

ENGINEER'S CERTIFICATION
I, CHRISTOPHER A. PEREA, DO HEREBY
CERTIFY THAT THIS SITE IS GRADED
HEREON AND IS IN SUBSTANTIAL
COMPLIANCE WITH THE APPROVED
DRAINAGE PLAN.

- NOTICE TO CONTRACTOR**
- AN EXCAVATION/ CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR	Chris Perea	3/28/02

DRAINAGE REPORT

Site Location: Spec Office Building is located on Pennsylvania Circle just off of Pennsylvania Boulevard. The proposed development includes asphalt paving, concrete work, landscaping, and a 2968ft² leasable building.

Methodology: Section 22.2 of the City of Albuquerque DPM was used in the hydrology analysis of the site. A principal design storm of 100-yr 6-hour event was used.

Existing Drainage Conditions: The total area of the property is 0.254 acres and is designated as Basins 101. The terrain is compacted sandy soil with sparse native vegetation. The site slopes east to west ±1.5% grade. Present site conditions approximately discharge 0.027 acre-ft onto Pennsylvania Circle N.E./Rhode Island Intersection. The entire site is located in an infill-developed area; sits similar to a raised median island, thereby not affected by any offsite flows.

Table 1 provides a breakdown of the existing land type for each the basin including its respective volumetric runoff and discharge value.

Table 1: TREATMENT						
Basin	Area (ac)	%A	%B	%C	%D	V_{100} (acre-ft)
101	0.254	0	0	100	0	0.027
Total	0.254					0.027

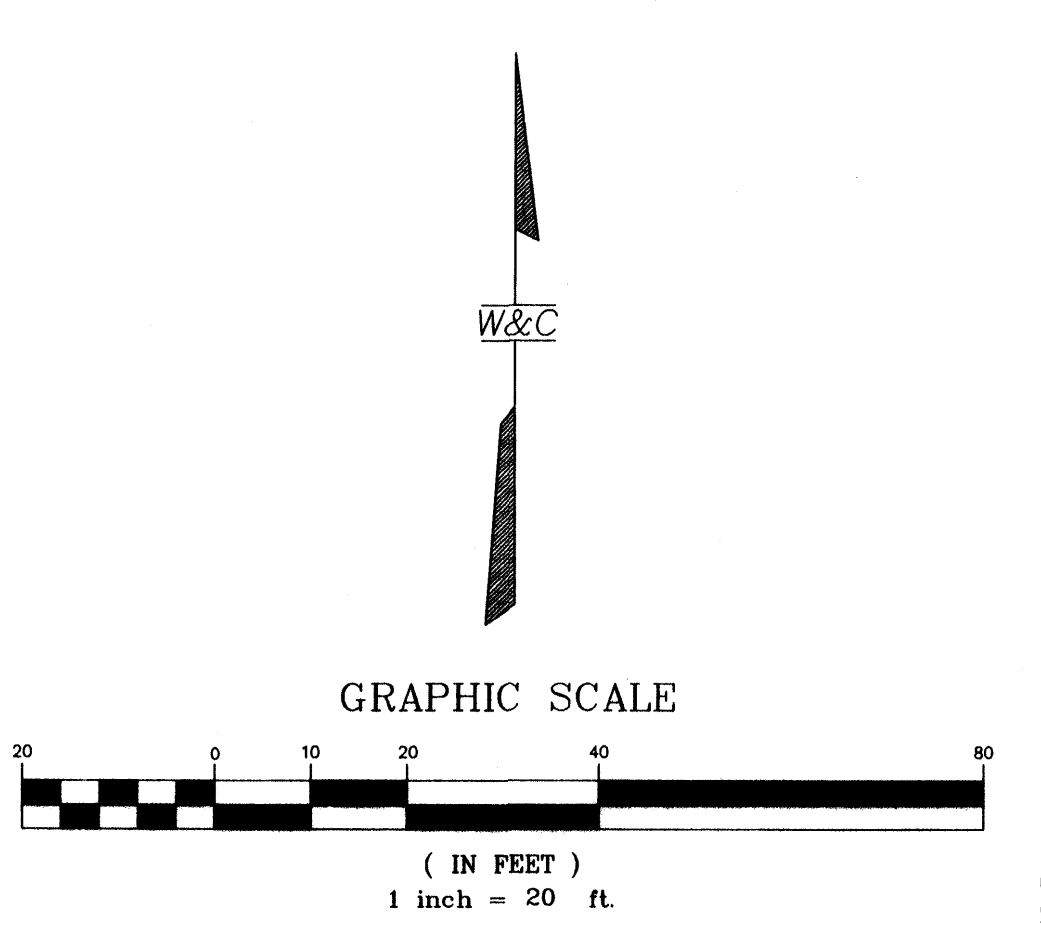
Proposed Conditions: The proposed construction divides the area into 2 basins, named Basins 201 and 202. Basin 201 is approximately 0.120 acres occupying the eastside of the lot. Basin 201 is comprised of the proposed building; refuse enclosure, and landscaping improvements. All runoff will sheet flow eastwardly and discharge onto Pennsylvania Circle N.E.

Basin 202 is approximately 0.134 acres of asphalt paving, concrete sidewalk, two drive pads, and landscaping. Runoff will sheet flow towards the northeast corner of the basin, routed via a sidewalk culvert, and discharged onto Pennsylvania Circle N.E./Rhode Island Intersection.

Table 2 provides a breakdown of the proposed land types for each basin including their respective volumetric runoff and discharge values.

Table 2: TREATMENT						
Basin	Area (ac)	%A	%B	%C	%D	V_{100} (acre-ft)
201	0.120	0	5	5	90	0.022
202	0.134	0	5	5	90	0.025
Total	0.254					0.047

Conclusions: The proposed development is located in an infill area (see Figure 1). According to the Albuquerque Master Drainage Study, Area 2: the approximate basin boundary follows Lomas Avenue, up Wyoming Boulevard, the I-40 drainage channel, and south along Pennsylvania Street (see map J-19). This basin area is 95% developed. The infill site is insignificant as compared to the entire basin area. Therefore, the total discharge onto right-of-way will not impact the existing storm drain system.



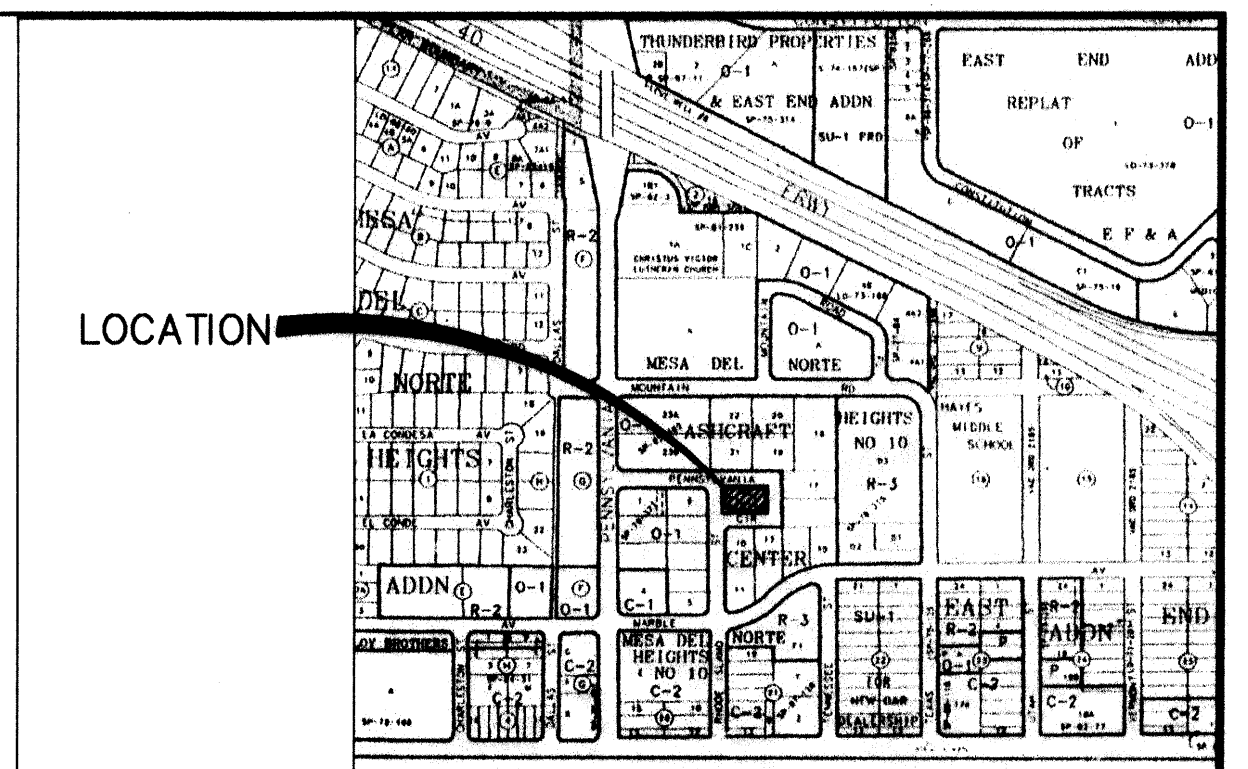
LEGAL DESCRIPTION

LOT NUMBERED TWENTY-FOUR (24) OF ASHCRAFT CENTER, A SUBDIVISION OF THE CITY OF ALBUQUERQUE, NEW MEXICO, A REPLAT OF BLOCKS B AND C OF MESA DEL NORTE HEIGHTS NO. 10, AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 3, 1976, IN PLAT BOOK D7, FOLIO 58.

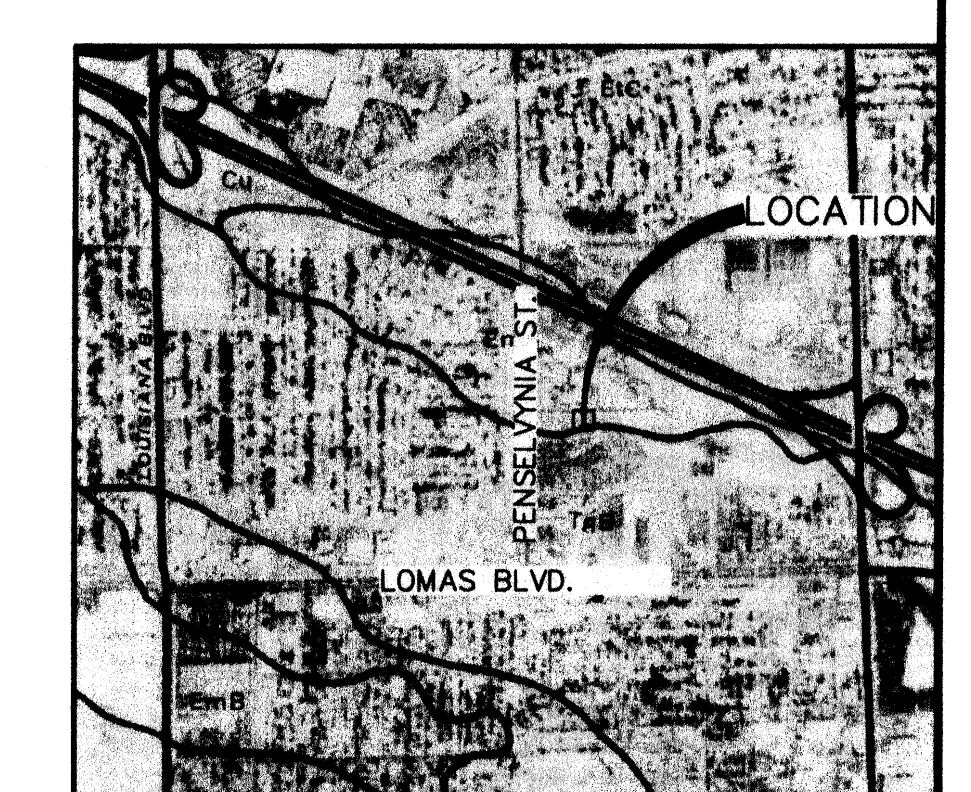
BENCH MARK

ACS STATION "17-K19" LOCATED AT THE INTERSECTION OF LOMAS BLVD. N.E. AND TENNESSEE ST. N.E. THE STATION IS A STANDARD ACS 3 1/4" ALUM. CAP SET FLUSH IN THE CURB. ELEVATION=5341.78 ft. MSLD 1929.

