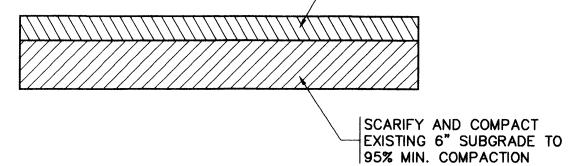


# -3" ASPHALT CONCRETE TYPE 'C' GRADATION TOOL EDGE TYPICAL 6" X 16" CONCRETE CURB WITH 2-#4 BARS CONT. HORIZ. 6" COMPACTED SUBGRADE TO 95% MODIFIED PROCTOR SECTION-B SCALE: 1"=1'

CONCRETE TURNDOWN SIDEWALK 3" ASPHALT CONCRETE 1500 LBS. STABILITY TYPE 'C' GRADATION



SECTION-A

TYPE 'C' PAVEMENT SECTION

TOOLED EDGE (TYP.)-

3" ASPHALT CONCRETE

TYPE 'C' GRADATION-

6" SUBGRADE PREP

COPACTED TO 95%

MAX. DENSITY



ENGINEER'S CERTIFICATION I, CHRISTOPHER A. PEREA, DO HEREBY CERTIFY THAT THIS SITE IS GRADED HEREON AND IS IN SUBTANITAL COMPLIANCE WITH THE APPROVED DRAINAGE PLAN.

## NOTICE TO CONTRACTOR

- 1. AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

#### DRAINAGE REPORT

Site Location: Spec Office Building is located on Pennsylvania Circle just of Pennsylvania Boulevard. The proposed development includes asphalt paving, concrete work, landscaping, and a 2968ft<sup>2</sup> leasable

Methodology: Section 22.2 of the City of Albuquerque DPM was used in the hydrology analysis of the site. A principal design storm of 100yr 6-hour event was used.

**Existing Drainage Conditions:** The total area of the property is 0.254 acres and is designated a Basins 101. The terrain is compacted sandy soil with sparse native vegetation. The site slopes east to west ±1.5% grade. Present site conditions approximately discharge 0.027 acre-ft onto Pennsylvania Circle N.E./Rhode Island Intersection. The entire site is located in an infill-developed area; sits similar to a raised median island, thereby not affected by any offsite flows.

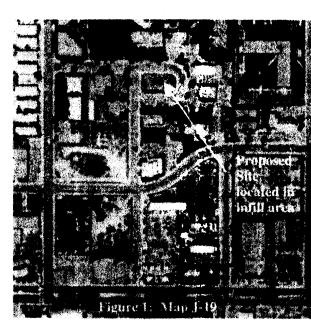


Table 1 provides a breakdown of the existing land type for each the basin including its respective volumetric runoff and discharge value.

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Basın	Area (ac)	%A	%B	%C	%D	V <sub>360 (acre-ft)</sub>	Q <sub>100(cfs)</sub>
101	0.254	0	0	100	0	0.027	0.876
Total	0.254	all and the second second second second second	The state of the s		MERCHANIST CONTRACTOR STREET	0.027	0.876

Proposed Conditions: The proposed construction divides the area into 2 basins, named Basins 201 and 202. Basin 201 is approximately 0.120 acres occupying the eastside of the lot. Basin 201 is comprised of the proposed building; refuse enclosure, and landscaping improvements. All runoff will sheet flow eastwardly and discharge onto Pennsylvania Circle N.E.

Basin 202 is approximately 0.134 acres of asphalt paving, concrete sidewalk, two drive pads, and landscaping. Runoff will sheet flow towards the northeast corner of the basin, routed via a sidewalk culvert, and discharged onto Pennsylvania Circle N.E./Rhode Island Intersection.

Table 2 provides a breakdown of the proposed land types for each basin including their respective volumetric runoff and discharge values.

	Table 2: TREATMENT												
Basin	Area (ac)	%A	%B	%C	%D	V <sub>360 (acre-ft)</sub>	Q <sub>100 (cts</sub>						
201	0.120	0	5	5	90	0.022	0.576						
202	0.134	0	5	5	90	0.025	0.648						
Total	0.254			to be interested a comprehensive species		0.047	1.224						

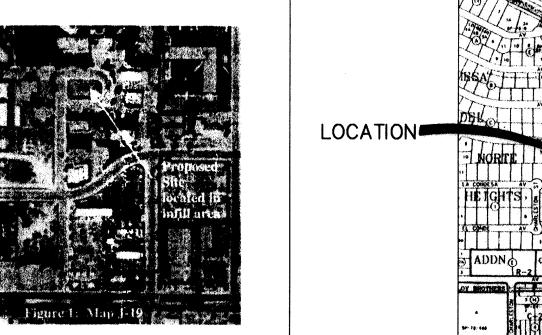
GRAPHIC SCALE

( IN FEET )

1 inch = 20 ft.

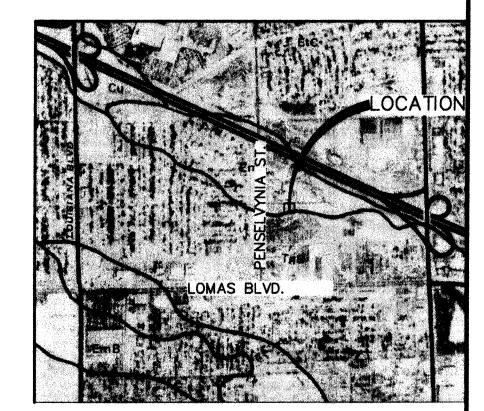
13.

Conclusions: The proposed development is located in an infill area (see Figure 1). According to the Albuquerque Master Drainage Study, Area 2; the approximate basin boundary follows Lomas Avenue, up Wyoming Boulevard, the I-40 drainage channel, and south along Pennsylvania Street (see map J-19). This basin area is 95% developed. The infill site is insignificant as compared to the entire basin area. Therefore, the total discharge onto right-of-way will not impact the existing storm drain system.



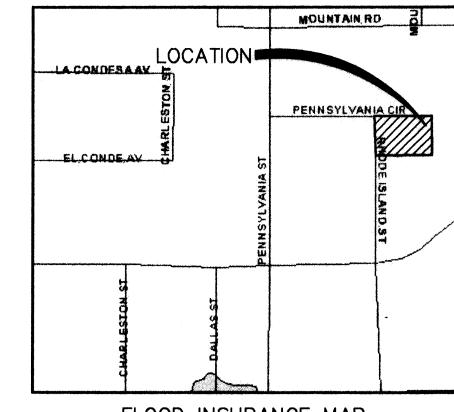
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LOCATION MAP ZONE ATLAS MAP NO. J-19



SOILS MAP

REFERENCE: SCS BERNALILLO COUNTY SOIL SURVEY SHEET NO. 31



FLOOD INSURANCE MAP

LEGAL DESCRIPTION

REFERENCE: FLOOD INSURANCE STUDY PANEL 358

LOT NUMBERED TWENTY-FOUR (24) OF ASHCRAFT CENTER, A SUBDIVISION OF THE CITY OF ALBUQUERQUE, NEW MEXICO, A REPLAT OF BLOCKS B AND C OF MESA DEL NORTE HEIGHTS NO. 10, AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 3, 1976, IN PLAT BOOK D7, FOLIO 58.

#### BENCH MARK

ACS STATION "17-K19" LOCATED AT THE INTERSECTION OF LOMAS BLVD. N.E. AND TENNESSEE ST. N.E. THE STATION IS A STANDARD ACS 3 1/4" ALUM. CAP SET FLUSH IN THE CURB. ELEVATION=5341.78 ft. MSLD 1929.

4900 LANG AVENUE N.E.

#### **LEGEND** WILSON EXISTING INTERMEDIATE CONTOUR

EXISTING INDEX CONTOUR PROPOSED INTERMEDIATE CONTOUR PROPOSED INDEX CONTOUR PROPOSED SPOT ELEVATION

EXISTING BASIN DESIGNATION

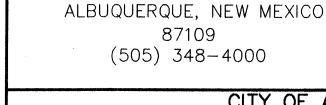
PROPOSED BASIN DESIGNATION

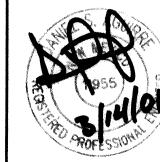
EXISTING BASIN BOUNDARY

PROPOSED BASIN BOUNDARY

PROPOSED ASPHALT

PROPOSED CONCRETE DRIVEPAD





MARCH 2001 FILE NO. X1-218-013DESIGN DRAWN

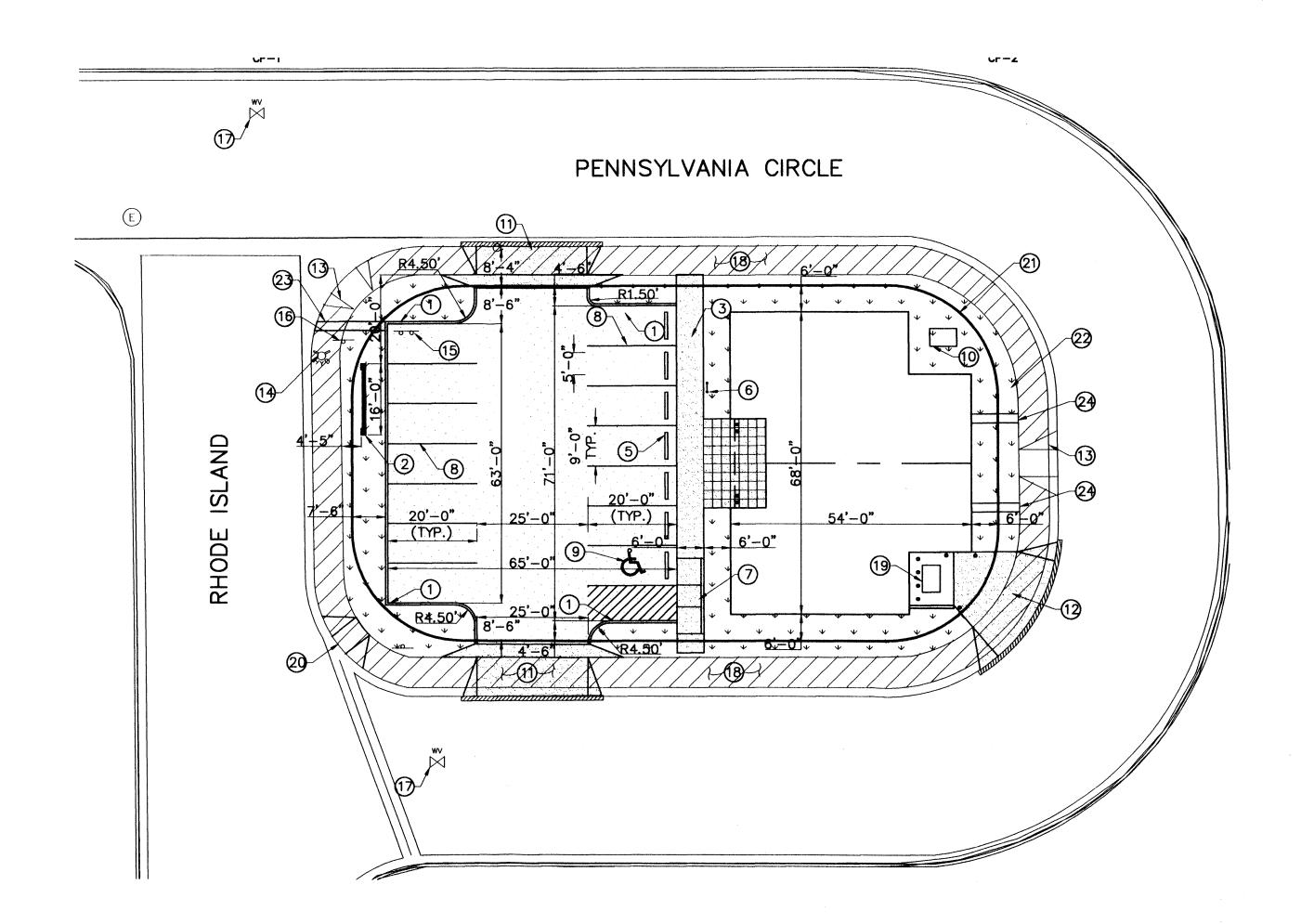
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT

