. FILE #:
LEGAL DESCRIPTION: Lot 24 or the Asheralt (CITY ADDRESS: 8016 Pennsylvania Circle ENGINEERING FIRM: ADDRESS:	12., Alwerges, 111 87110 CONTACT: PHONE:
OWNER: David Peneson ADDRESS: 4830 Jum Tabo N.E. Svite CITY, STATE: Alboo verg 25, MM	ZIP CODE: CONTACT: Daving Pearson 1
ARCHITECT: GENARD R. BROWN ADDRESS: P.O. BOX 12904 CITY, STATE: Albuquerais, nm 87195	CONTACT: <u>Germon Brown</u> PHONE: <u>505/877-2838</u> ZIP CODE: <u>87195</u>
SURVEYOR: ADDRESS CITY, STATE: CONTRACTOR: Angels Turcians General Conc ADDRESS: 3535 Princeton Drive N.E. CITY, STATE: Albuquerare Nm	CONTACT: PHONE: ZIP CODE: CONTACT: An gelo Turicimo PHONE: 505/881-7934 ZIP CODE: 87107
DRAINAGE REPORT DRAINAGE PLAN DRAINAGE PLAN	SIA / FINANCIAL GUARANTEE RELEASE PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUB'D. APPROVAL S. DEV. PLAN FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL FINAL PLAT APPROVAL FOUNDATION PERMIT APPROVAL BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY (PERM.) CERTIFICATE OF OCCUPANCY (TEMP.) GRADING PERMIT APPROVAL PAVING PERMIT APPROVAL WORK ORDER APPROVAL OTHER (SPECIFY)
WAS A PRE-DESIGN CONFERENCE ATTENDED: YES NO COPY PROVIDED	FEB 27 2002
DATE SUBMITTED: 02/26/02 BY:	July 5. 15

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5)

3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) agrees or 2/27/02 - C/d an GT to Viciles ; 3/7/02 - Sent letter dates 2/27 in -loggestan

DRAINAGE INFORMATION SHEET (REV. 11/01/2001) David Pearson Spec Bldg. PROJECT TITLE: ZONE MAP/DRG. FILE#: J-19 DRB#: EPC#: N/A N/A WORK ORDER #: N/A Lot numbered twenty four (24) of ashcraft center, a subdivision of the City of Albuquerque, NM, a replat of LEGAL DESCRIPTION: blocks B and C of Mesa del Norte Height No. 10, as the same as shown and designated on the replat of said subdivision, filed in the office of the county clerk of Bernalillo County, NM on September 3, 1976, in plat book D7, Folio 58. CITY ADDRESS: 8016 Pennsylvania Circle NE. Albuquerque. NM 87110 **ENGINEERING:** Wilson & Company CONTACT: John A. Tellez ADDRESS: 4900 Lang Avenue NE PHONE: (505) 348-4128 CITY, STATE: Albuquerque, NM ZIP CODE: 87109 David Pearson OWNER: **CONTACT:** David Pearson ADDRESS: 4830 Juan Table Boulevard N.E. Suite 1 PHONE: (505) 293 8275 CITY, STATE: Albuquerque, NM 87111 ZIP CODE/ 87106 ARCHITECT: Gerard R. Brown Architect Gerard R. Brown CONTACT: ADDRESS: PO Box 12904 PHØNE: (505) 877-2838 CITY, STATE: Albuquerque, NM 87195 ZIP CODE: SURVEYOR: CONTACT? ADDRESS: PHONE CITY, STATE: ZIP CODE: CONTRACTOR: CONTACT: ADDRESS: PHONE: CITY, STATE: ZIP CODE: CHECK TYPE OF SUBMITTAL: CHECK TYPE OF APPROVAL SOUGHT: DRAINAGE REPORT SIA / FINANCIAL GUARANTEE RELEASE DRAINAGE PLAN PRELIMINARY PLAT APPROVAL CONCEPTUAL GRADING & DRAMAGE PLAN S. DEV. PLAN FOR SUB'D. APPROVAL GRADING PLAN S. DEV. PLAN FOR BLDG. PERMIT APPROVAL EROSION CONTROL ALANY SECTOR PLAN APPROVAL ENGINEERS CERTIFICATION (HYDROLOGY) FINAL PLAT APPROVAL CLOMR\LOMR FOUNDATION PERMIT APPROVAL TRAFFIC CIRCULTAION LAYOUT (TCL) BUILDING PERMIT APPROVAL ENGINEERS CERTIFICATION (TCL) X CERTIFICATION OF OCCUPANCY (PERM.) ENGINEERS CERTIFICATION (DRB. APPR. SITE PLAN) CERTIFICATION OF OCCUPANCY (TEMP.) OTHER - AS-BUILTS GRADING PERMIT APPROVAL PAVING PERMIT ARPROVAL WORK ORDER APPROVAL 到WIIIO OTHER (SPECIFY) [WAS A PRE-DESIGN CONFRENCE ATTENDED: YES HYDROLQGY SECTION COPY PROVIDED Date Submitted: April 03, 2002 John A. Tellez Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following: 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