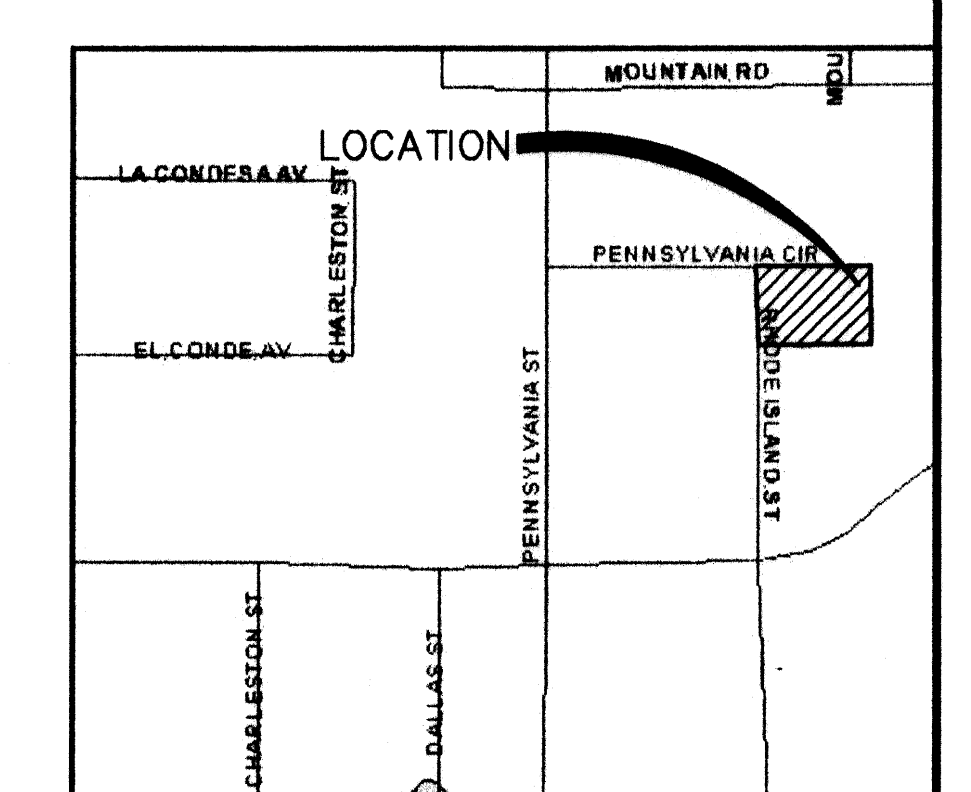
WILSON & COMPANY 4900 LANG AVENUE N.E. ALBUQUERQUE, NEW MEXICO 87109 (505) 348-4000		DATE MARCH 2001
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP		FILE NO. X1-218-013
PEARSON SPEC BUILDING GRADING & DRAINAGE PLAN		DESIGN MJI
Design Review Committee	City Engineer Approval	DRAWN JLB
Last Design Update		Mo./Day/Yr.
Zone Map No. J-19		Sheet C-2



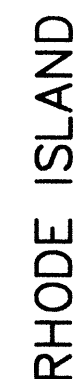
LOCATION MAP
ZONE ATLAS MAP NO. J-19



SOILS MAP
REFERENCE: SCS BERNALILLO COUNTY SOIL SURVEY SHEET NO. 31



FLOOD INSURANCE MAP
REFERENCE: FLOOD INSURANCE STUDY PANEL 358

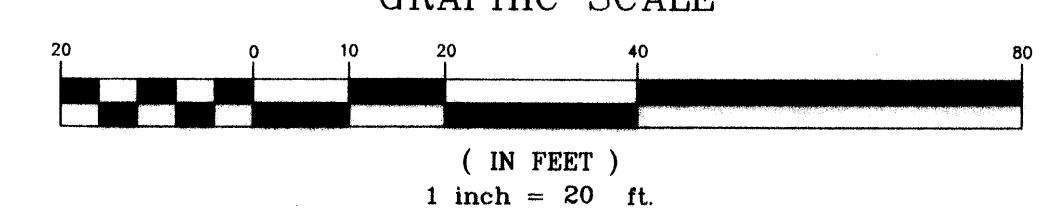


RHODE ISLAND

- ① NEW HEADER CURB SEE DETAIL SHEET C-2
- ② NEW SIGN
- ③ NEW 6'-0" SIDEWALK
- ④ DRIVEPAD, WIDTH VARIES
- ⑤ 6"x6"x8" PARKING BUMPER (TYP.)
- ⑥ NEW H.C. PARKING SIGN
- ⑦ NEW ADA RAMP
- ⑧ NEW 4" PARKING STRIPE
- ⑨ NEW H.C. MARKER
- ⑩ NEW TRANSFORMER PAD
- ⑪ 25'-0" DRIVEPAD PER STD DWG NO. 2426
- ⑫ 20'-0" DRIVEPAD PER STD DWG NO. 2426
- ⑬ EXISTING H.C. RAMP TO REMAIN
- ⑭ EXISTING FH TO REMAIN
- ⑮ REMOVE & RELOCATE EXISTING SIGN
- ⑯ EXISTING SIGN TO REMAIN
- ⑰ EXISTING WATER VALVE
- ⑱ EXISTING SIDEWALK TO REMAIN
- ⑲ NEW REFUSE ENCLOSURE
- ⑳ WHEEL CHAIR ACCESS RAMP PER STD DWG 2441
- ㉑ PROPERTY LINE
- ㉒ LANDSCAPE AREA OR EQUAL
- ㉓ NEW SIDEWALK CULVERT PER STD DWG 2236
- ㉔ NEW CONCRETE SPLASH BLOCK

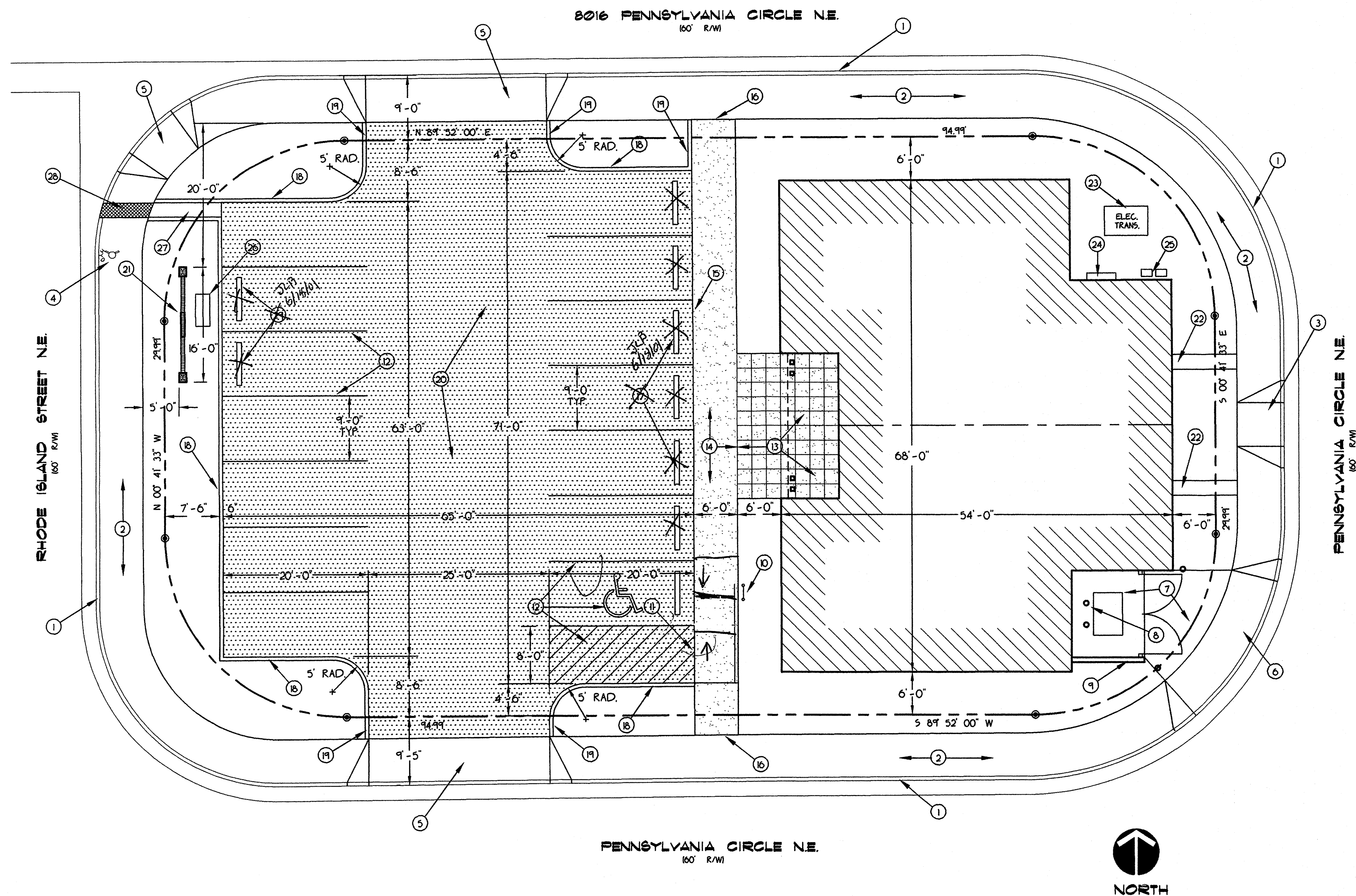
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GRAPHIC SCALE



CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP			
PEARSON SPEC BUILDING SITE & TRAFFIC CIRCULATION PLAN			
	City Engineer Approval	Last Design Update	Mo./Day/Yr.
			Mo./Day/Yr.
Zone Map No.		Sheet	Of
J-19		1	1
REVISED MAY 2001			

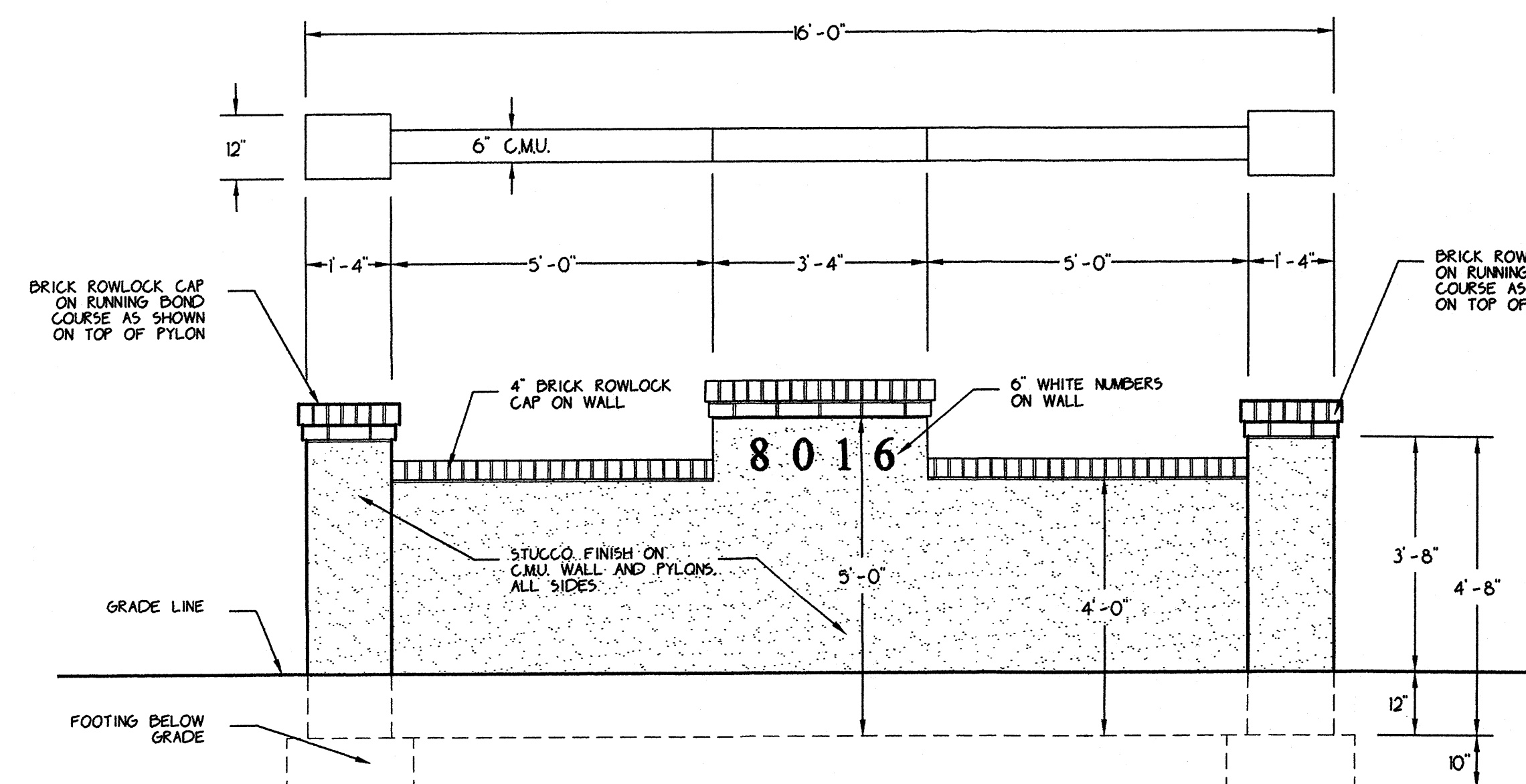
REVISED MAY 2001	Zone Map No. J-19	Sheet 1 Of 1
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SITE PLAN