#### **ENGINEERING GROUP** PEARSON SPEC BUILDING GRADING & DRANAGE PLAN

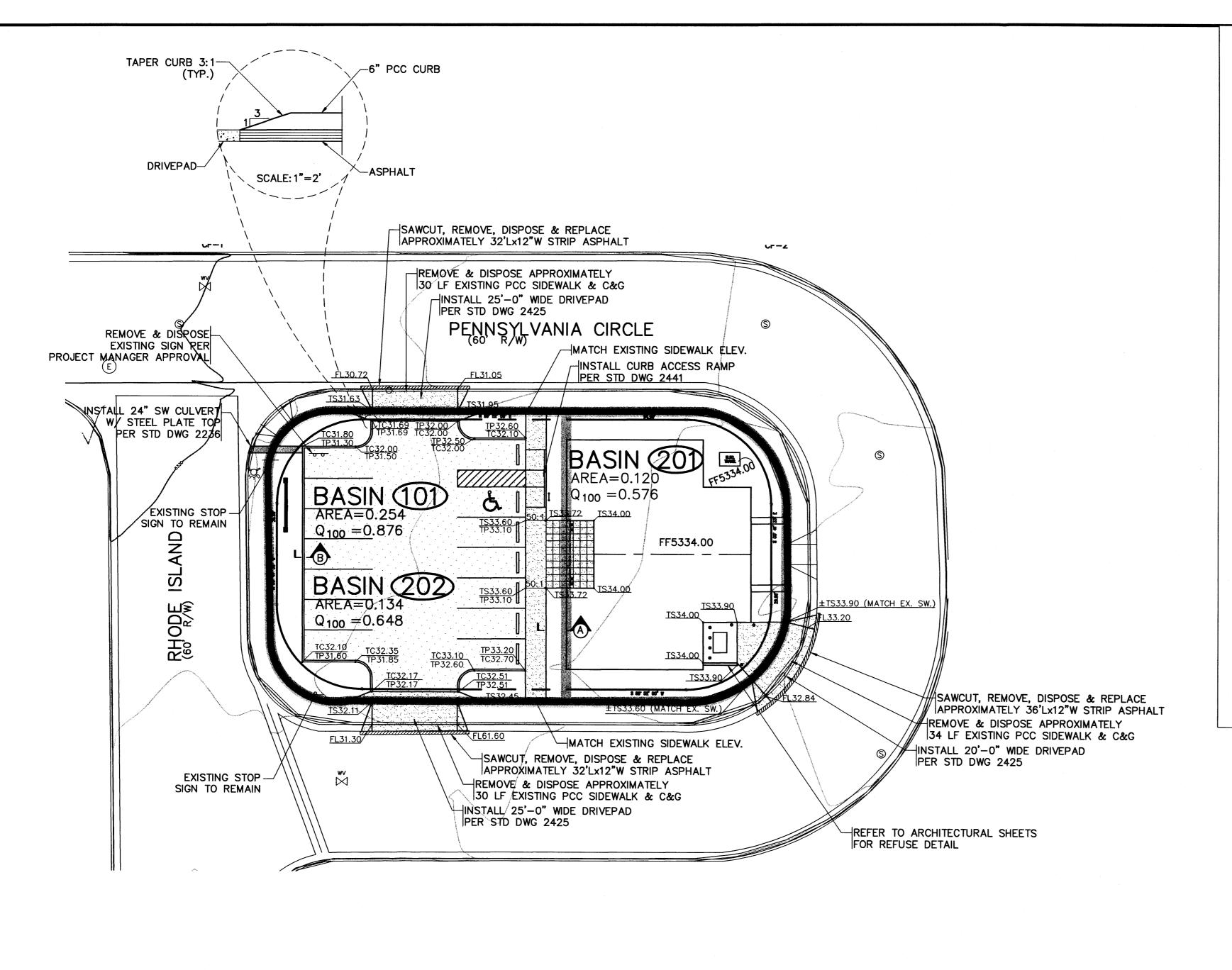
Zone Map No. Sheet

HYDROLOGY SECTION

Design Review Committee | City Engineer Approval



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_KE	YED NOTES								makening property and the state of the state		
(1)	NEW HEADER CURB S	SEE DETAIL SHEET C-2									
3	NEW 6'-0" SIDEWALK			<u> </u>		•			8		
4	DRIVEPAD, WIDTH VAI		ACIT A LIGOTIAN		DATE	DATE	DATE	DATE	INFORMA TION	DATE	
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7	NEW ADA RAMP	, -, -, -							INF		
8	NEW 4" PARKING STE	RIPE						- 1	FILM		
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- 3" ASPHALT CONCRETE TYPE 'C' GRADATION TOOL EDGE TYPICAL 6" X 16" CONCRETE CURB WITH 2-#4 BARS CONT. HORIZ. 6" COMPACTED SUBGRADE TO 95% MODIFIED PROCTOR DENSITY

> SECTION-B HEADER CURB SCALE: 1"=1'

TYPE 'C' GRADATION SCARIFY AND COMPACT EXISTING 6" SUBGRADE TO 95% MIN. COMPACTION

CONCRETE TURNDOWN SIDEWALK

3" ASPHALT CONCRETE

1500 LBS. STABILITY

SECTION-A

TYPE 'C' PAVEMENT SECTION

TOOLED EDGE (TYP.)\_

3" ASPHALT CONCRETE

TYPE 'C' GRADATION-

6" SUBGRADE PREP

COPACTED TO 95%

MAX. DENSITY-

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- 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

INSPECTOR

#### **DRAINAGE REPORT**

Site Location: Spec Office Building is located on Pennsylvania Circle just of Pennsylvania Boulevard. The proposed development includes asphalt paving, concrete work, landscaping, and a 2968ft<sup>2</sup> leasable

Methodology: Section 22.2 of the City of Albuquerque DPM was used in the hydrology analysis of the site. A principal design storm of 100yr 6-hour event was used.

Existing Drainage Conditions: The total area of the property is 0.254 acres and is designated a Basins 101. The terrain is compacted sandy soil with sparse native vegetation. The site slopes east to west ±1.5% grade. Present site conditions approximately discharge 0.027 acre-ft onto Pennsylvania Circle N.E./Rhode Island Intersection. The entire site is located in an infill-developed area; sits similar to a raised median island, thereby not affected by any offsite flows.

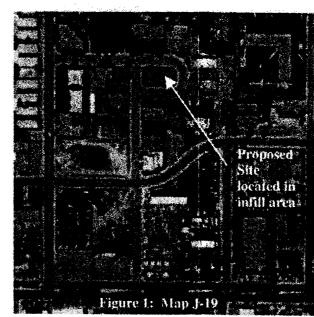


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Table 1: TREATMENT											
Basin	Area (ac)	%A	%B	%C	%D	V <sub>360 (acre-ft)</sub>	Q <sub>100(cfs)</sub>				
101	0.254	0	0	100	0	0.027	0.876				
Total	0.254					0.027	0.876				

<u>Proposed Conditions:</u> The proposed construction divides the area into 2 basins, named Basins 201 and 202. Basin 201 is approximately 0.120 acres occupying the eastside of the lot. Basin 201 is comprised of the proposed building; refuse enclosure, and landscaping improvements. All runoff will sheet flow eastwardly and discharge onto Pennsylvania Circle N.E.

Basin 202 is approximately 0.134 acres of asphalt paving, concrete sidewalk, two drive pads, and landscaping. Runoff will sheet flow towards the northeast corner of the basin, routed via a sidewalk culvert, and discharged onto Pennsylvania Circle N.E./Rhode Island Intersection.

Table 2 provides a breakdown of the proposed land types for each basin including their respective volumetric runoff and discharge values.

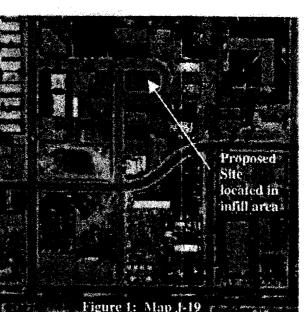
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GRAPHIC SCALE

( IN FEET )

1 inch = 20 ft.