T \Projects\X1218013\MiDocs\DIS2 doc 4/2/02 - Cld in GT. + Vick



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Public Works Department Transportation Development Services Section

April 13, 2001

Mario G.Juarez-infante for Daniel Aguirre, Registered Professional Engineer, Wilson & Company 4900 Lang N.E. Albuquerque, New Mexico 87109

Re:

T.C.L. submittal for building permit approval for Pearson Spec. Building, 8016 PennsylvaniaN.E. [J19/D074],

Engineer's Stamp dated 3/14/2001.

Dear Mr. Juarez-Infante,

The location referenced above is not acceptable and requires modification to the Traffic Circulation Layout (T.C.L.) prior to Building Permit release as stated on the attached checklist, written comments, and red-lined T.C.L. markup.

Please resubmit revised T.C.L. after addressing typed and marked up comments. Submit Plan along with typed comments and all red-lined, mark-up copies.

Sincerely,

Mike Zamora, Commercial Plan Checker

cc: Engineer Hydrology File Office File Hydo Com

TRAFFIC CIRCULATION LAYOUT CHECKLIST

SITE ADDRESS: <u>JOI 6 Pennsylvania NE</u> AGENT: <u>Mario Jurvey Infante - Wilson</u> DATE: 4/13/01 LEGAL DESCRIPTION: <u>Askeraft Guter Subdivision</u>, Lot 24 _____ZONE ATLAS PAGE: <u>J-19</u>

The Traffic Control Layout (TCL) is a basic Site Plan that contains information on all new and existing elements involved in the development of the site including: buildings, street widths, street sidewalks and curb & gutter, parking lot features, driveways, landscaped areas, lot lines and easement limits, etc. It will be reviewed prior to submittal of plans for a building permit. The TCL must be processed prior to submittal of plans for building permit. In most all cases the TCL must be certified by the designer-of-record prior to the issuance of a Certificate of Occupancy.

On all subsequent submittals, the design firm needs to complete and return the new TRAFFIC CIRCULATION LAYOUT CHECKLIST (Amendment To Come) provided, along with us of the DPM (Development Process Manual) to confirm required City standards. Also refer to previous TCL/Building Permit submittals (along with comments and markups) for past projects to avoid repeating errors and to help reduce the time required for plan review on subsequent TCL submittals. The first checklist has been completed by Transportation.

LEGEND-

- M Item addressed on initial submittal
- Item not yet addressed by designer or plan checker
- Not Applicable

GENERAL INFORMATION REQUIRED:

- 1. TCL will be stamped, signed and dated by architect or engineer.
- 図 2. Street address of site could be part of title block or Drainage Application sheet in Hydrology file.
- 3. Provide name of subdivision; lot number and/or tract number on TCL, if it's not on the Drainage Information Sheet.
- □ 4. Place note on TCL and Site Plan for Construction:

As required by Transportation Development Section, a copy of the approved TCL AS-BUILT will be submitted by the designer or acceptable representative party which includes a letter of certification stating the site has been constructed in accordance with the approved TCL. Verification of TCL acceptability, to include random field checks, will be made before a Final Certificate of Occupancy (C.O.) is issued. Please call this office to obtain temporary CO.