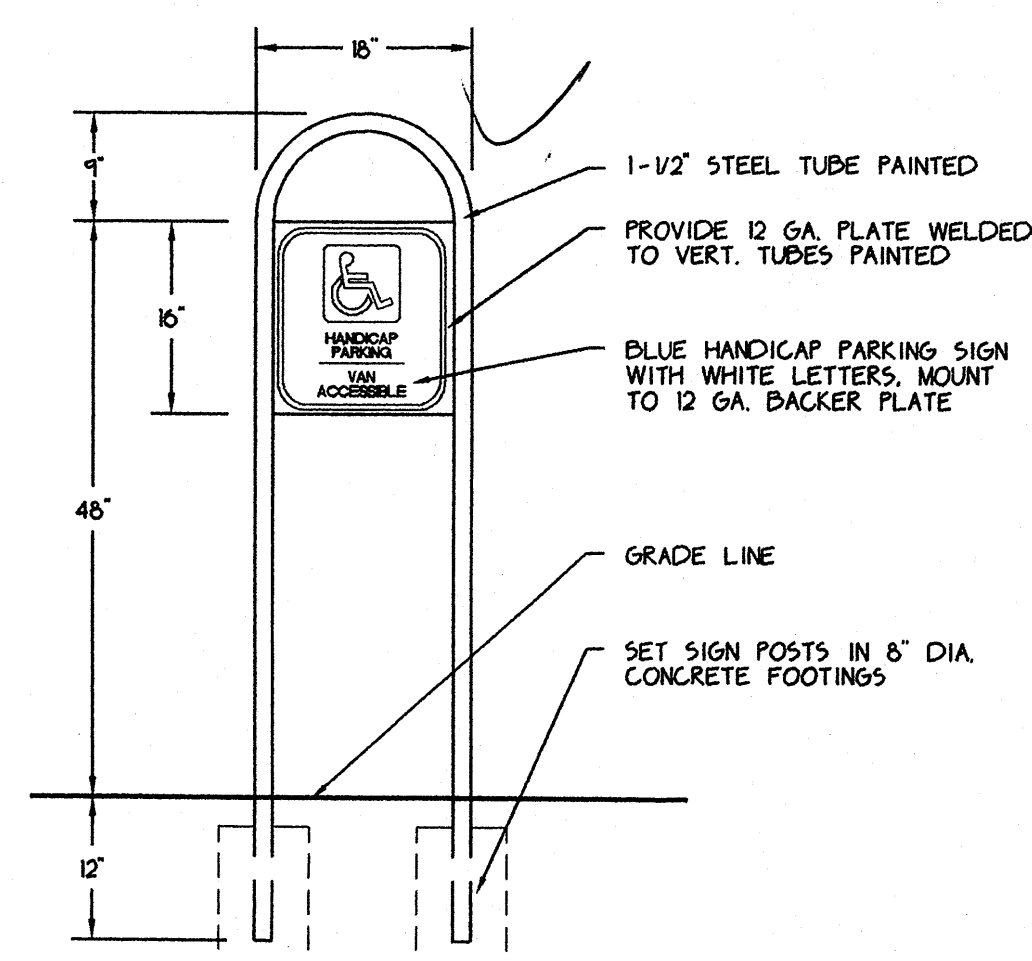
0 5 10 20 30 40
SCALE: 1" = 10'-0"

* Certification by the designer of record, required by the Transportation Section, needs to state that this site was constructed in accordance with the Traffic Circulation Layout (TCL) before C.O. is released.



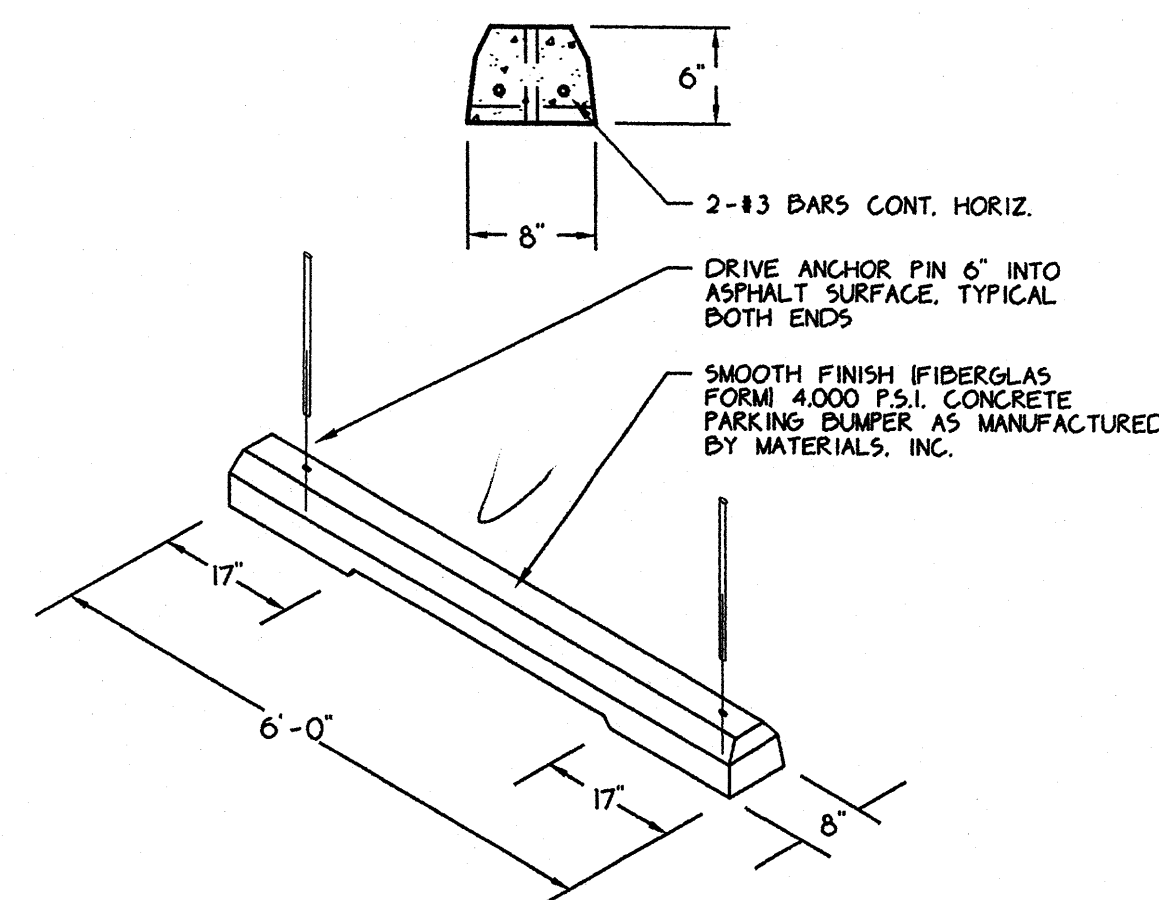
1/C-1 SIGN ELEVATION / PLAN

SCALE: 1/2" = 1'-0"



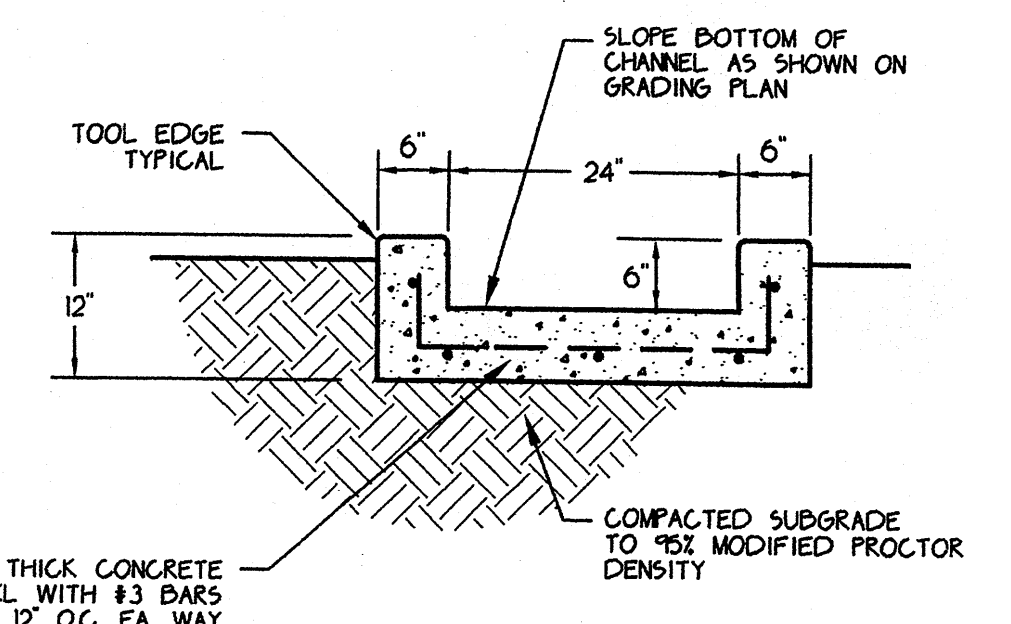
2/C-1 H.C. PARKING SIGN

SCALE: 3/4" = 1'-0"



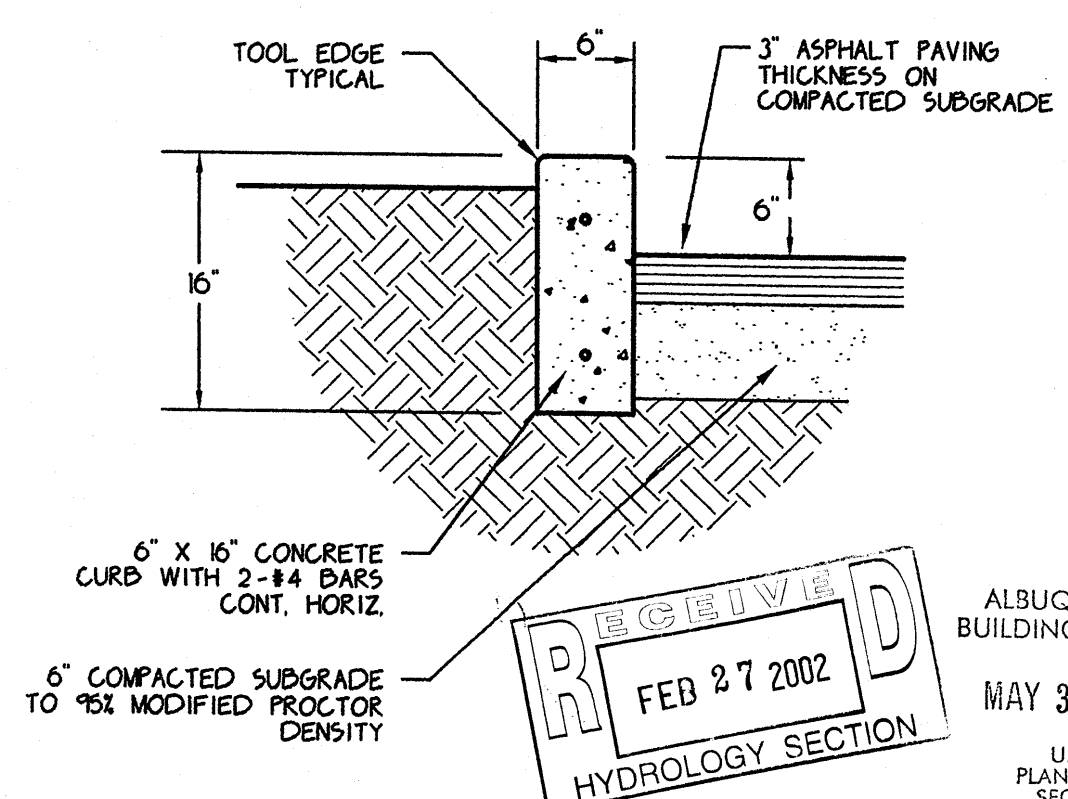
3/C-1 PRE-CAST CONC. PARKING BUMPER

SCALE: 1/2" = 1'-0"



4/C-1 HEADER CURB

SCALE: 3/4" = 1'-0"



5/C-1 DRAINAGE CHANNEL DETAIL

SCALE: 1" = 1'-0"

KEYED NOTES: (Sheet C-1)