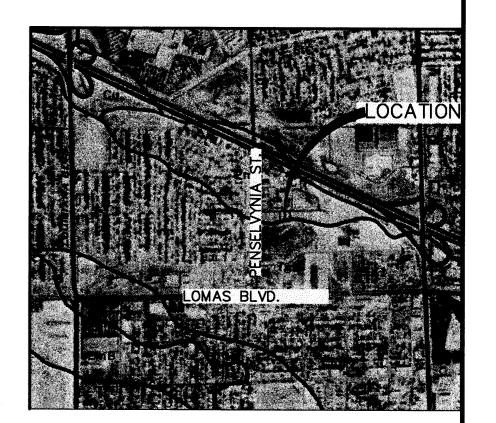
Conclusions: The proposed development is located in an infill area (see Figure 1). According to the Albuquerque Master Drainage Study, Area 2; the approximate basin boundary follows Lomas Avenue, up Wyoming Boulevard, the I-40 drainage channel, and south along Pennsylvania Street (see map J-19). This basin area is 95% developed. The infill site is insignificant as compared to the entire basin area. Therefore, the total discharge onto right-of-way will not impact the existing storm drain system.



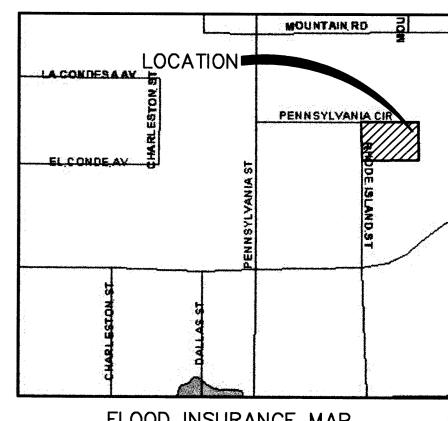
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LOCATION MAP ZONE ATLAS MAP NO. J-19



SOILS MAP REFERENCE: SCS BERNALILLO COUNTY SOIL SURVEY SHEET NO. 31



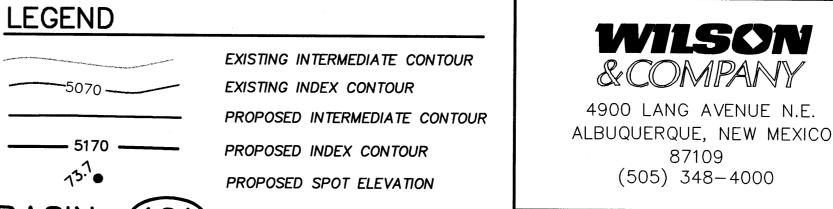
FLOOD INSURANCE MAP

REFERENCE: FLOOD INSURANCE STUDY PANEL 358

LEGAL DESCRIPTION LOT NUMBERED TWENTY-FOUR (24) OF ASHCRAFT CENTER, A SUBDIVISION OF THE CITY OF ALBUQUERQUE, NEW MEXICO, A REPLAT OF BLOCKS B AND C OF MESA DEL NORTE HEIGHTS NO. 10, AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 3, 1976, IN PLAT BOOK D7, FOLIO 58.

#### BENCH MARK

ACS STATION "17-K19" LOCATED AT THE INTERSECTION OF LOMAS BLVD. N.E. AND TENNESSEE ST. N.E. THE STATION IS A STANDARD ACS 3 1/4" ALUM. CAP SET FLUSH IN THE CURB. ELEVATION=5341.78 ft. MSLD 1929.



EXISTING BASIN DESIGNATION

PROPOSED BASIN DESIGNATION

EXISTING BASIN BOUNDARY

PROPOSED BASIN BOUNDARY

PROPOSED ASPHALT

PROPOSED CONCRETE DRIVEPAD



MARCH 2001 FILE NO.

X1-218-013

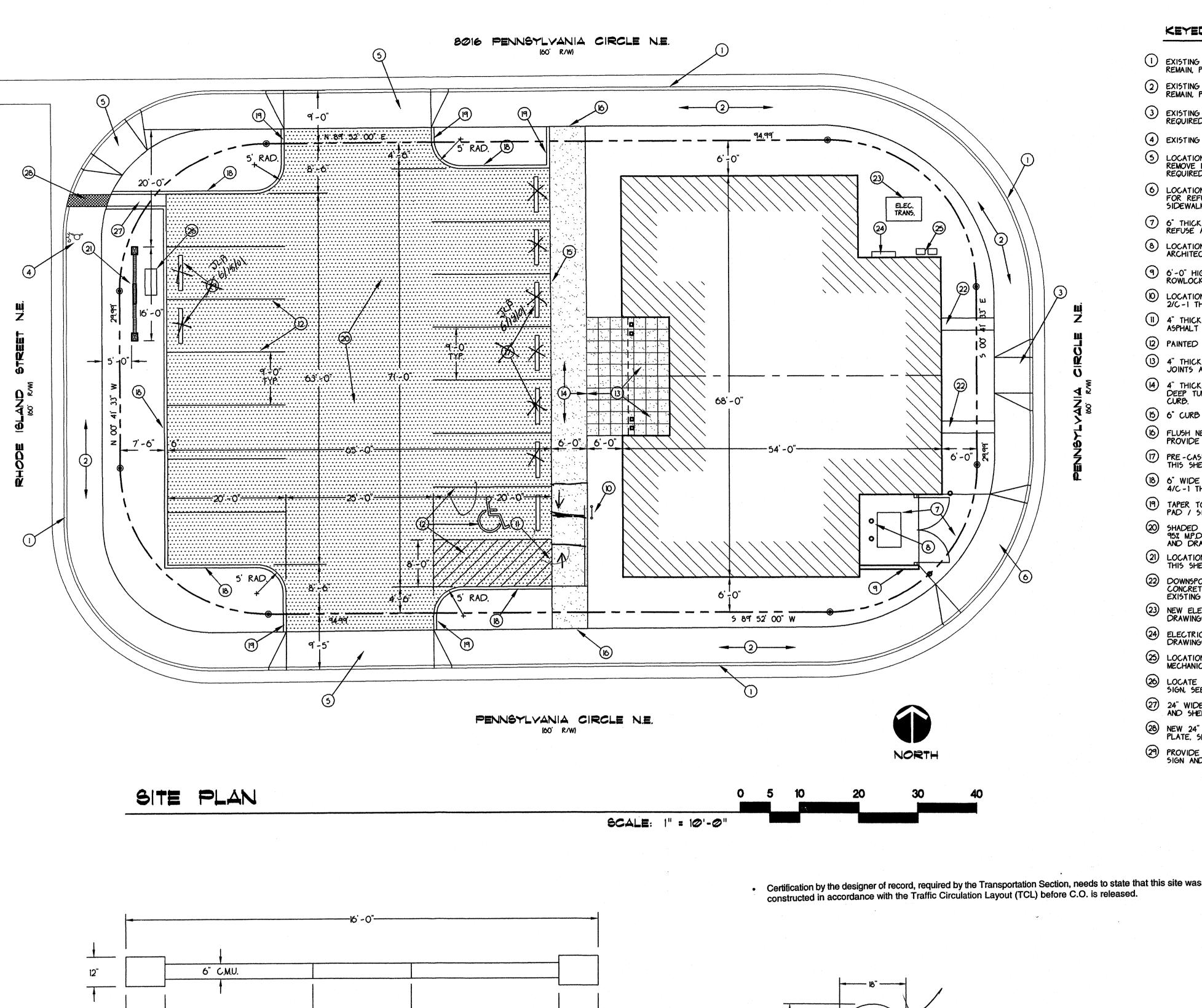
DESIGN | DRAWN MJI JLB

PUBLIC WORKS DEPARTMENT ENGINEERING GROUP

CITY OF ALBUQUERQUE

PEARSON SPEC BUILDING

GRADIN	NG & DRAN	AGE	E PLAI	V	
gn Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.	_
	Zone Map No.		Sheet	C-2	



BRICK ROWLOCK CAP ON RUNNING BOND COURSE AS SHOWN ON TOP OF PYLON

3' -8"

4'-8"

6" WHITE NUMBERS

SCALE : 1/2" = 1'-0"

BRICK ROWLOCK CAP ON RUNNING BOND COURSE AS SHOWN ON TOP OF PYLON

GRADE LINE

4" BRICK ROWLOCK CAP ON WALL

STUCCO FINISH ON

CMU. WALL AND PYLONS.

SEE CROSS SECTION I/A-7 FOR TYPICAL C.MU. WALL SECTION (SIM.)

SIGN ELEVATION / PLAN

KEYED NOTES : (Sheet C-1)

1 EXISTING CONCRETE CURB AND GUTTER AROUND SITE TO REMAIN, PROTECT AS REQUIRED.

2 EXISTING 6'-0" WIDE CONCRETE SIDEWALK AROUND SITE TO REMAIN, PROTECT AS REQUIRED UNLESS OTHERWISE NOTED.

3 EXISTING H.C. CURB CUT IN SIDEWALK TO REMAIN, PROTECT AS REQUIRED.

(4) EXISTING FIRE HYDRANT TO REMAIN, PROTECT AS REQUIRED.

5 LOCATION OF NEW 25'-O" WIDE C.O.A. STANDARD DRIVEPAD, REMOVE PORTION OF EXISTING CURB AND SIDEWALK AS

6 LOCATION OF NEW 20'-0" WIDE C.O.A. STANDARD DRIVEPAD FOR REFUSE ACCESS, REMOVE PORTION OF EXISTING CURB AND SIDEWALK AS REQUIRED.

7 6" THICK CONCRETE APRON SLAB WITH 6X6-10/10 W.W.M. AT REFUSE AREA.

8 LOCATION OF 2 CU. YO ROLL-OUT DUMPSTER. SEE ARCHITECTURAL DRAWINGS FOR REFUSE AREA.

9 6'-0" HIGH C.MU. SCREEN WALL WITH STUCCO AND BRICK ROWLOCK CAP. SEE ARCHITECTURAL DRAWINGS.

10 LOCATION OF FREE-STANDING HC. PARKING SIGN, SEE DETAIL 2/C-1 THIS SHEET.

4" THICK CONCRETE H.C. ACCESS RAMP IN SIDEWALK, FLUSH ASPHALT PAVING AT BOTTOM LANDING OF RAMP.

(12) PAINTED PARKING LOT MARKINGS AS SHOWN.

13 4" THICK COLORED CONCRETE ENTRY SLAB WITH SCORED JOINTS AT 2-0" O.C. EA. WAY.

4" THICK REGULAR CONCRETE SIDEWALK, PROVIDE WITH 10" DEEP TURNDOWN EDGE AT PARKING LOT TO FORM 6" HIGH CURB.