- 互 5. The plan review by Zoning could initiate a new review if original parking lot layout, approved by Transportation, needs to be altered.
- 6. Any Infrastructure work on city property, as part of this development, must be complete before issuance of CO. If work is not completed, Financial Guarantee must be on file with Design Review Office.
- 2. 7. Encroachment agreements are needed when structures, fences, walls or items of equal conflict are within City property.
- □ 8. Drawing line work on Drainage and Landscape Plans must exactly match Site Plan.

SPECIFIC INFORMATION REQUIRED:

	1. State Highway Department approval is required at locations where access is being taken from Highway Dept. roadways.
	2. Call out all overhead doors on site or call out, including size, on TCL.
	3. Overhead doors desired on site. Expectation by plan reviewer is that large wheel base (refuse/UPS) vehicle will be smalles
	vehicle to use doors. Refer to DPM for restrictions.
	4. State the design vehicle to be used at rear of site.
	5. Provide new and existing elements on TCL, properly labeled, and dimensioned. Show clear differentiation between existing
	construction and new improvements on TCL.
	6. Indicate which buildings the permit will certify for parking improvements. If applicable, clearly differentiate future construction
	line type from new construction line type.
	7. Any minor changes to TCL as required by Transportation and are acceptable by Hydrology, call out on Site Plan as such:
	"INSPECTION OF CONSTRUCTION FOR CO, FOR TRANSPORTATION, WILL BE DONE FROM THIS SHEET."
	8. Indicate transition from one surface type to the other on TCL, for example, ramps (include handicap (HC) ramps), concrete
	asphalt, landscape area/ concrete, concrete / dirt, concrete /gravel, etc. Label each area or stippleor equalto show varying
	surfaces.
	9. Show, label and dimension position of all existing obstructions in sidewalks in City right-of-way.
	10. Label to paint, on asphalt, stalls for small car parking as "COMPACT" or equal.
	11. Minimum 5 foot width concrete sidewalk raised 6" above parking surface will be needed, when located at front of parking
	vehicles (min.20' long stall) adjacent to any building. Place sidewalk at other locations where landscape shrubbery is required
	by Zoning, at front of stalls.
	12. At HC parking area, HC ramp must be constructed as part of sidewalk and not part of parking area.
	13. Restriping of parking stalls shall be called out, to be per City Standard.
	14. For future reference and for this project, provide half width of all streets 40' wide and over on TCL. Also, show all streets which
	will be used for Heavy Commercial traffic accessing site. On major streets, include median and openings, if existing and if not,
	show traffic lanes on developer's side of street, up to and including middle turn lane.
	15. Alley limits must be 20-foot width
	16. City standard paved roadway must be constructed in alley, along the entire lot frontage from point of access into alley from
	street at either end of alley.
a	17. Construct alley entrance per City Std. Detail Dwg. 2428. Width of entrance will be a minimum of 24 feet when the
	development is the first lot on the block, and access to proposed parking is taken thorough the alley.



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Public Works Department Transportation Development Services Section

June 7, 2001

Gerard R. Brown, Registered Architect, Gerard R. Brown Architect P.O. Box 12904 Albuquerque, New Mexico 87195

Re:

T.C.L. submittal (2nd) for building permit approval for Pearson Spec. Building, 8016 PennsylvaniaN.E. [J19/D074],

Engineer's Stamp dated 3/30/2001.

Dear Mr. Brown,

The location referenced above is not acceptable and requires modification to the Traffic Circulation Layout (T.C.L.) prior to Building Permit release as stated on the updated checklist, and latest red-lined T.C.L. markup.

Red markings are made on the original checklist and reflect work still needing attention. A revised checklist is also submitted.

Please resubmit revised T.C.L. after addressing typed and marked up comments. Submit Plan along with all typed comments and all red-lined, mark-up copies.