- EXISTING CONCRETE CURB AND GUTTER AROUND SITE TO REMAIN, PROTECT AS REQUIRED.
- EXISTING 6'-0" WIDE CONCRETE SIDEWALK AROUND SITE TO REMAIN, PROTECT AS REQUIRED UNLESS OTHERWISE NOTED.
- EXISTING H.C. CURB CUT IN SIDEWALK TO REMAIN, PROTECT AS REQUIRED.
- EXISTING FIRE HYDRANT TO REMAIN, PROTECT AS REQUIRED.
- LOCATION OF NEW 25'-0" WIDE C.O.A. STANDARD DRIVEPAD FOR REFUSE ACCESS, REMOVE PORTION OF EXISTING CURB AND SIDEWALK AS REQUIRED.
- LOCATION OF NEW 20'-0" WIDE C.O.A. STANDARD DRIVEPAD FOR REFUSE ACCESS, REMOVE PORTION OF EXISTING CURB AND SIDEWALK AS REQUIRED.
- 6" THICK CONCRETE APRON SLAB WITH 6X6-10/10 W.W.M. AT REFUSE AREA.
- LOCATION OF 2 CU YD ROLL-OUT DUMPSTER. SEE ARCHITECTURAL DRAWINGS FOR REFUSE AREA.
- 6'-0" HIGH C.M.U. SCREEN WALL WITH STUCCO AND BRICK ROWLOCK CAP. SEE ARCHITECTURAL DRAWINGS.
- LOCATION OF FREE-STANDING H.C. PARKING SIGN, SEE DETAIL 2/C-1 THIS SHEET.
- 4" THICK CONCRETE H.C. ACCESS RAMP IN SIDEWALK. FLUSH ASPHALT PAVING AT BOTTOM LANDING OF RAMP.
- PAINTED PARKING LOT MARKINGS AS SHOWN.
- 4" THICK COLORED CONCRETE ENTRY SLAB WITH SCORED JOINTS AT 2'-0" O.C. EA. WAY.
- 4" THICK REGULAR CONCRETE SIDEWALK, PROVIDE WITH 10" DEEP TURNDOWN EDGE AT PARKING LOT TO FORM 6" HIGH CURB.
- 6" CURB AT TURNDOWN EDGE OF SIDEWALK.
- FLUSH NEW CONCRETE SIDEWALK TO EXISTING SIDEWALK. PROVIDE 1/2" E.J. TYPICAL.
- PRE-CAST CONCRETE PARKING BUMPER, SEE DETAIL 3/C-1 THIS SHEET.
- 6" WIDE X 16" DEEP CONCRETE HEADER CURB, SEE DETAIL 4/C-1 THIS SHEET.
- TAPER TOP OF HEADER CURB DOWN TO FLUSH WITH DRIVEPAD / SIDEWALK.
- SHADED AREA INDICATES NEW 3" THICK ASPHALT PAVING ON 10% MODIFIED SUBGRADE. SEE SHEET C-2, GRADING AND DRAINAGE PLAN FOR ADDITIONAL INFORMATION.
- LOCATION OF FREE-STANDING SIGN WALL, SEE DETAIL 1/C-1 THIS SHEET.
- DOWNSPOUT LOCATION ON REAR WALL. PROVIDE 2'-0" WIDE CONCRETE SPILLWAY SLOPED FROM BUILDING TO FLUSH WITH EXISTING SIDEWALK.
- NEW ELECTRICAL TRANSFORMER LOCATION. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ELECTRICAL SERVICE AND METER LOCATIONS, SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- LOCATION OF NEW GAS METERS, SEE SHEET U-1 AND MECHANICAL DRAWINGS.
- LOCATE IRRIGATION BACKFLOW PREVENTER AND VALVES BEHIND SIGN. SEE SHEETS L-1 AND U-1 FOR ADDITIONAL INFORMATION.
- 24" WIDE CONCRETE DRAINAGE RUNDOWN, SEE DETAIL 5/C-1 AND SHEET C-2 FOR ADDITIONAL INFORMATION.
- NEW 24" WIDE SIDEWALK CULVERT WITH CHECKERED STEEL PLATE, SEE SHEET C-2 FOR ADDITIONAL INFORMATION.
- PROVIDE PARKING BUMPERS AT THESE TWO SPACES TO PROTECT SIGN AND IRRIGATION BACKFLOW PREVENTER.

GENERAL SITE NOTES:

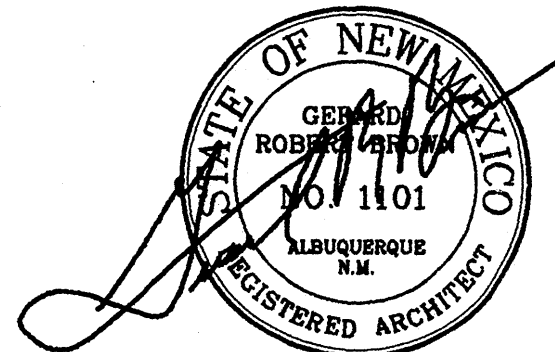
- EXISTING CONTOURS, SPOT ELEVATIONS AND UTILITIES AS SHOWN, ARE BASED ON OWNER SUPPLIED SURVEY AS PREPARED BY WILSON AND COMPANY, DATED MARCH 2001. SHOULD ACTUAL GRADES OR UTILITIES VARY FROM THESE DRAWINGS, CONTACT THE ARCHITECT FOR ADDITIONAL INFORMATION. THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF THE TOPOGRAPHIC AND UTILITY SURVEY.
- CONTRACTOR SHALL VISIT THE SITE, PRIOR TO SUBMITTING A BID, AND SHALL FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING THE WORK THROUGH NORMAL VISUAL INSPECTION. CONTRACTOR SHALL INCLUDE ALL SUCH CONDITIONS IN HIS BID AND SHALL NOT BE ALLOWED EXTRA COMPENSATION FOR CONDITIONS WHICH ARE OBVIOUS AND CAN BE DETERMINED THROUGH VISUAL SITE INSPECTION.
- CONTRACTOR SHALL VERIFY ALL PROPERTY LINES, CORNERS AND EASEMENTS PRIOR TO COMMENCING ANY WORK. CONTRACTOR SHALL COMPLY WITH ALL ORDINANCES, COVENANTS AND OTHER REQUIREMENTS AS TO PLACEMENT OF THE STRUCTURE ON THE PROPERTY.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCING ANY WORK. CONTRACTOR SHALL PROTECT AS REQUIRED EXISTING UTILITIES AND ADJACENT PROPERTY FROM DAMAGE, AND SHALL NOT BE ALLOWED EXTRA COMPENSATION DUE TO UNFAMILIARIZATION WITH THE EXISTING UTILITIES.
- CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PREVENT DUST OR DEBRIS FROM BECOMING A NUISANCE TO THE OWNER, NEIGHBORS, AND TO OTHER WORK BEING PERFORMED ON OR NEAR TO THE SITE.
- UNLESS OTHERWISE NOTED, DETAILED OR REQUIRED, ALL CONCRETE SIDEWALKS AND STOPS SHALL BE PROVIDED WITH A LIGHT BROOM FINISH WITH A MINIMUM OF 1% CROSS SLOPE FOR PROPER DRAINAGE. PROVIDE SCORED JOINTS AT THE WIDTH OF THE WALK AND EXPANSION JOINTS AT 25'-0" O.C. MAXIMUM.
- UNLESS OTHERWISE NOTED, DETAILED OR REQUIRED, ALL ASPHALT DRIVE AND PARKING AREAS SHALL BE A MINIMUM OF 3" THICK HOT MIX ON COMPACTED SUBGRADE, COMPACTED TO 95% M.P.D.
- ALL WORK PERFORMED IN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE GOVERNING AUTHORITIES HAVING JURISDICTION.
- REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL AND UTILITY DRAWINGS FOR ADDITIONAL SITEMARK NOT SHOWN ON THIS SHEET.



GERARD R. BROWN

ARCHITECT

P.O. BOX 12904
ALBUQUERQUE, NEW MEXICO 87195
PHONE OR FAX
(505) 877-2838
E-Mail: GerardRBrown@aol.com



03-30-2001

GENERAL NOTES

PROJECT

A SPEC
OFFICE BUILDING
for
DAVID PEARSON
8016 PENNSYLVANIA CIRCLE NE
ALBUQUERQUE, NM 87110

REVISIONS

REVISED 05-03-01 TO PROVIDE VAN ACCESSIBLE PARKING SPACE.

DATE: MARCH 30, 2001

JOB NO. 0007

PLAN NO.

All designs, drawings, represent herein, are the original product and are owned by GERARD R. BROWN ARCHITECT. Any use of plans is limited to a specific project of the customer, and reuse of plans, designs, or any reproducible material for other than the specified project is strictly prohibited by law without written permission of GERARD R. BROWN ARCHITECT. Visual evidence of acceptance of restrictions.

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ALBUQUERQUE BUILDING & SAFETY