(15) 6" CURB AT TURNDOWN EDGE OF SIDEWALK.

6 FLUSH NEW CONCRETE SIDEWALK TO EXISTING SIDEWALK. PROVIDE 1/2" E.J. TYPICAL.

17) PRE-CAST CONCRETE PARKING BUMPER, SEE DETAIL 3/C-1 THIS SHEET.

(18) 6" WIDE X 16" DEEP CONCRETE HEADER CURB, SEE DETAIL

19) TAPER TOP OF HEADER CURB DOWN TO FLUSH WITH DRIVE-PAD / SIDEWALK.

SHADED AREA INDICATES NEW 3" THICK ASPHALT PAVING ON 95% MP.D., COMPACTED SUBGRADE. SEE SHEET C-2, GRADING AND DRAINAGE PLAN FOR ADDITIONAL INFORMATION.

(21) LOCATION OF FREE-STANDING SIGN WALL, SEE DETAIL 1/C-1

22) DOWNSPOUT LOCATION ON REAR WALL, PROVIDE 2'-0" WIDE CONCRETE SPILLWAY SLOPED FROM BUILDING TO FLUSH WITH EXISTING SIDEWALK.

23) NEW ELECTRICAL TRANSFORMER LOCATION, SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

24) ELECTRICAL SERVICE AND METER LOCATIONS, SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

25) LOCATION OF NEW GAS METERS, SEE SHEET U-I AND MECHANICAL DRAWINGS.

26 LOCATE IRRIGATION BACKFLOW PREVENTER AND VALVES BEHIND SIGN, SEE SHEETS L-I AND U-I FOR ADDITIONAL INFORMATION.

27 24" WIDE CONCRETE DRAINAGE RUNDOWN, SEE DETAIL 5/C-1

28 NEW 24" WIDE SIDEWALK CULVERT WITH CHECKERED STEEL PLATE, SEE SHEET C-2 FOR ADDITIONAL INFORMATION.

29 PROVIDE PARKING BUMPERS AT THESE TWO SPACES TO PROTECT SIGN AND IRRIGATION BACKFLOW PREVENTER.

GENERAL SITE NOTES :

EXISTING CONTOURS, SPOT ELEVATIONS AND UTILITIES AS SHOWN, ARE BASED ON OWNER SUPPLIED SURVEY AS PREPARED BY "WILSON AND COMPANY", DATED MARCH, 2001. SHOULD ACTUAL GRADES OR UTILITIES VARY FROM THESE DRAWINGS, CONTACT THE ARCHITECT FOR ADDITIONAL INFORMATION. THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF THE TOPOGRAPHIC AND UTILITY SURVEY.

CONTRACTOR SHALL VISIT THE SITE, PRIOR TO SUBMITTING A BID, AND SHALL FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING THE WORK THROUGH NORMAL VISUAL INSPECTION. CONTRACTOR SHALL INCLUDE ALL SUCH CONDITIONS IN HIS BID AND SHALL NOT BE ALLOWED EXTRA COMPENSATION FOR CONDITIONS WHICH ARE OBVIOUS AND CAN BE DETERMINDE THROUGH VISUAL SITE INSPECTION.

CONTRACTOR SHALL VERIFY ALL PROPERTY LINES, CORNERS AND EASEMENTS PRIOR TO COMMENCING ANY WORK. CONTRACTOR SHALL COMPLY WITH ALL ORDANANCES. COVANETS AND OTHER REQUIREMENTS AS TO PLACEMENT OF THE STRUCTURE ON THE PROPERTY.

CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCING ANY WORK, CONTRACTOR SHALL PROTECT AS REQUIRED EXISTING UTILITIES AND ADJACENT PROPERTY FROM DAMAGE, AND SHALL NOT BE ALLOWED EXTRA COMPENSATION DUE TO UNFAMILIARIZATION WITH

5. CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PREVENT DUST OR DEBRIS FROM BECOMING A NUISANCE TO THE OWNER, NEIGHBORS, AND TO OTHER WORK BEING PERFORMED ON OR NEAR TO THE SITE.

6. UNLESS OTHERWISE NOTED, DETAILED OR REQUIRED, ALL CONCRETE SIDEWALKS ANS STOOPS SHALL BE PROVIDED WITH A LIGHT BROOM FINISH WITH A MINIMUM OF I CROSS SLOPE FOR PROPER DRAINAGE, PROVIDE SCORED JOINTS AT THE WIDTH OF THE WALK AND EXPANSION JOINTS AT 25'-0" O.C. MAXIMUM.

UNLESS OTHERWISE NOTED, DETAILED OR REQUIRED. ALL ASPHALT DRIVE AND PARKING AREAS SHALL BE A MINIMUM OF 3" THICK HOT MIX ON COMPACTED SUBGRADE, COMPACTED TO 95% MP.D.

8. ALL WORK PERFORMED IN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE GOVERNING AUTHORITIES HAVING JURISDICTION.

9. REFER TO ARCHITECTURAL, MECHAINCAL, ELECTRICAL AND UTILITY DRAWINGS FOR ADDITIONAL SITEWORK NOT SHOWN ON THIS SHEET.

GERARD R. BROWN

ARCHITECT

P.O. BOX 12904 ALBUQUERQUE, NEW MEXICO 87195 PHONE OR FAX (505) 877-2838 E-Mail: GerardRBrown@aol.com

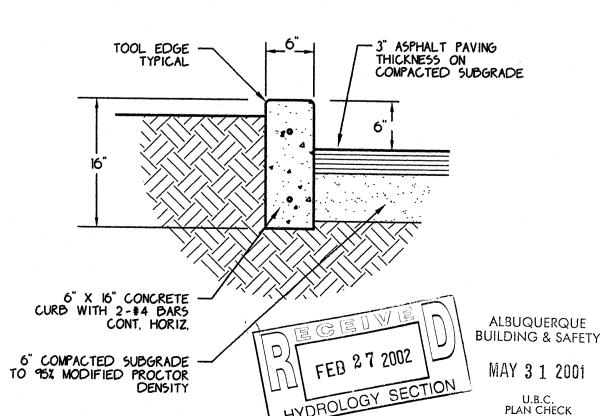


03-30-2001 GENERAL NOTES

- SLOPE BOTTOM OF CHANNEL AS SHOWN ON GRADING PLAN - COMPACTED SUBGRADE TO 95% MODIFIED PROCTOR DENSITY 6" THICK CONCRETE CHANNEL WITH #3 BAR5 AT 12" O.C. EA. WAY

### DRAINAGE CHANNEL DETAIL

SCALE: 3/4" = 1'-0"



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PROJECT

A SPEC OFFICE BUILDING

for DAVID PEARSON

8016 PENNSYLVANIA CIRCLE NE. ALBUQUEROUE, N.M. 87110

REVISIONS

MARCH 30, 2001

0007

JOB NO.

PLAN NO.

REVISED 05-03-01 TO PROVIDE VAN ACCESSIBLE PARKING SPACE.

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SCALE: 1" = 1'-0"

1 OF:

SCALE: 3/4" = 1'-0"

VAN ACCESSIBLE

H.C. PARKING SIGN

HANDICAP PARKING

1-1/2" STEEL TUBE PAINTED

PROVIDE 12 GA. PLATE WELDED TO VERT. TUBES PAINTED

BLUE HANDICAP PARKING SIGN

WITH WHITE LETTERS, MOUNT TO 12 GA. BACKER PLATE

SET SIGN POSTS IN 8" DIA, CONCRETE FOOTINGS

GRADE LINE

SCALE: 1/2" = 1'-0"

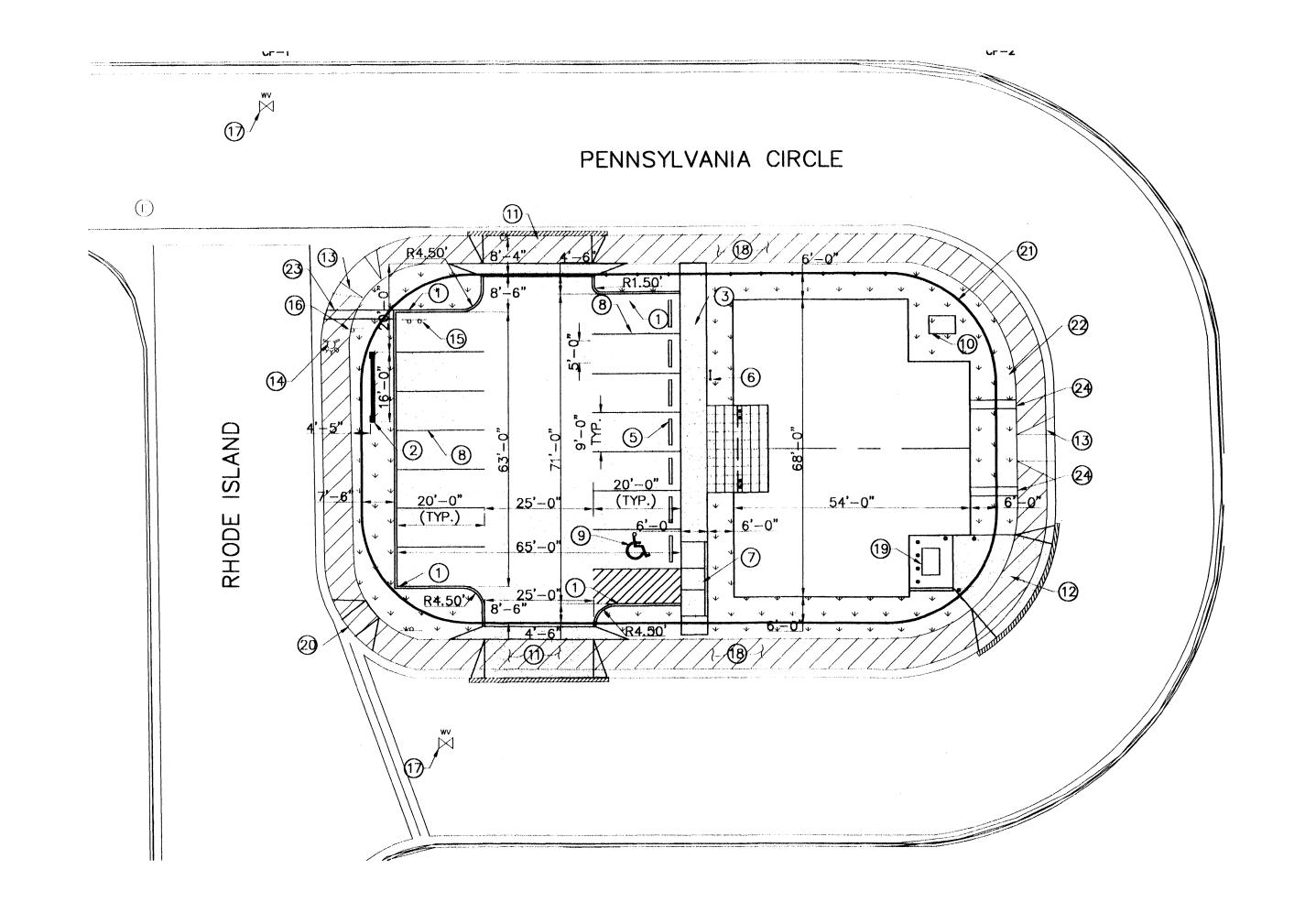
PRE-CAST CONC.