Sincerely,

Mike Zamora,

Commercial Plan Checker

cc: Engineer Hydrology File Office File

TRAFFIC CIRCULATION LAYOUT CHECKLIST

SITE ADDRESS: 8016	Pansulvania	NE. AGENT:	Ferand R. Brown	DATE: 4/13/01
LEGAL DESCRIPTION:	Askeraft	Conter Subdiv	Frenand R. Brown Sion, Lot 24	ZONE ATLAS PAGE: J-19

The Traffic Control Layout (TCL) is a basic Site Plan that contains information on all new and existing elements involved in the development of the site including: buildings, street widths, street sidewalks and curb & gutter, parking lot features, driveways, landscaped areas, lot lines and easement limits, etc. It will be reviewed prior to submittal of plans for a building permit. The TCL must be processed prior to submittal of plans for building permit. In most all cases the TCL must be certified by the designer-of-record prior to the issuance of a Certificate of Occupancy.

On all subsequent submittals, the design firm needs to complete and return the new TRAFFIC CIRCULATION LAYOUT CHECKLIST (Amendment To Come) provided, along with using the DPM (Development Process Manual) to confirm required City standards. Also refer to previous TCL/Building Permit submittals (along with comments and markups) for past projects to avoid repeating errors and to help reduce the time required for plan review on subsequent TCL submittals. The first checklist has been completed by Transportation.

LEGEND-

- ✓ Item addressed on initial submittal
- Item not yet addressed by designer or plan checker
- Not Applicable

GENERAL INFORMATION REQUIRED:

- ✓ 1. TCL will be stamped, signed and dated by architect or engineer.
- ✓ 2. Street address of site could be part of title block or Drainage Application sheet in Hydrology file.
- ✓ 3. Provide name of subdivision; lot number and/or tract number on TCL, if it's not on the Drainage Information Sheet.
- ☐ 4. Place note on TCL and Site Plan for Construction:

As required by Transportation Development Section, a copy of the approved TCL AS-BUILT will be submitted by the designer or acceptable representative party which includes a letter of certification stating the site has been constructed in accordance with the approved TCL. Verification of TCL acceptability, to include random field checks, will be made before a Final Certificate of Occupancy (C.O.) is issued. Please call this office to obtain temporary CO. Confirmation from Hydrology, supporting this requirement, will be needed prior to approval of TCL by Transportation.

- ✓ ☑5. The plan review by Zoning could initiate a new review if original parking lot layout, approved by Transportation, needs to be altered.
- ✓ 6. ☑Any Infrastructure work on city property, as part of this development, must be complete before issuance of CO. If work is not completed, Financial Guarantee must be on file with Design Review Office.
- 7. Encroachment agreements are needed when structures, fences, walls or items of equal conflict are within City property.
- 8. Drawing line work on Drainage and Landscape Plans must exactly match Site Plan.

SPECIFIC INFORMATION REQUIRED:

- 1. State Highway Department approval is required at locations where access is being taken from Highway Dept. roadways.
- 2. Overhead doors desired on site. Expectation by plan reviewer is that large wheel base (refuse/UPS) vehicle will be smallest vehicle to use doors. Refer to DPM for restrictions.
- 3. State the design vehicle to be used at rear of site.
- 4. Provide new and existing elements on TCL, properly labeled, and dimensioned. Show clear differentiation between existing construction and new improvements on TCL.
- 5. Indicate which buildings the permit will certify for parking improvements. If applicable, clearly differentiate future construction line type from new construction line type.
- 6. Any minor changes to TCL as required by Transportation and are acceptable by Hydrology, call out on Site Plan as such: "INSPECTION OF CONSTRUCTION FOR CO, FOR TRANSPORTATION, WILL BE DONE FROM THIS SHEET."
- 7. Indicate transition from one surface type to the other on TCL, for example, ramps (include handicap (HC) ramps), concrete/asphalt, landscape area/ concrete, concrete / dirt, concrete /gravel, etc. Label each area or stipple to show varying surfaces, or equal.
- ✓ 8. ☑Show, label and dimension position of all existing obstructions in sidewalks in City right-of-way.
- ✓ 9. Label stalls for small car parking as "COMPACT" or equal.
- ✓ 10. Minimum 5 foot width concrete sidewalk raised 6" above parking surface will be needed, when located at front of parking vehicles (min.20' long stall) adjacent to any building. Place sidewalk at other locations where landscape shrubbery is required, by Zoning, at front of stalls.
- ✓ 11. At HC parking area, HC ramp must be constructed as part of sidewalk and not part of parking area.
- 12. Restriping of parking stalls shall be called out, to be per City Standard.
- 13. For future reference and for this project, provide half width of all streets 40' wide and over on TCL. Also, on streets which will be used for Heavy Commercial traffic accessing site. On major streets, include median and openings, if existing and if not, show traffic lanes on developer's side of street, up to and including middle turn lane.
- 14. Alley limits must be 20-foot width
- 15. City standard paved roadway must be constructed in alley, along the entire lot frontage from point of access into alley from street at either end of alley.
- 16. Construct alley entrance per City Std. Detail Dwg. 2428. Width of entrance will be a minimum of 24 feet when the development is the first lot on the block, and access to proposed parking is taken thorough the alley.