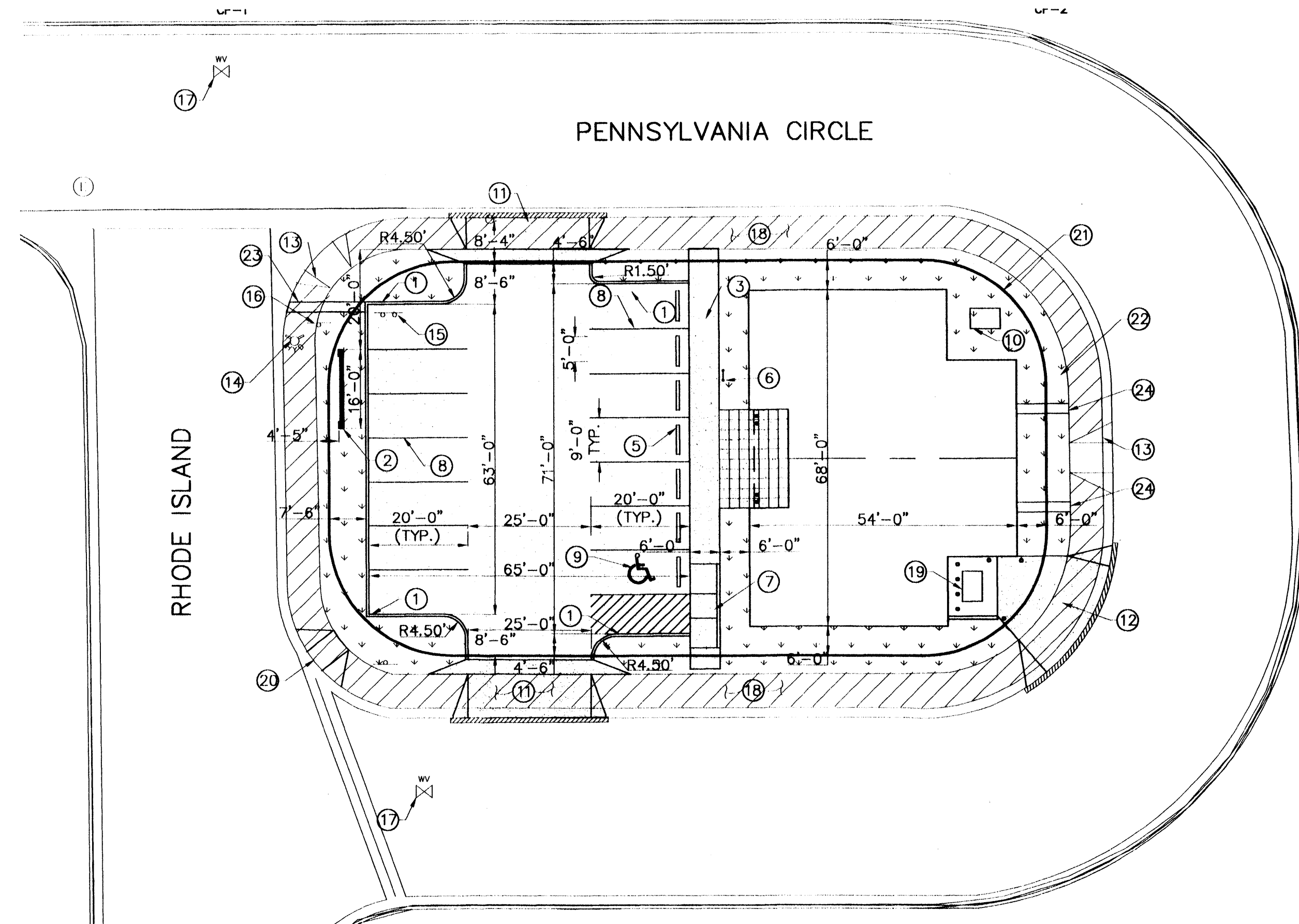
MAY 31 2001

U.B.C. PLAN CHECK SECTION

SHEET

C-1

1 OF 2



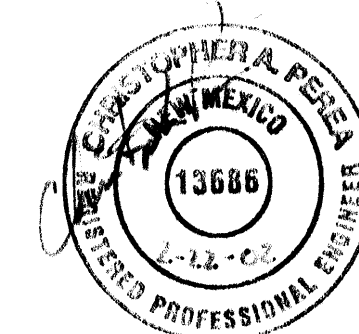
KEYED NOTES

- NEW HEADER CURB SEE DETAIL SHEET C-2
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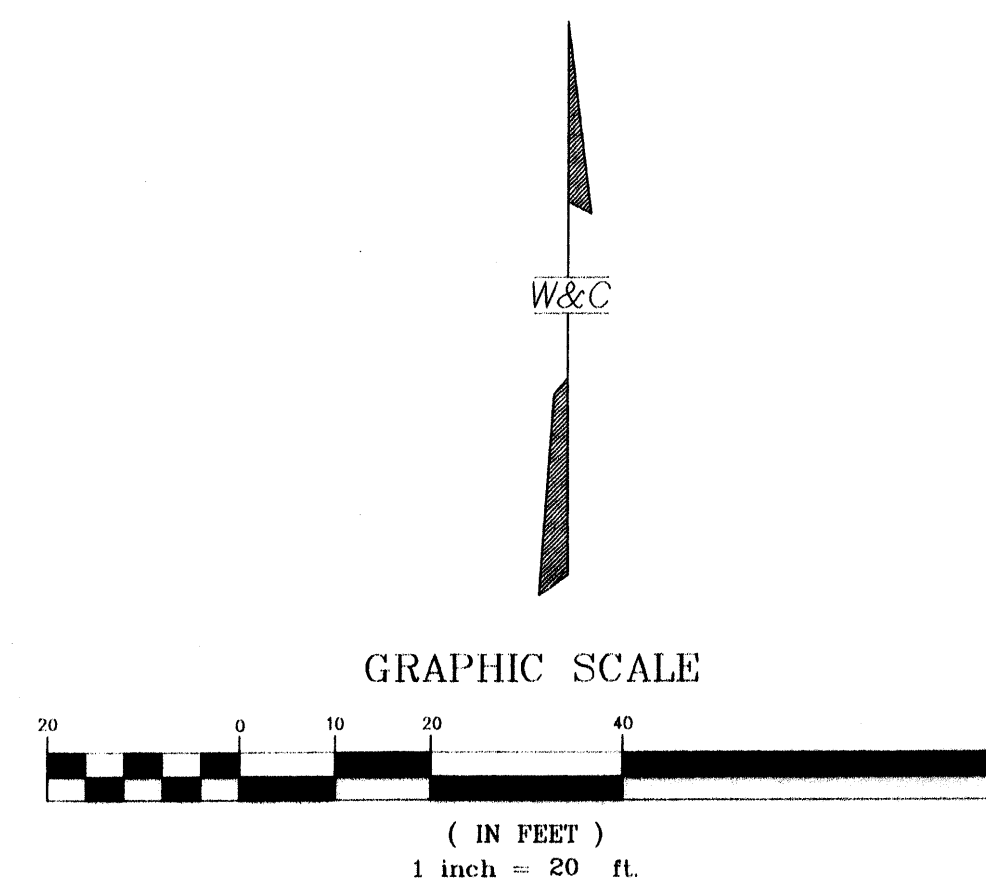
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INSPECTION OF CONSTRUCTION FOR C.O., FOR TRANSPORTATION, WILL BE DONE FROM THIS SHEET.



ENGINEER'S CERTIFICATION
I, CHRISTOPHER A. PEREA, DO HEREBY CERTIFY THAT THE SITE IS CONSTRUCTED HEREON AND IS IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED TRAFFIC CIRCULATION LAYOUT PLAN. MY CERTIFICATION IS FOR FINAL CERTIFICATION.



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP
PEARSON SPEC BUILDING
SITE & TRAFFIC CIRCULATION PLAN

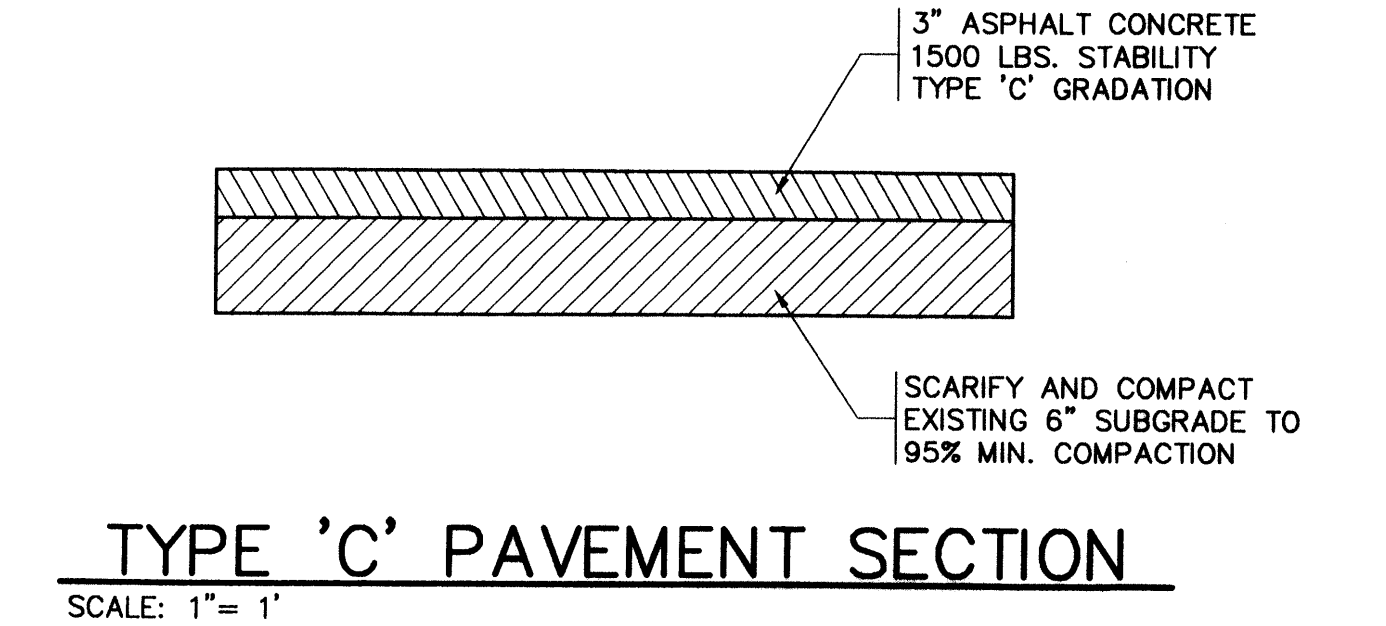
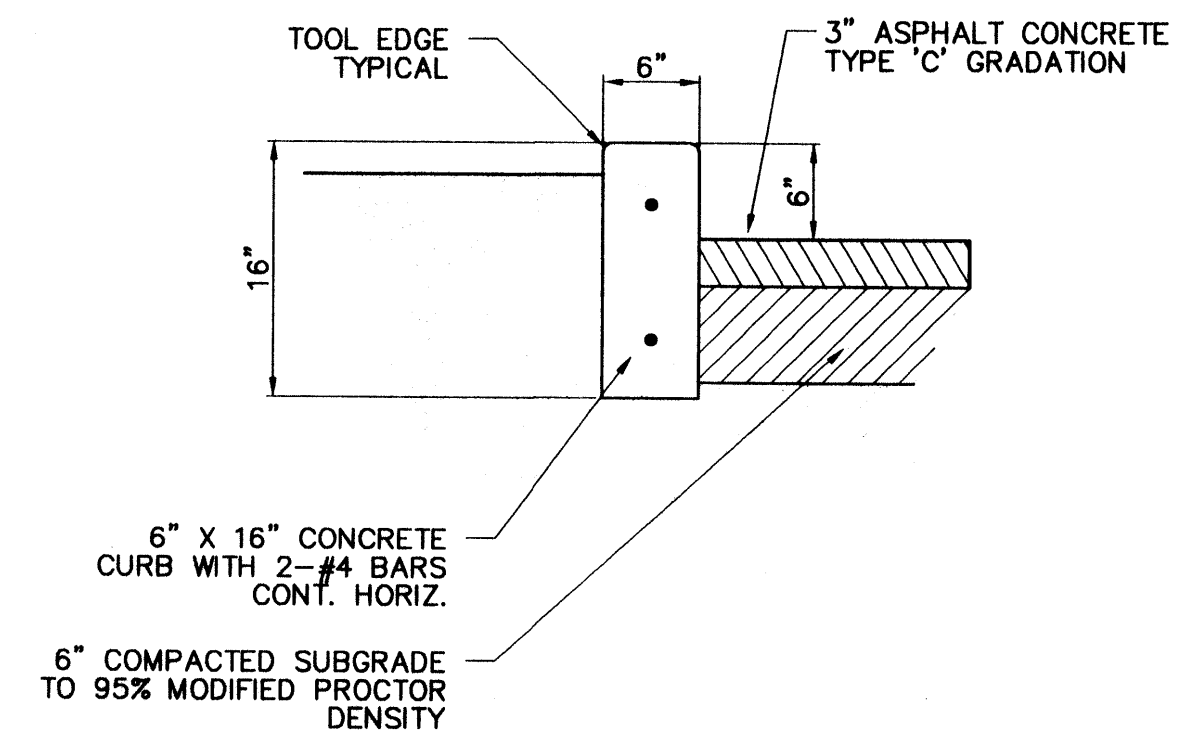
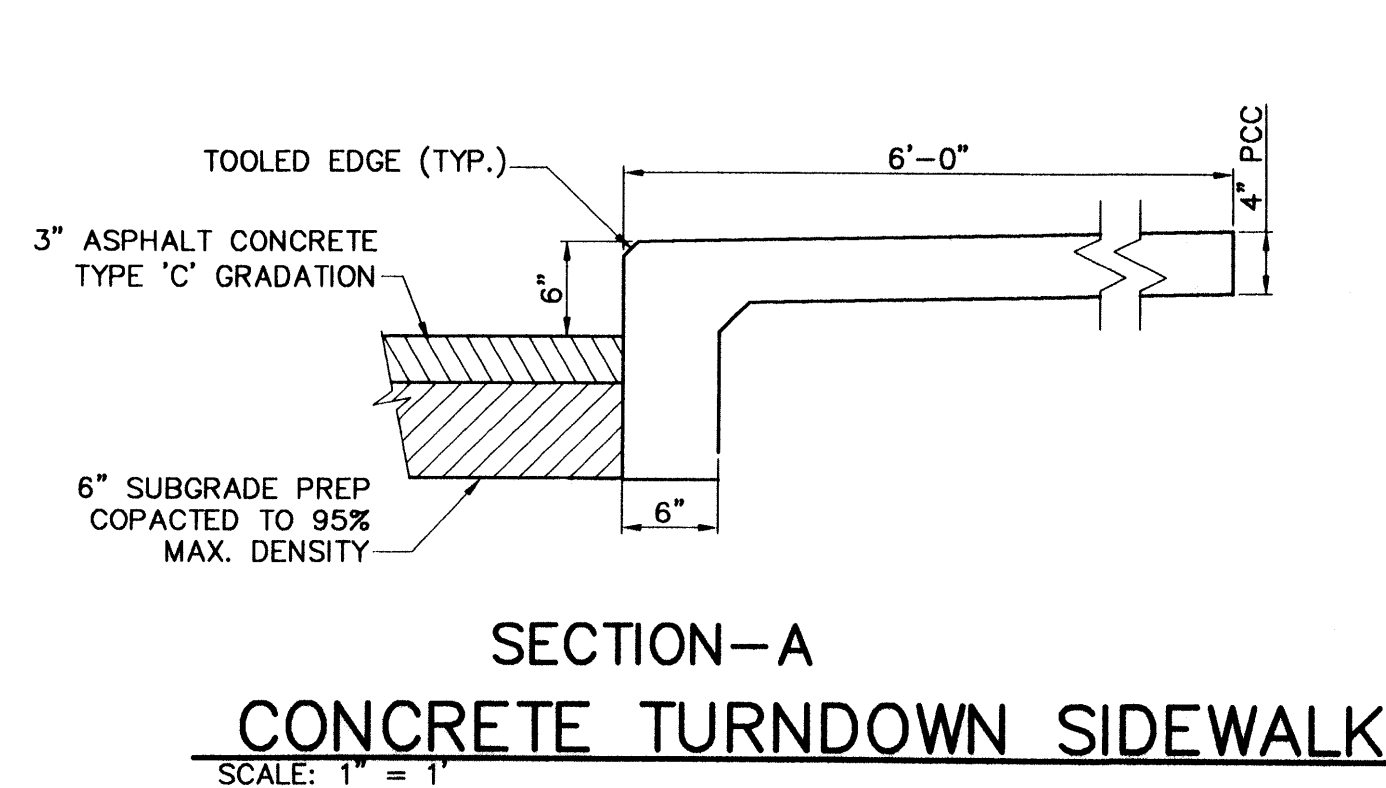
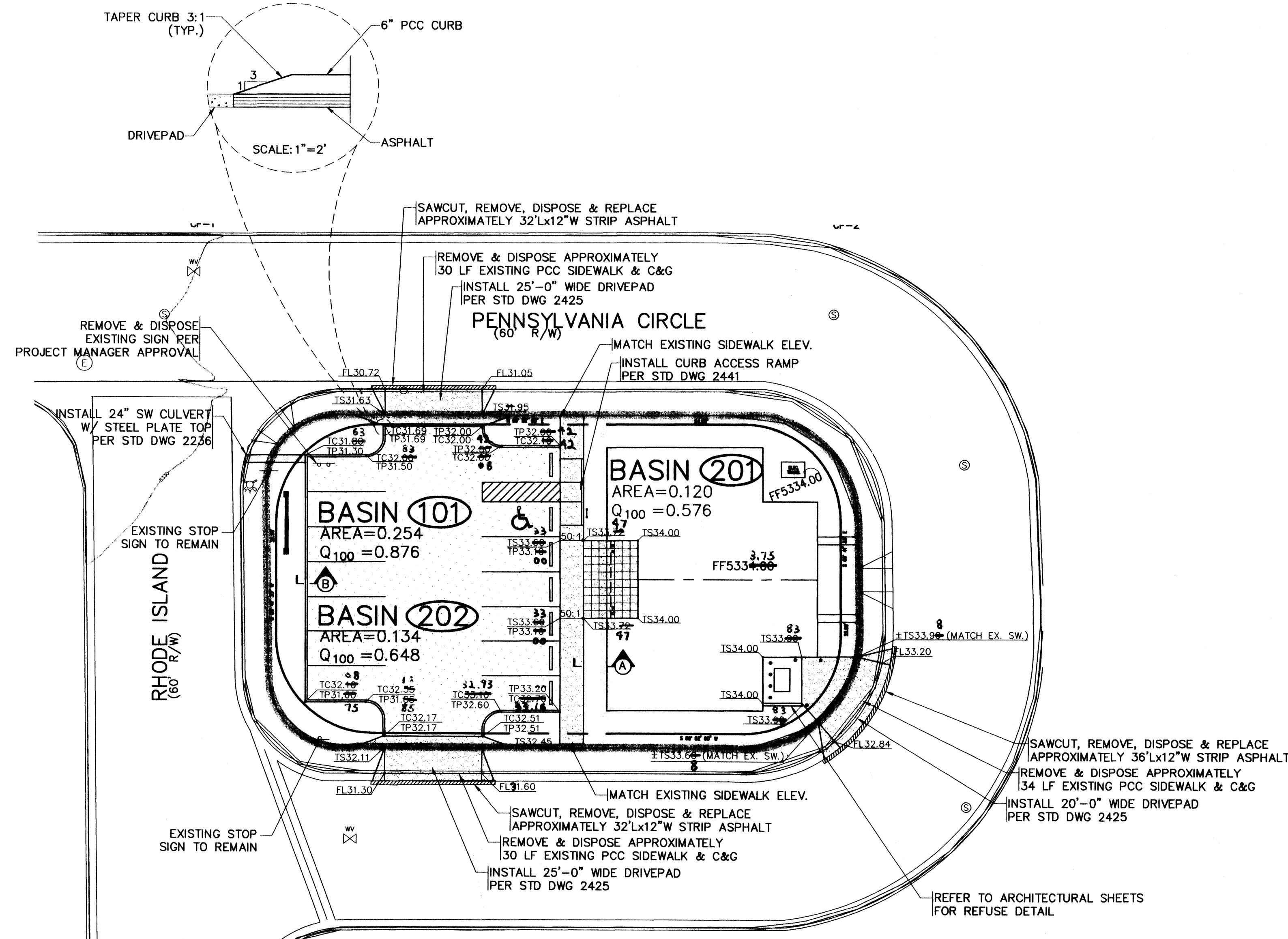
City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
Zone Map No. J-19		Sheet 1 Of 1	