PARKING BUMPER

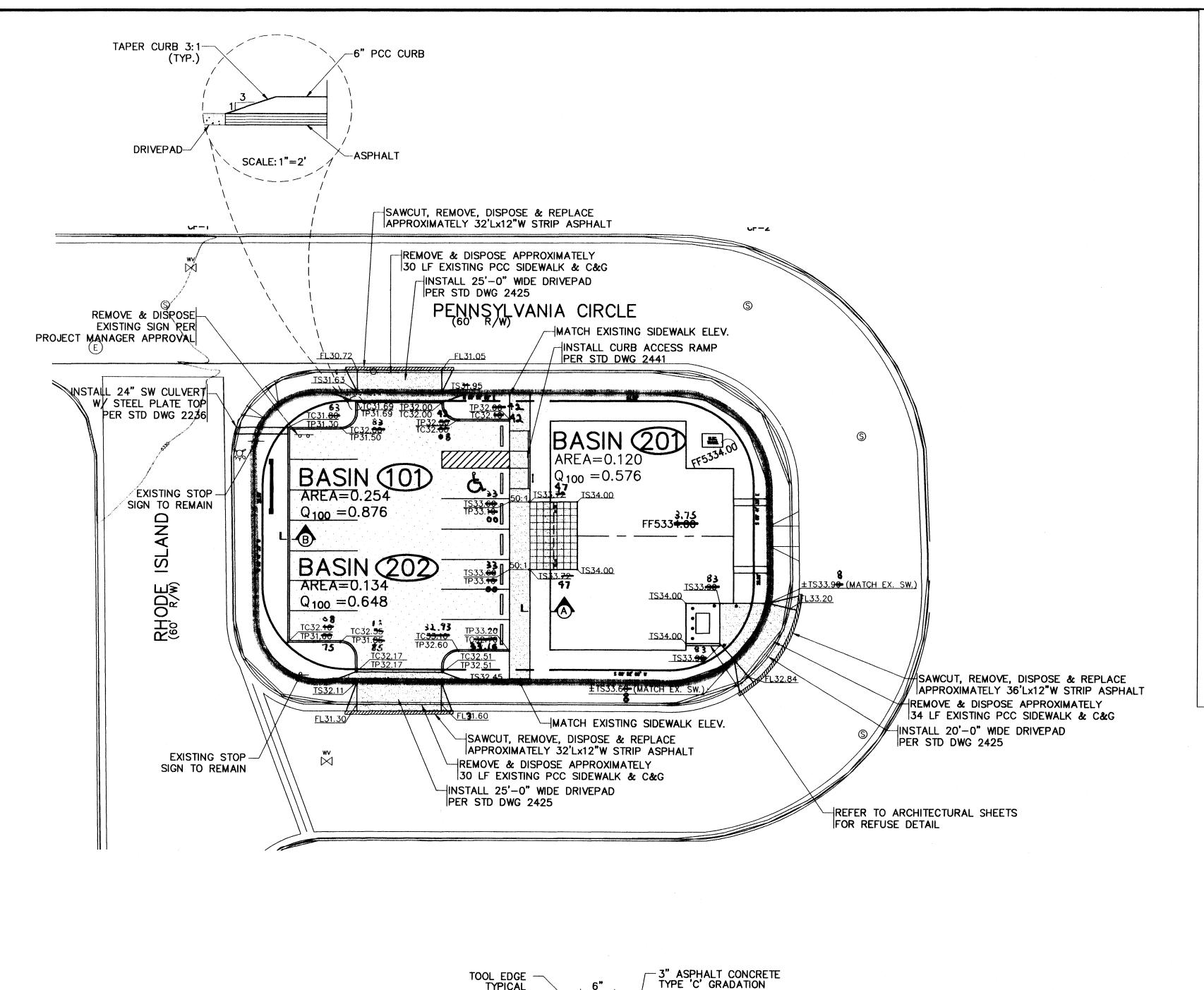
2-#3 BARS CONT, HORIZ.

- DRIVE ANCHOR PIN 6" INTO ASPHALT SURFACE, TYPICAL

- SMOOTH FINISH (FIBERGLAS FORM) 4.000 P.S.I. CONCRETE PARKING BUMPER AS MANUFACTURED BY MATERIALS, INC.



1 NEW HEADER CURB SEE DETAIL SHEET C-2 2 NEW SIGN 3 NEW 6'-0" SIDEWALK 4 DRIVEPAD, WIDTH VARIES 5 6"x6"X8" PARKING BUMPER (TYP.) 6 NEW H.C. PARKING SIGN 7 NEW ADA RAMP 8 NEW 4" PARKING STRIPE 9 NEW H.C. MARKER 10 NEW TRANSFORMER PAD 11 25'-0" DRIVEPAD PER STD DWG NO. 2426 12 20'-0" DRIVEPAD PER STD DWG NO. 2426 13 EXISTING H.C. RAMP TO REMAIN 14 EXISTING FH TO REMAIN 15 REMOVE & RELOCATE EXISTING SIGN 16 EXISTING WATER VALVE 18 EXISTING SIDEWALK TO REMAIN	AS-BUILT INFORMATION	ACTOR	DATE	OAIE	DATE	⊒ AC	INFORMATION	0A?E	er delegade a de debi un han a un mano mander que un separa seguin e para estar (que de candos) de separa
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THE APPROVED TCL AS-BUILT WILL BE SUBMITTED BY THE DESIGNER OR ACCEPTABLE REPRESENTATIVE PARTY WHICH INCLUDES A LETTER OF		AC	Z	밀	ST	Z	S۸		
CERTIFICATION STATING THE SITE HAS BEEN CONSTRUCTED IN			DATE						
ACCORDANCE WITH THE APPROVED TCL. VERIFICATION OF TCL ACCEPTABILITY, TO INCLUDE RANDOM FIELD CHECKS, WILL BE MADE	NOIT		2				<b></b>	,-,, <del>,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,</del>	
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THAT THE SITE IS CONSTRUCTED HEREON AND IS IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED	ENC				San A Street	A COST	Line St. Williams		
TRAFFIC CIRCULATION LAYOUT PLAN. MY CERTIFICATION IS FOR FINAL CERTIFICATION.									
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### NOTICE TO CONTRACTOR 1. AN EXCAVATION / CONSTRUCTION PERMIT

2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.

WILL BE REQUIRED BEFORE BEGINNING

ANY WORK WITHIN CITY RIGHT-OF-WAY.

- 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

#### DRAINAGE REPORT

<u>Site Location:</u> Spec Office Building is located on Pennsylvania Circle Just of Pennsylvania Boulevard. The proposed development includes asphalt paving, concrete work, landscaping, and a 2968ft<sup>2</sup> leasable

Methodology: Section 22.2 of the City of Albuquerque DPM was used in the hydrology analysis of the site. A principal design storm of 100yr 6-hour event was used.

Existing Drainage Conditions: The total area of the property is 0.254 acres and is designated a Basins 101. The terrain is compacted sandy soil with sparse native vegetation. The site slopes east to west ±1.5% grade. Present site conditions approximately discharge 0.027 acre-ft onto Pennsylvania Circle N.E./Rhode Island Intersection. The entire site is located in an infill-developed area; sits similar to a raised median island, thereby not affected by any offsite flows.

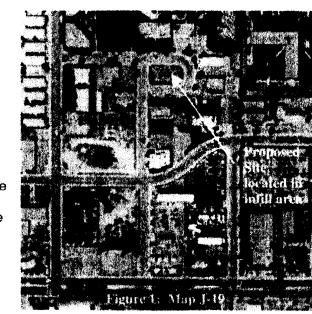


Table 1 provides a breakdown of the existing land type for each the basin including its respective volumetric runoff and discharge value.

Table 1: TREATMENT											
Basın	Area (ac)	%A	%B	%C	%D	V <sub>360 (acre-ft)</sub>	Q <sub>100(cfs)</sub>				
101	0.254	0	0	100	0	0.027	0.876				
Total	0.254	to the second result of the second second second second	COURT OF COMMISSION OF THE COMMISSION OF THE COURT OF THE	de salarita den aumain nama salarita salarita privalega (garinga (	PROJECT AND	0.027	0.876				

Proposed Conditions: The proposed construction divides the area into 2 basins, named Basins 201 and 202. Basin 201 is approximately 0.120 acres occupying the eastside of the lot. Basin 201 is comprised of the proposed building; refuse enclosure, and landscaping improvements. All runoff will sheet flow eastwardly and discharge onto Pennsylvania Circle N.E.

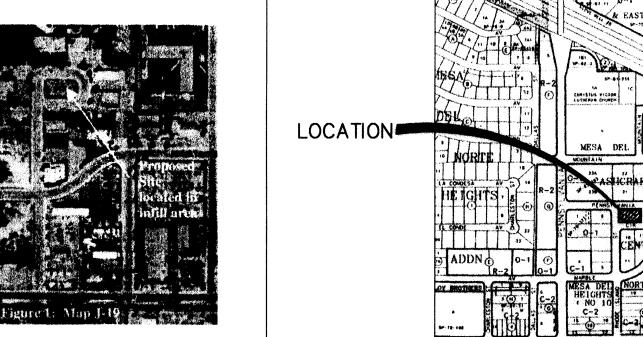
landscaping. Runoff will sheet flow towards the northeast corner of the basin, routed via a sidewalk culvert, and discharged onto Pennsylvania Circle N.E./Rhode Island Intersection.