PUBLIC WORKS DEPARTMENT

APRIL 5, 2001

INTEROFFICE CORRESPONDENCE

HYDROLOGY DIVISION

TO:

Pam Lujan, Permits

FROM: John Murray, Hydrology, PWD

SÚBJECT: PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHT-OF-WAY DRAINAGE FILE NUMBER (J19-D74). PEARSON SPEC BUILDING AT 8016 Pennsylvania Circle NE.

Transmitted herewith is a copy of the approved drainage plan for the referenced project incorporating the SO #19 design.

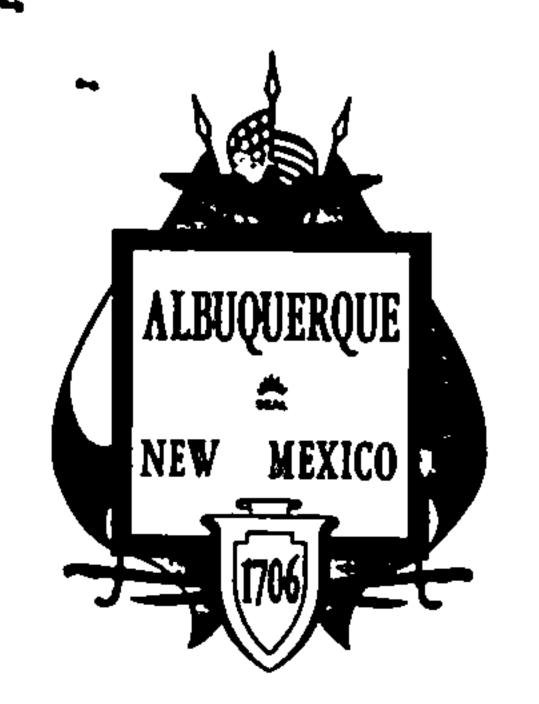
This plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

As you are aware, the signed off SO #19 is required by this office for Certificate of Occupancy release; therefore your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of the Certificate of Occupancy.

Thank you for your cooperation and if you should have any questions and/or comments, please feel free to call me at 924-3984.

Attachment

OASDM.



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 5, 2001

Daniel Aguirre, P.E.
Wilson & Company
4900 Lang Avenue NE
Albuquerque, NM 87109

Attn: Mario Juarez-Infante

RE: PEARSON SPEC BUILDING, 8016 Pennsylvania Circle NE (J19-D74). GRADING AND DRAINAGE PLAN FOR BUILDING PERMIT AND FOR SO#19 PERMIT

APPROVALS. ENGINEER'S STAMP DATED March 14, 2001.

Dear Mr. Aguirre:

Based on the information provided on your March 15, 2001 submittal, the above referenced project is approved for both Building and SO#19 Permits.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit is required for construction within the City right-of-way. A copy of this approval letter must be on hand when applying for the excavation permit.

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,

John P. Murray,

Hydrology

c: Pam Lujan
Terri Martin
File