WILSON & COMPANY

REVISED MAY 2001



APR 09 2002
HYDROLOGY



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APPROVAL	NAME	DATE
INSPECTOR	Chris Perea	3/28/02

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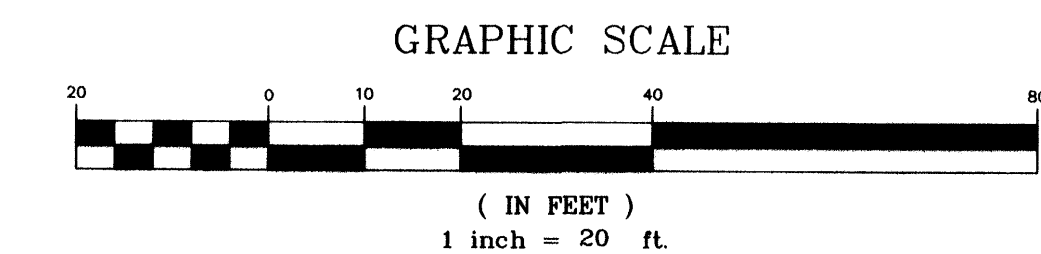
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Total	0.254					0.047	1.224

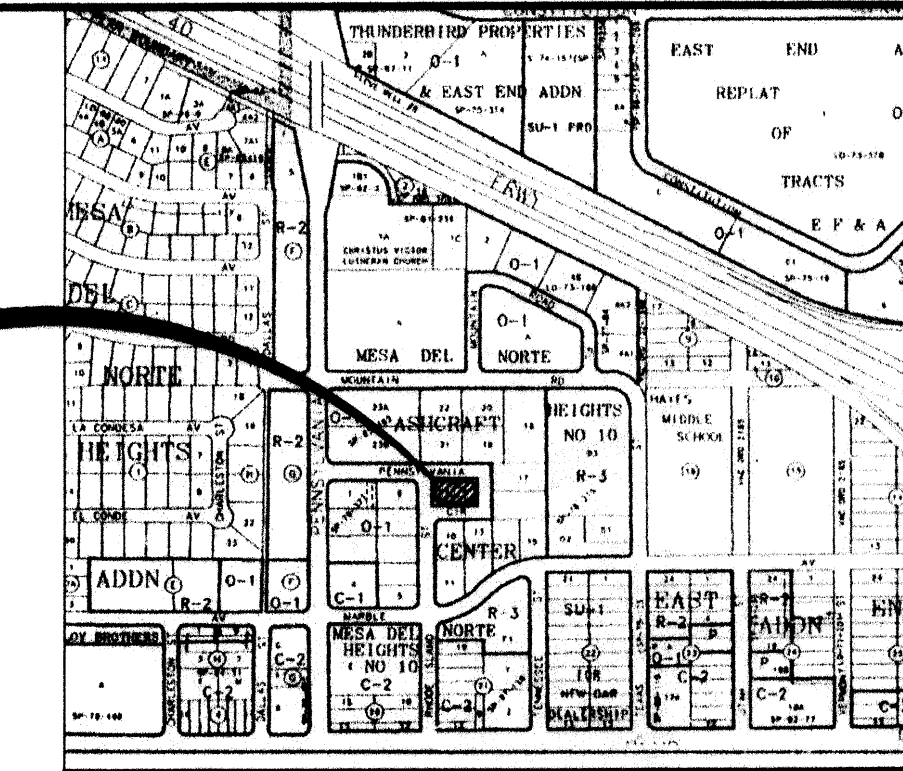
Conclusions: The proposed development is located in an infill area (see Figure 1). According to the Albuquerque Master Drainage Study, Area 2: the approximate basin boundary follows Lomas Avenue, up Wyoming Boulevard, the I-40 drainage channel, and south along Pennsylvania Street (see map J-19). This basin area is 95% developed. The infill site is insignificant as compared to the entire basin area. Therefore, the total discharge onto right-of-way will not impact the existing storm drain system.



LEGEND

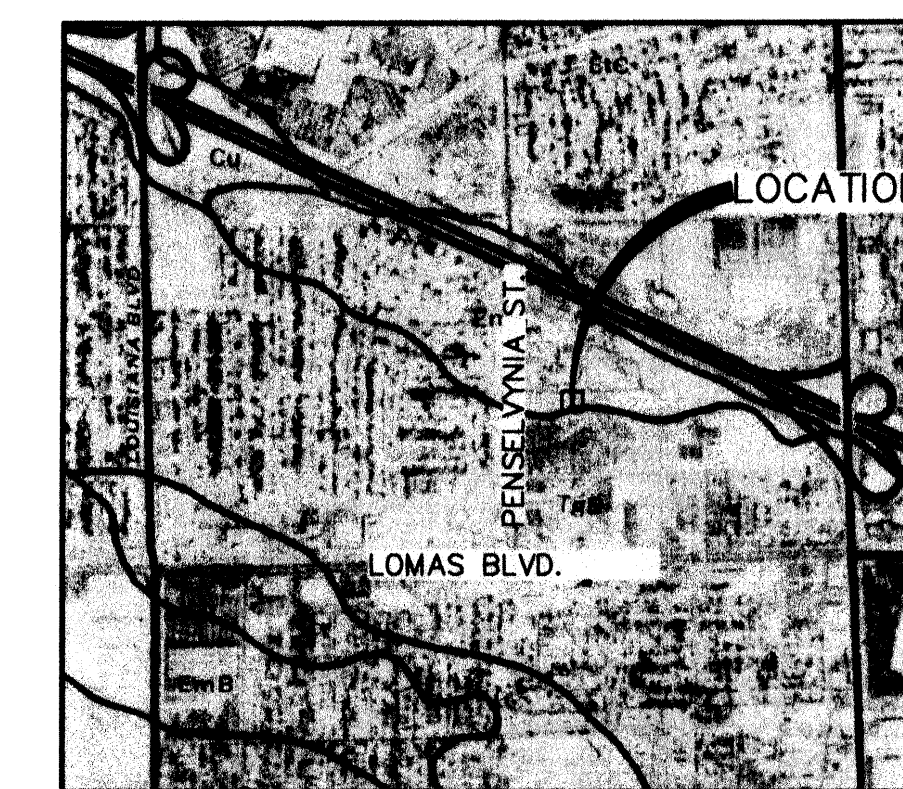
- EXISTING INTERMEDIATE CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- PROPOSED INDEX CONTOUR
- PROPOSED SPOT ELEVATION
- EXISTING BASIN DESIGNATION
- PROPOSED BASIN DESIGNATION
- EXISTING BASIN BOUNDARY
- PROPOSED BASIN BOUNDARY
- PROPOSED CONCRETE DRIVEPAD
- PROPOSED ASPHALT

LOCATION



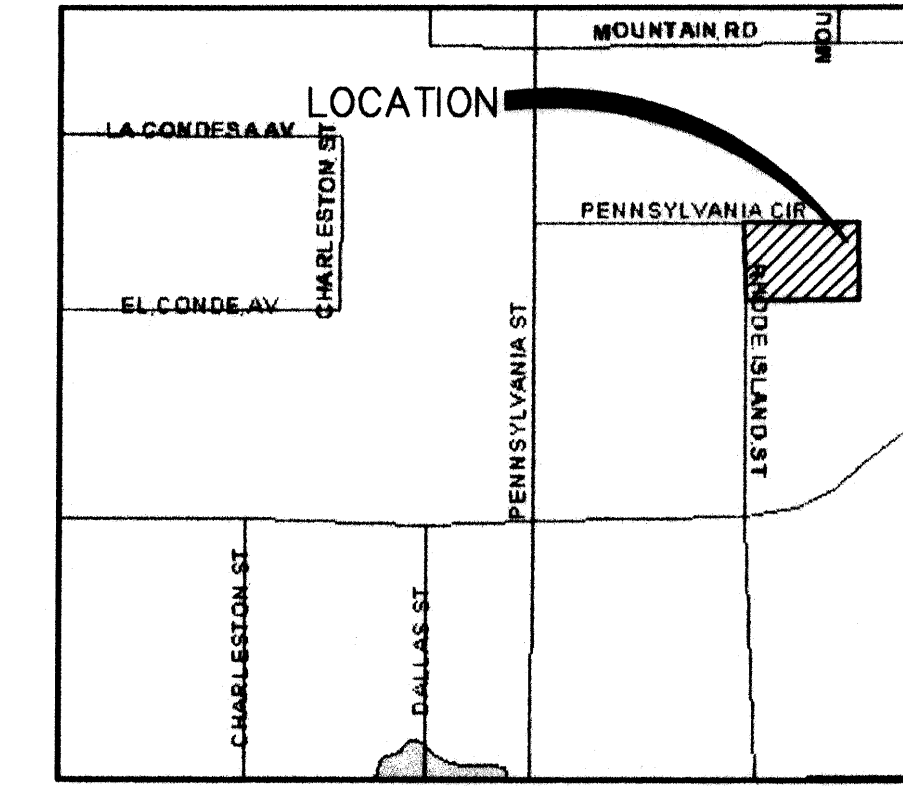
LOCATION MAP

ZONE ATLAS MAP NO. J-19



SOILS MAP

REFERENCE: SCS BERNALILLO COUNTY SOIL SURVEY SHEET NO. 31



FLOOD INSURANCE MAP

REFERENCE: FLOOD INSURANCE STUDY PANEL 358

LEGAL DESCRIPTION

LOT NUMBERED TWENTY-FOUR (24) OF ASHCRAFT CENTER, A SUBDIVISION OF THE CITY OF ALBUQUERQUE, NEW MEXICO, A REPLAT OF BLOCKS B AND C OF MESA DEL NORTE HEIGHTS NO. 10, AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 3, 1976, IN PLAT BOOK D7, FOLIO 58.