Basin 202 is approximately 0.134 acres of asphalt paving, concrete sidewalk, two drive pads, and

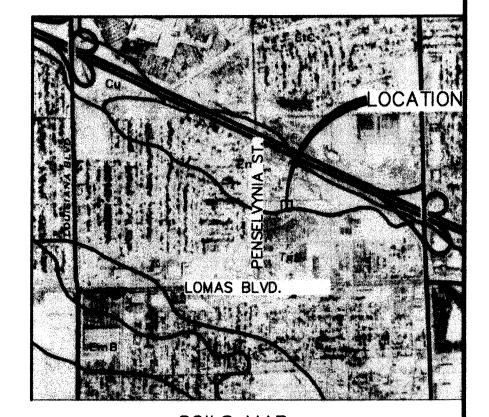
Table 2 provides a breakdown of the proposed land types for each basin including their respective volumetric runoff and discharge values.

Table 2: TREATMENT												
Basin	Area (ac)	%A	%B	%C	%D	V <sub>360 (acre-ft)</sub>	Q <sub>100 (cfs</sub>					
201	0.120	0	5	5	90	0.022	0.576					
202	0.134	0	5	5	90	0.025	0.648					
Total	0.254		to the second section of the section of the second section of the section of the second section of the	E. S. S. M. Padd in Larry, increasing an access		0.047	1.224					

Conclusions: The proposed development is located in an infill area (see Figure 1). According to the Albuquerque Master Drainage Study, Area 2; the approximate basin boundary follows Lomas Avenue, up Wyoming Boulevard, the I-40 drainage channel, and south along Pennsylvania Street (see map J-19). This basin area is 95% developed. The infill site is insignificant as compared to the entire basin area. Therefore, the total discharge onto right-of-way will not impact the existing storm drain system.

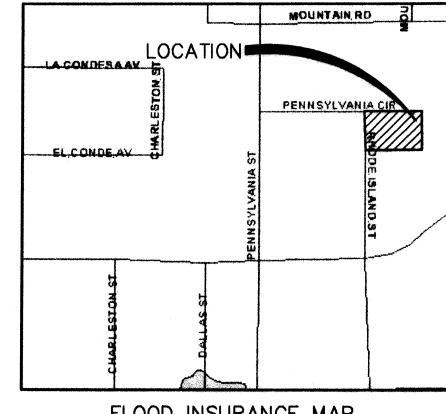


LOCATION MAP ZONE ATLAS MAP NO. J-19



SOILS MAP

REFERENCE: SCS BERNALILLO COUNTY SOIL SURVEY SHEET NO. 31



FLOOD INSURANCE MAP

REFERENCE: FLOOD INSURANCE STUDY

PANEL 358

DATE

MARCH 2001

FILE NO.

DESIGN

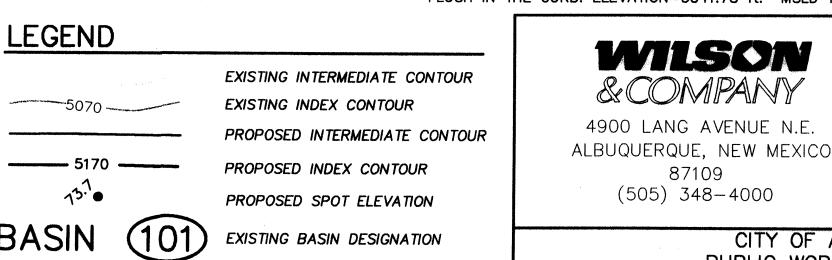
X1-218-013

#### LEGAL DESCRIPTION

LOT NUMBERED TWENTY-FOUR (24) OF ASHCRAFT CENTER, A SUBDIVISION OF THE CITY OF ALBUQUERQUE, NEW MEXICO, A REPLAT OF BLOCKS B AND C OF MESA DEL NORTE HEIGHTS NO. 10, AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 3, 1976, IN PLAT BOOK D7, FOLIO 58.

#### BENCH MARK

ACS STATION "17-K19" LOCATED AT THE INTERSECTION OF LOMAS BLVD. N.E. AND TENNESSEE ST. N.E. THE STATION IS A STANDARD ACS 3 1/4" ALUM. CAP SET FLUSH IN THE CURB. ELEVATION=5341.78 ft. MSLD 1929.



PROPOSED BASIN BOUNDARY

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP PROPOSED BASIN DESIGNATION

PEARSON SPEC BUILDING EXISTING BASIN BOUNDARY

87109

(505) 348-4000

GRADING & DRANAGE PLAN Design Review Committee City Engineer Approval Zone Map No. Sheet J-19

5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE. province of province the second section is

GRAPHIC SCALE

( IN FEET )

1 inch = 20 ft.

PROPOSED CONCRETE DRIVEPAD PROPOSED ASPHALT

6" X 16" CONCRETE CURB WITH 2-#4 BARS CONT. HORIZ. 6" COMPACTED SUBGRADE TO 95% MODIFIED PROCTOR DENSITY

SECTION-A CONCRETE TURNDOWN SIDEWALK

3" ASPHALT CONCRETE 1500 LBS. STABILITY TYPE 'C' GRADATION SCARIFY AND COMPACT EXISTING 6" SUBGRADE TO 95% MIN. COMPACTION

TYPE 'C' PAVEMENT SECTION

TOOLED EDGE (TYP.)\_

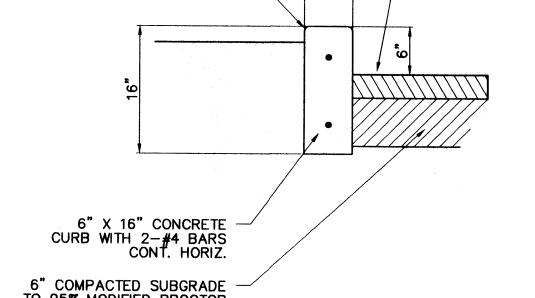
3" ASPHALT CONCRETE

TYPE 'C' GRADATION-

6" SUBGRADE PREP

COPACTED TO 95%

MAX. DENSITY

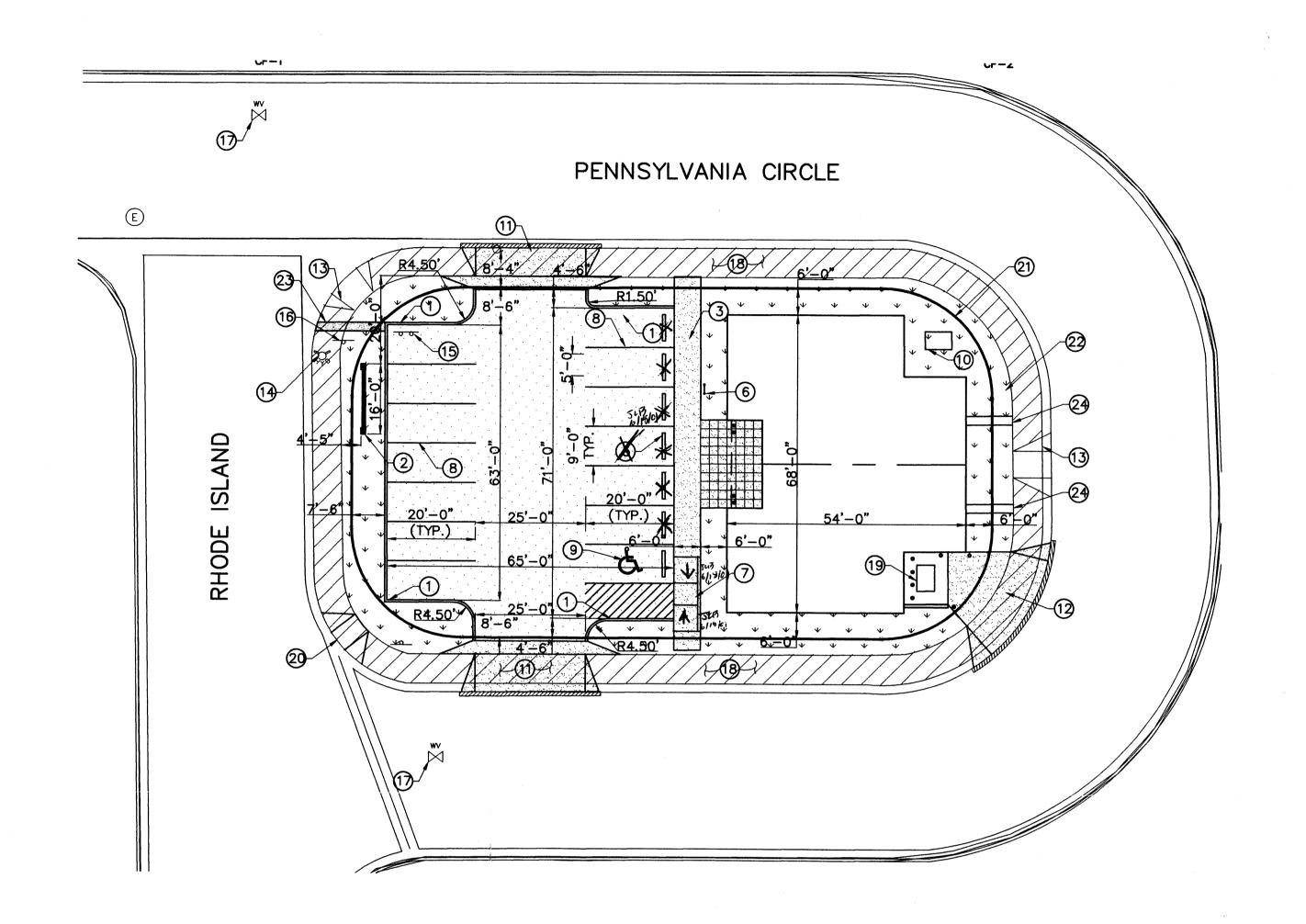


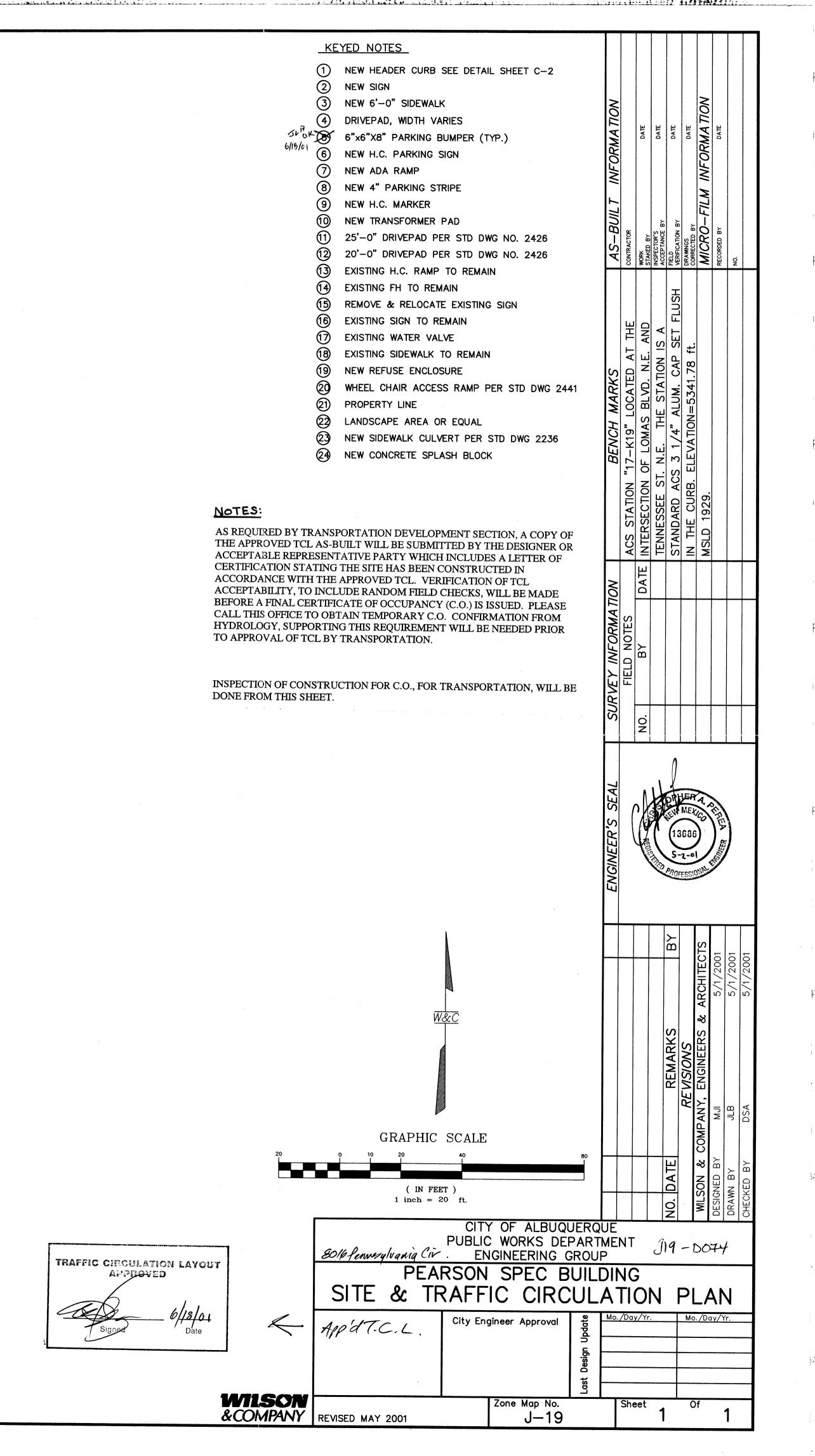
TOOL EDGE TYPICAL

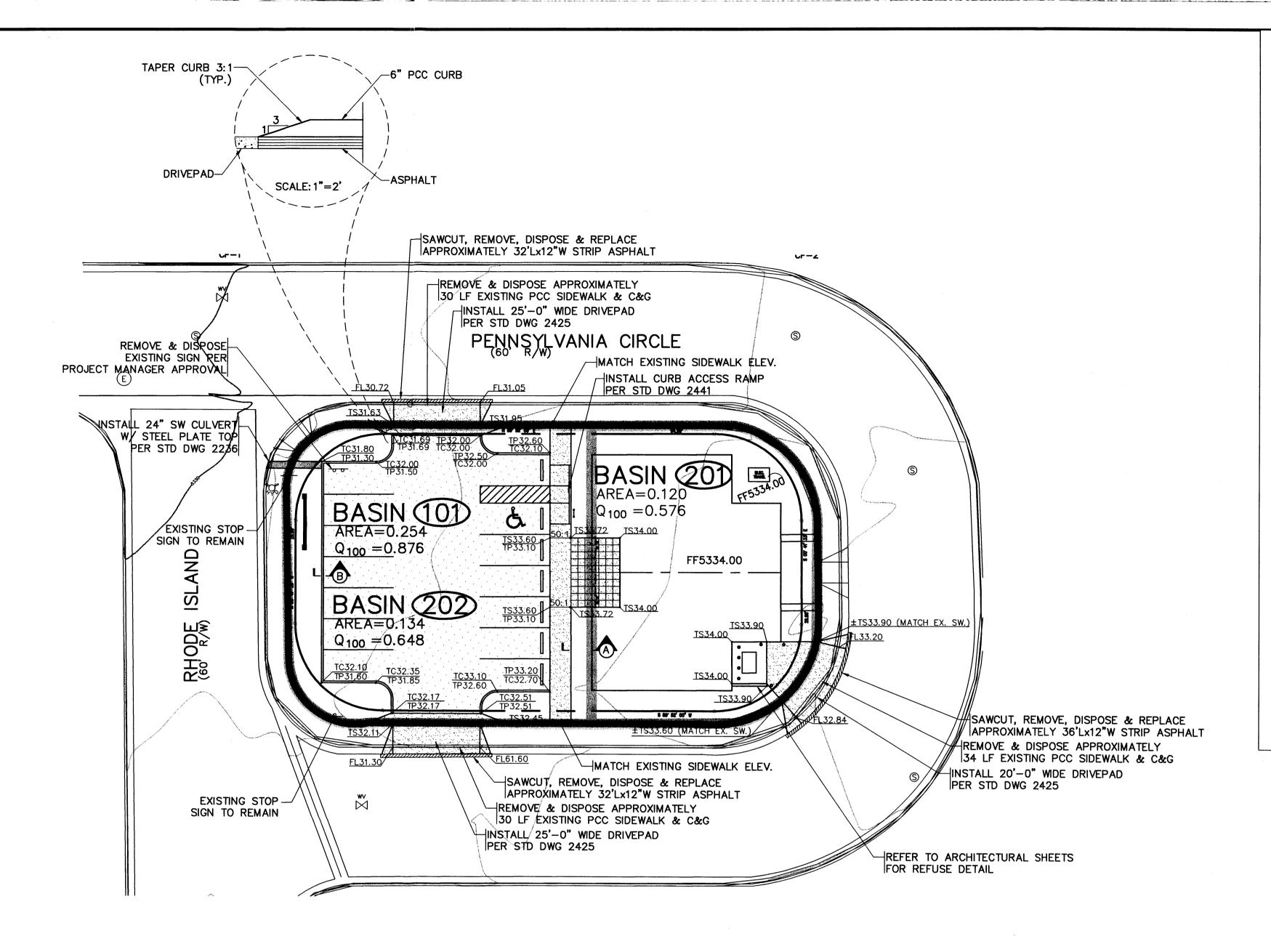
SECTION-B HEADER **CURB** 

SCALE: 1"=1'

ENGINEER'S CERTIFICATION I, CHRISTOPHER A. PEREA, DO HEREBY CERTIFY THAT THIS SITE IS GRADED HEREON AND IS IN SUBTANITAL COMPLIANCE WITH THE APPROVED DRAINAGE PLAN.







TOOL EDGE -TYPICAL

6" X 16" CONCRETE CURB WITH 2-#4 BARS CONT. HORIZ.

6" COMPACTED SUBGRADE

TO 95% MODIFIED PROCTOR DENSITY

SECTION-B

HEADER CURB

SCALE: 1"=1"

3" ASPHALT CONCRETE

TYPE 'C' GRADATION

DRAINAGE REPORT

Site Location: Spec Office Building is located on Pennsylvania Circle just of Pennsylvania Boulevard. The proposed development includes asphalt paving, concrete work, landscaping, and a 2968ft<sup>2</sup> leasable building.

Methodology: Section 22.2 of the City of Albuquerque DPM was used in the hydrology analysis of the site. A principal design storm of 100yr 6-hour event was used.

Existing Drainage Conditions: The total area of the property is 0.254 acres and is designated a Basins 101. The terrain is compacted sandy soil with sparse native vegetation. The site slopes east to west ±1.5% grade. Present site conditions approximately discharge 0.027 acre-ft onto Pennsylvania Circle N.E./Rhode Island Intersection. The entire site is located in an infill-developed area; sits similar to a raised median island, thereby not affected by any offsite flows.

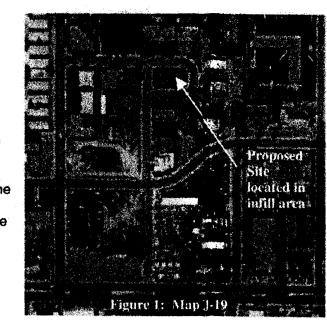


Table 1 provides a breakdown of the existing land type for each the basin including its respective volumetric runoff and discharge value.

			Table 1:	TREATM	ENT	t general de tien der seit West für general eine gegen dem negen der eine der des seiter eine den des	
Basin	Area (ac)	%A	%B	%C	%D	V <sub>360</sub> (acre-ft)	Q <sub>100(cfs)</sub>
101	0.254	0	0	100	0	0.027	0.876
Total	0.254					0.027	0.876

Proposed Conditions: The proposed construction divides the area into 2 basins, named Basins 201 and 202. Basin 201 is approximately 0.120 acres occupying the eastside of the lot. Basin 201 is comprised of the proposed building; refuse enclosure, and landscaping improvements. All runoff will sheet flow eastwardly and discharge onto Pennsylvania Circle N.E.