BENCH MARK

ACS STATION "17-K19" LOCATED AT THE INTERSECTION OF LOMAS BLVD. N.E. AND TENNESSEE ST. N.E. THE STATION IS A STANDARD ACS 3 1/4" ALUM. CAP SET FLUSH IN THE CURB. ELEVATION=5341.78 ft. MSLD 1929.

WILSON & COMPANY
4900 LANG AVENUE N.E.
ALBUQUERQUE, NEW MEXICO 87109
(505) 348-4000



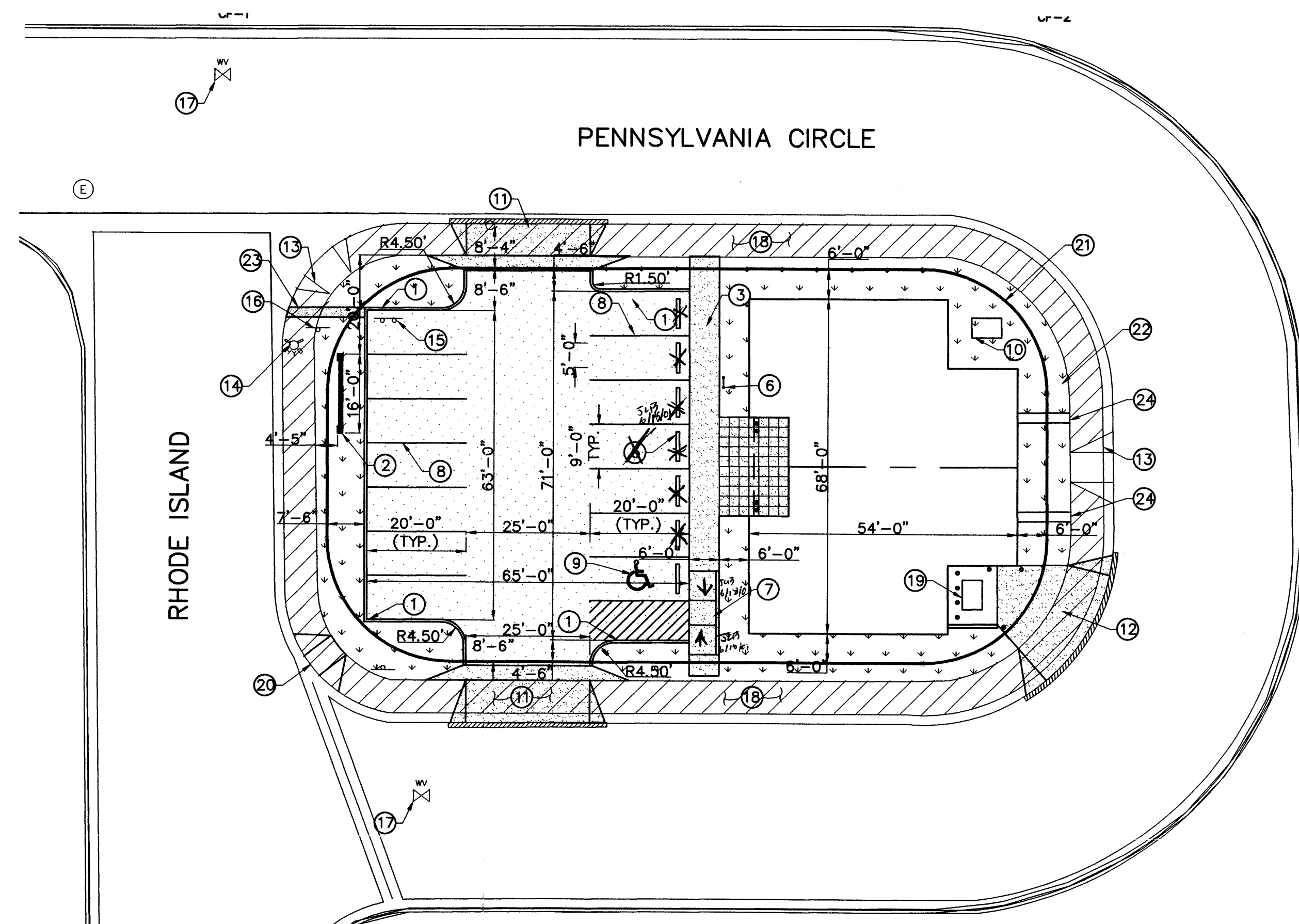
DATE
MARCH 2001

FILE NO.
X1-218-013

DESIGN
MJI

DRAWN
JLB

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP			
PEARSON SPEC BUILDING GRADING & DRAINAGE PLAN			
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.
Zone Map No. J-19		Sheet C-2	

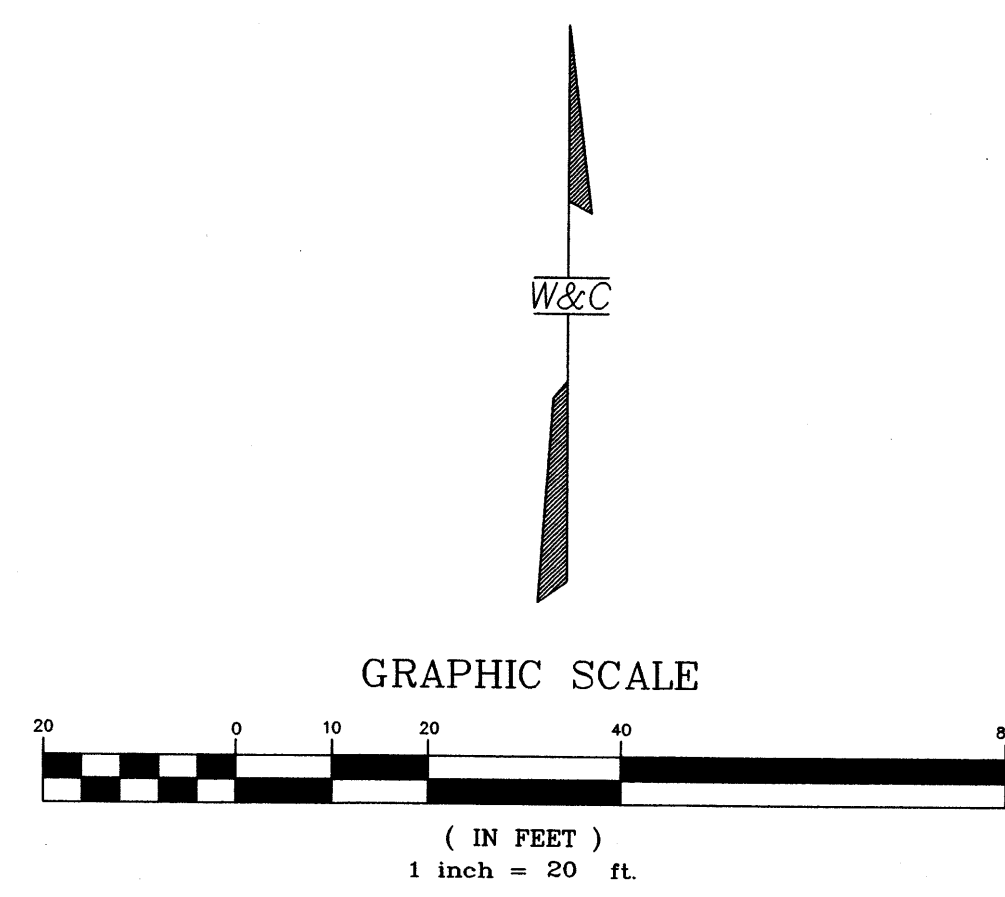


- KEYED NOTES**
- 1 NEW HEADER CURB SEE DETAIL SHEET C-2
 - 2 NEW SIGN
 - 3 NEW 6'-0" SIDEWALK
 - 4 DRIVEPAD, WIDTH VARIES
 - 5 6"x6"x8" PARKING BUMPER (TYP.)
 - 6 NEW H.C. PARKING SIGN
 - 7 NEW ADA RAMP
 - 8 NEW 4" PARKING STRIPE
 - 9 NEW H.C. MARKER
 - 10 NEW TRANSFORMER PAD
 - 11 25'-0" DRIVEPAD PER STD DWG NO. 2426
 - 12 20'-0" DRIVEPAD PER STD DWG NO. 2426
 - 13 EXISTING H.C. RAMP TO REMAIN
 - 14 EXISTING FH TO REMAIN
 - 15 REMOVE & RELOCATE EXISTING SIGN
 - 16 EXISTING SIGN TO REMAIN
 - 17 EXISTING WATER VALVE
 - 18 EXISTING SIDEWALK TO REMAIN
 - 19 NEW REFUSE ENCLOSURE
 - 20 WHEEL CHAIR ACCESS RAMP PER STD DWG 2441
 - 21 PROPERTY LINE
 - 22 LANDSCAPE AREA OR EQUAL
 - 23 NEW SIDEWALK CULVERT PER STD DWG 2236
 - 24 NEW CONCRETE SPLASH BLOCK

NOTES:

AS REQUIRED BY TRANSPORTATION DEVELOPMENT SECTION, A COPY OF THE APPROVED TCL AS-BUILT WILL BE SUBMITTED BY THE DESIGNER OR ACCEPTABLE REPRESENTATIVE PARTY WHICH INCLUDES A LETTER OF CERTIFICATION STATING THE SITE HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED TCL. VERIFICATION OF TCL ACCEPTABILITY, TO INCLUDE RANDOM FIELD CHECKS, WILL BE MADE BEFORE A FINAL CERTIFICATE OF OCCUPANCY (C.O.) IS ISSUED. PLEASE CALL THIS OFFICE TO OBTAIN TEMPORARY C.O. CONFIRMATION FROM HYDROLOGY, SUPPORTING THIS REQUIREMENT WILL BE NEEDED PRIOR TO APPROVAL OF TCL BY TRANSPORTATION.

INSPECTION OF CONSTRUCTION FOR C.O., FOR TRANSPORTATION, WILL BE DONE FROM THIS SHEET.