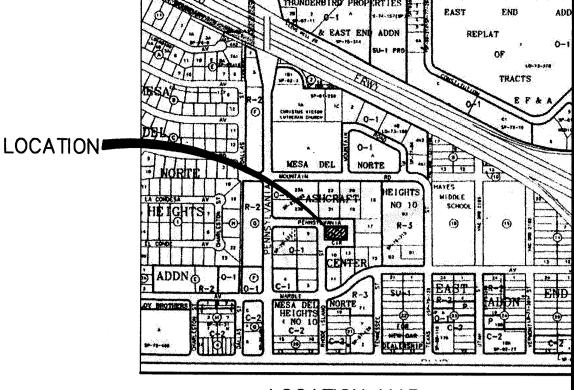
landscaping. Runoff will sheet flow towards the northeast corner of the basin, routed via a sidewalk culvert, and discharged onto Pennsylvania Circle N.E./Rhode Island Intersection.

Basin 202 is approximately 0.134 acres of asphalt paving, concrete sidewalk, two drive pads, and

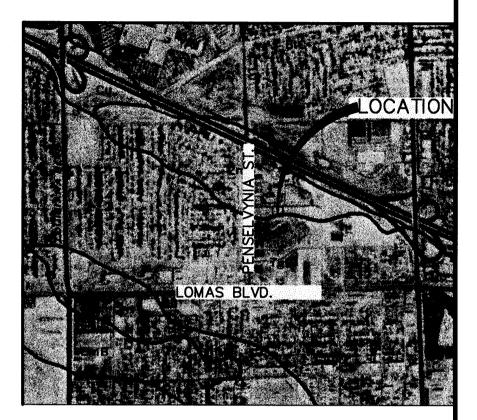
Table 2 provides a breakdown of the proposed land types for each basin including their respective volumetric runoff and discharge values.

			Table 2	: TREATM	ENT		V
Basin	Area (ac)	%A	%B	%C	%D	V <sub>360 (acre-ft)</sub>	Q <sub>100 (cfs</sub>
201	0.120	0	5	5	90	0.022	0.576
202	0.134	0	5	5	90	0.025	0.648
Total	0.254	****	ter file certific for the transcript design and the contribution of the contribution o	-		0.047	1.224

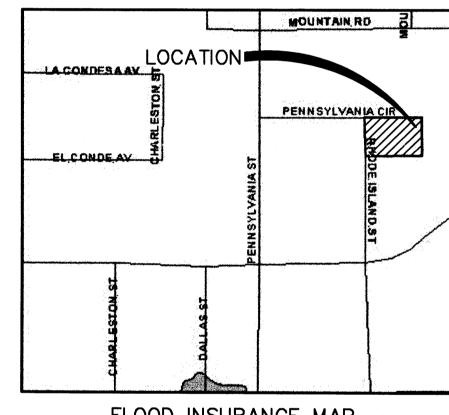
Conclusions: The proposed development is located in an infill area (see Figure 1). According to the Albuquerque Master Drainage Study, Area 2; the approximate basin boundary follows Lomas Avenue, up Wyoming Boulevard, the I-40 drainage channel, and south along Pennsylvania Street (see map J-19). This basin area is 95% developed. The infill site is insignificant as compared to the entire basin area. Therefore, the total discharge onto right-of-way will not impact the existing storm drain system.



LOCATION MAP ZONE ATLAS MAP NO. J-19



SOILS MAP REFERENCE: SCS BERNALILLO COUNTY SOIL SURVEY SHEET NO. 31



FLOOD INSURANCE MAP

REFERENCE: FLOOD INSURANCE STUDY PANEL 358

LEGAL DESCRIPTION LOT NUMBERED TWENTY-FOUR (24) OF ASHCRAFT CENTER, A SUBDIVISION OF THE CITY OF ALBUQUERQUE, NEW MEXICO, A REPLAT OF BLOCKS B AND C OF MESA DEL NORTE HEIGHTS NO. 10, AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 3, 1976, IN PLAT BOOK D7, FOLIO 58.

WILSON

& COMPANY

4900 LANG AVENUE N.E.

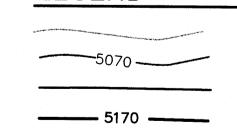
87109

(505) 348-4000

#### BENCH MARK

ACS STATION "17-K19" LOCATED AT THE INTERSECTION OF LOMAS BLVD. N.E. AND TENNESSEE ST. N.E. THE STATION IS A STANDARD ACS 3 1/4" ALUM. CAP SET FLUSH IN THE CURB. ELEVATION=5341.78 ft. MSLD 1929.

### LEGEND



EXISTING INTERMEDIATE CONTOUR EXISTING INDEX CONTOUR PROPOSED INTERMEDIATE CONTOUR

PROPOSED INDEX CONTOUR

13.,

PROPOSED SPOT ELEVATION

EXISTING BASIN DESIGNATION

PROPOSED BASIN DESIGNATION

GRAPHIC SCALE

( IN FEET )

1 inch = 20 ft.

EXISTING BASIN BOUNDARY



PROPOSED BASIN BOUNDARY

PROPOSED CONCRETE DRIVEPAD

PROPOSED ASPHALT

ALBUQUERQUE, NEW MEXICO

MARCH 2001 FILE NO. X1-218-013

DATE

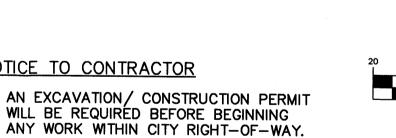
DESIGN DRAWN MJI

PUBLIC WORKS DEPARTMENT

ENGINEERING GROUP PEARSON SPEC BUILDING

CITY OF ALBUQUERQUE

GRADING & DRANAGE PLAN Design Review Committee | City Engineer Approval Zone Map No. Sheet J-19



BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.

LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.

4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN

BACKFILL COMPACTION SHALL BE ACCORDING

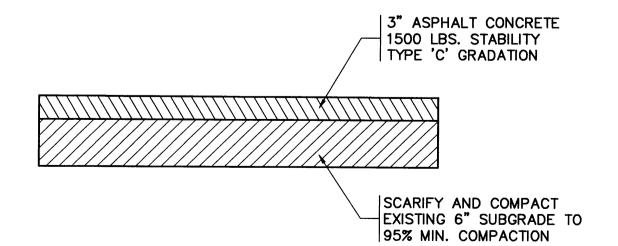
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE

7. WORK ON ARTERIAL STREETS SHALL BE

APPROVAL DATE

TOOLED EDGE (TYP.)\_ 3" ASPHALT CONCRETE TYPE 'C' GRADATION-6" SUBGRADE PREP COPACTED TO 95% MAX. DENSITY

> SECTION-A CONCRETE TURNDOWN SIDEWALK



TYPE 'C' PAVEMENT SECTION



1. AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING

2. ALL WORK DETAILED ON THESE PLANS TO CITY OF ALBUQUERQUE INTERIM STANDARD

TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT

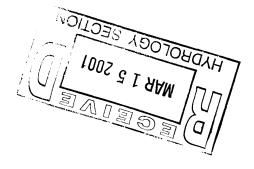
BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

PROPERTY SERVED.

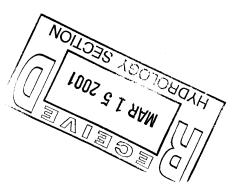
PERFORMED ON A 24-HOUR BASIS.

TO TRAFFIC/STREET USE.

The same of the sa

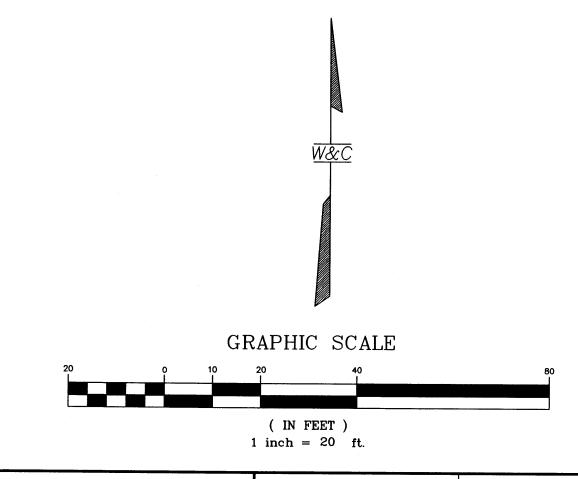


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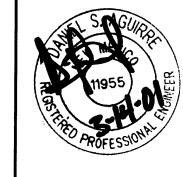


#### KEYED NOTES

- 1 PROPOSED HEADER CURB SEE DETAIL SHEET C-2
- 2 PROPOSED SIGN
- 3 PROPOSED 6'-0" SIDEWALK
- 4 PROPOSED DRIVEPAD, WIDTH VARIES
- 5 PROPOSED 6"x6"X8" PARKING BUMPER (TYP.)
- 6 PROPOSED H.C. PARKING SIGN
- 7 PROPOSED ADA RAMP
- 8 PROPOSED 4" PARKING STRIPE
- 9 PROPOSED H.C. MARKER
- 10 PROPOSED TRANSFORMER PAD
- 1) PROPOSED 25'-0" DRIVEPAD
- 12 PROPOSED 20'-0" DRIVEPAD
- (13) EXISTING H.C. RAMP TO REMAIN
- (4) EXISTING FH TO REMAIN
- 15 REMOVE & RELOCATE EXISTING SIGN
- (6) EXISTING SIGN TO REMAIN
- 17 EXISTING WATER VALVE



WILSON & COMPANY 4900 LANG AVENUE N.E. ALBUQUERQUE, NEW MEXICO 87109 (505) 348-4000

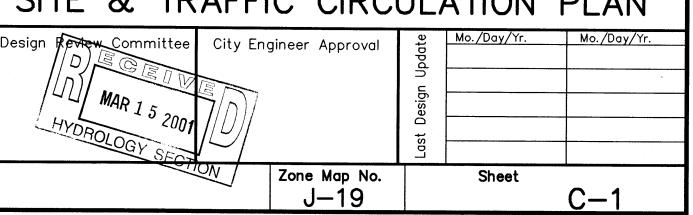


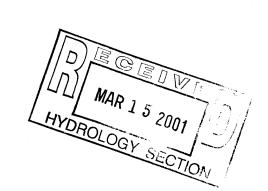
MARCH 2001 FILE NO. X1-218-013

DESIGN DRAWN MJI

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

PEARSON SPEC BUILDING
SITE & TRAFFIC CIRCULATION PLAN





PENNSYLVANIA CIRCLE

H2)

20'-0" (TYP.)