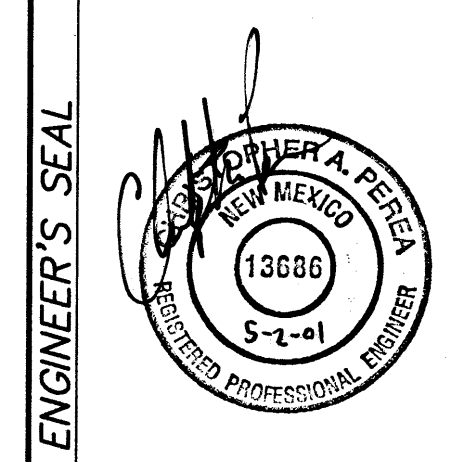


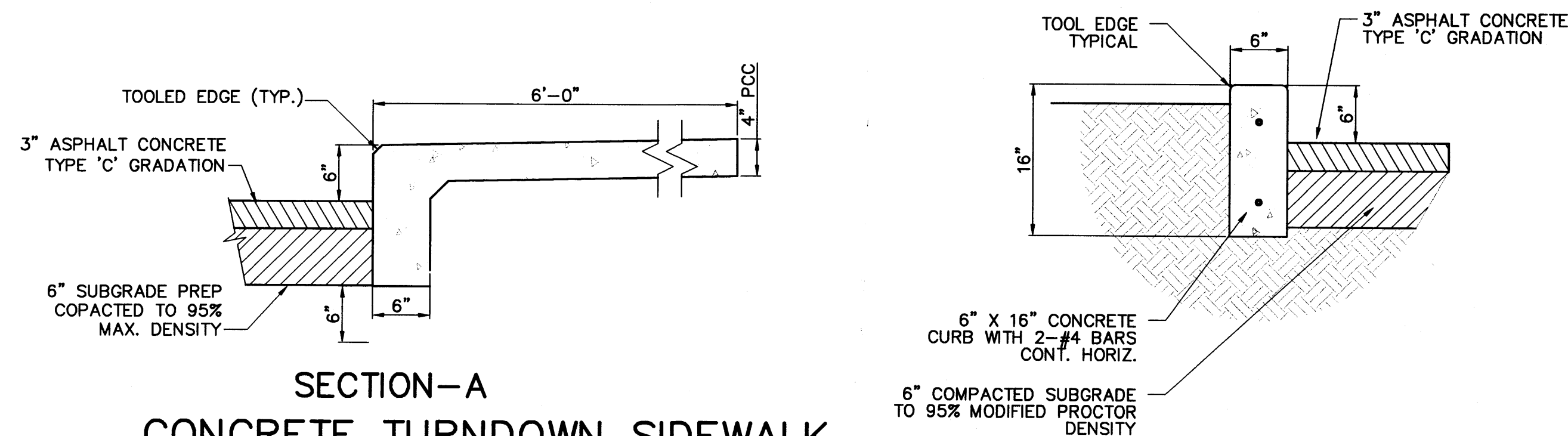
TRAFFIC CIRCULATION LAYOUT
APPROVED
[Signature]
Signed
6/12/01
Date

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP		J19-0074	
PEARSON SPEC BUILDING SITE & TRAFFIC CIRCULATION PLAN			
DESIGNED BY MJJ	5/1/2001		
DRAWN BY JLB	5/1/2001		
CHECKED BY DSA	5/1/2001		
City Engineer Approval			
Last Design Update			
Zone Map No. J-19		Sheet 1 of 1	

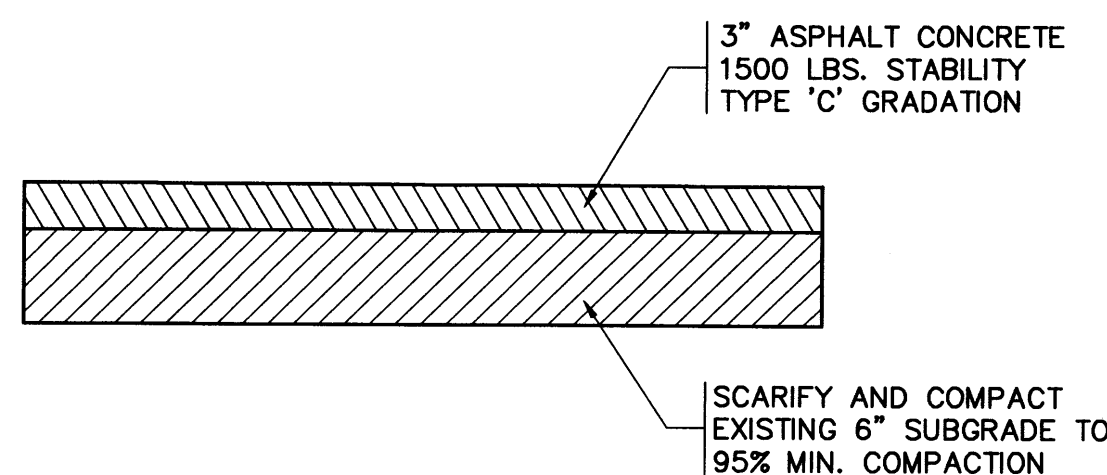
WILSON & COMPANY

SURVEY INFORMATION				BENCH MARKS				AS-BUILT INFORMATION			
FIELD NOTES				ACS STATION "17-K19" LOCATED AT THE INTERSECTION OF LOMAS BLVD. N.E. AND TENNESSEE ST. N.E. THE STATION IS A STANDARD ACS 3 1/4" ALUM. CAP SET FLUSH IN THE CURB. ELEVATION=5341.78 ft. MSLD 1929.				CONTRACTOR			
NO.				DATE				DATE			
BY				DATE				DATE			
NO.				DATE				DATE			
BY				DATE				DATE			
NO.				DATE				DATE			
BY				DATE				DATE			



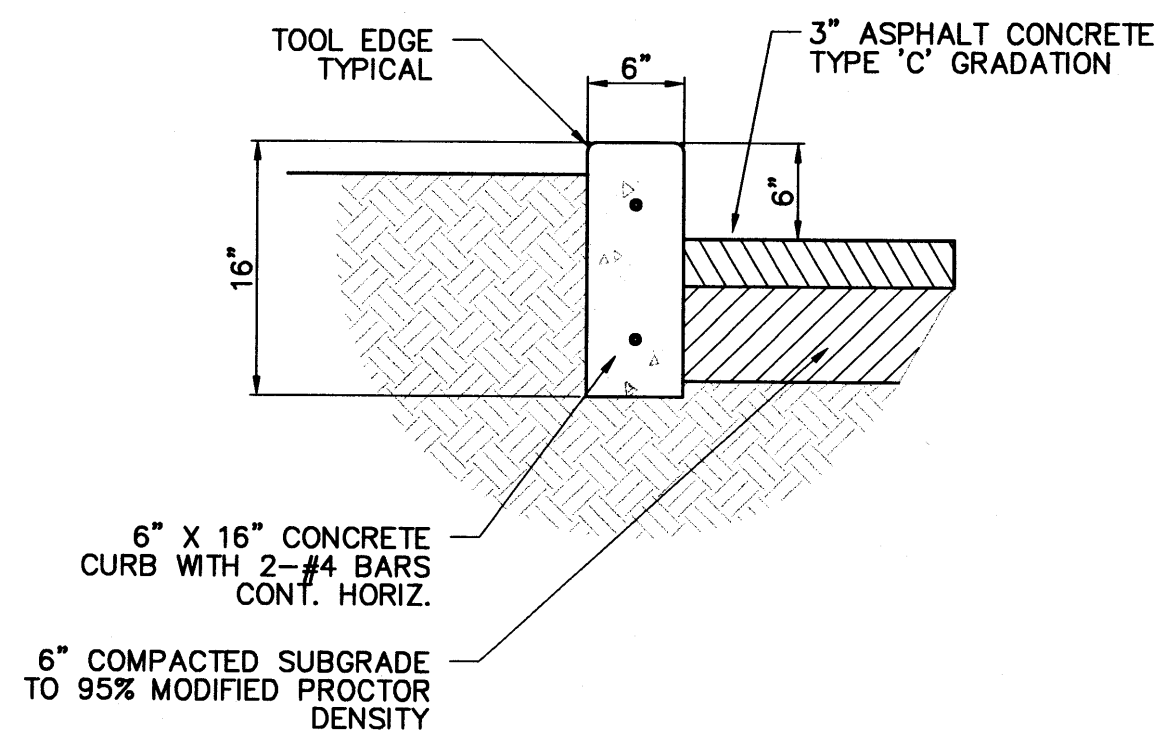


SECTION-A
CONCRETE TURNDOWN SIDEWALK



TYPE 'C' PAVEMENT SECTION

SECTION-B
HEADER CURB



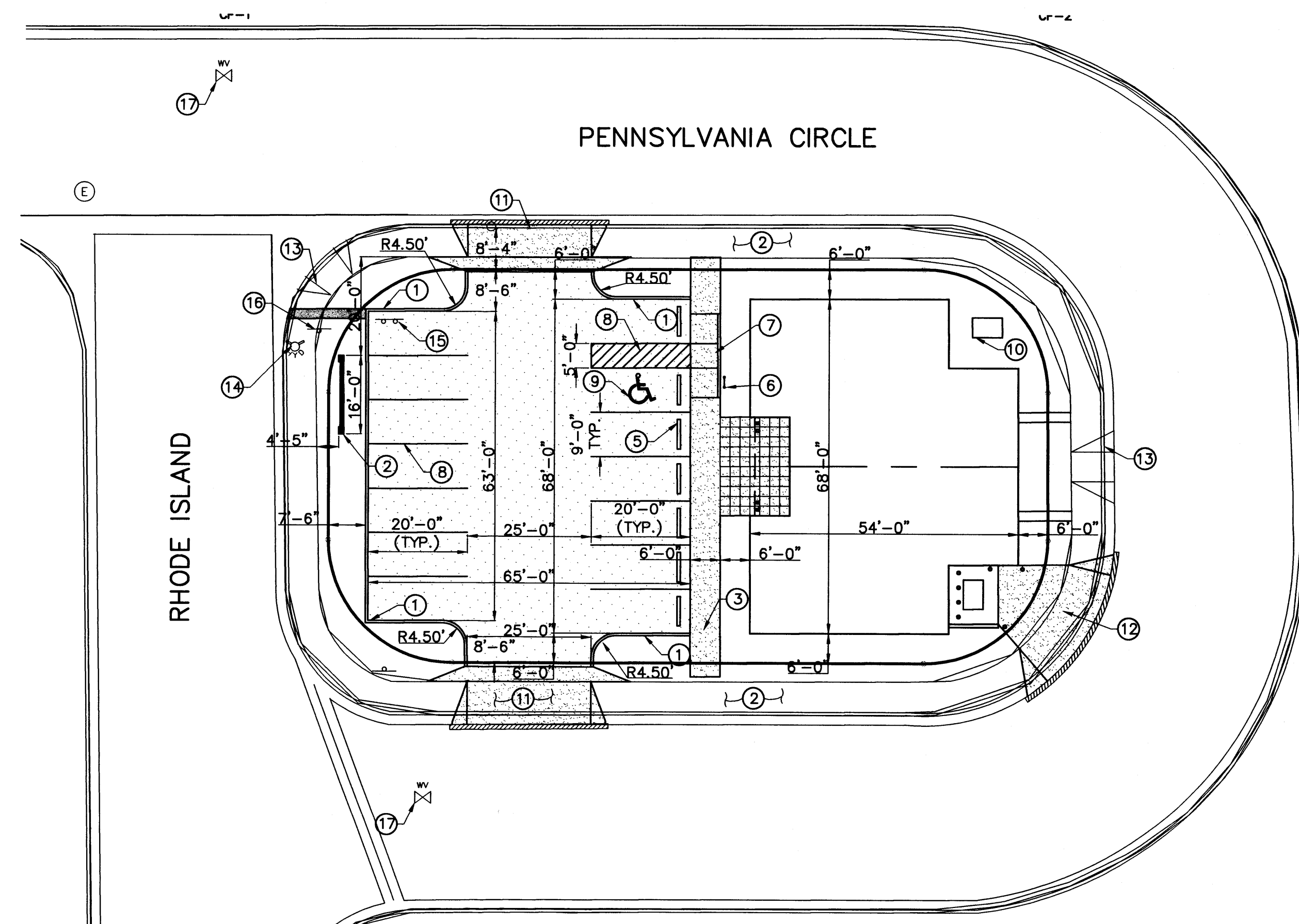
SECTION-B
HEADER CURB

SCALE: 1"=

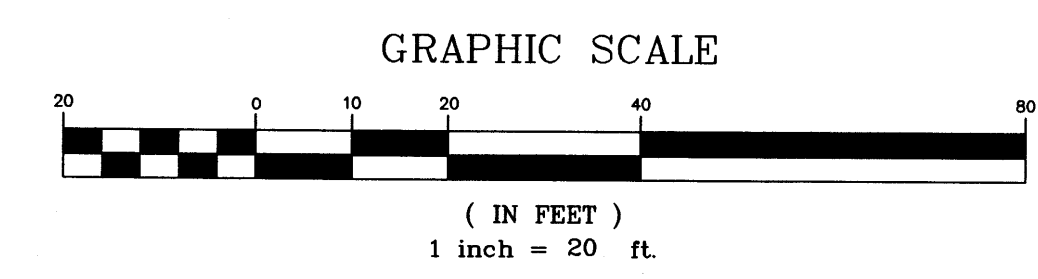
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MAR 15 2001
HYDROLOGY SECTION

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MAR 15 2001
HYDROLOGY SECTION



- KEYED NOTES**
- ① PROPOSED HEADER CURB SEE DETAIL SHEET C-2
 - ② PROPOSED SIGN
 - ③ PROPOSED 6'-0" SIDEWALK
 - ④ PROPOSED DRIVEPAD, WIDTH VARIES
 - ⑤ PROPOSED 6"x6" PARKING BUMPER (TYP.)
 - ⑥ PROPOSED H.C. PARKING SIGN
 - ⑦ PROPOSED ADA RAMP
 - ⑧ PROPOSED 4" PARKING STRIPE
 - ⑨ PROPOSED H.C. MARKER
 - ⑩ PROPOSED TRANSFORMER PAD
 - ⑪ PROPOSED 25'-0" DRIVEPAD
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 - ⑬ EXISTING H.C. RAMP TO REMAIN
 - ⑭ EXISTING FH TO REMAIN
 - ⑮ REMOVE & RELOCATE EXISTING SIGN
 - ⑯ EXISTING SIGN TO REMAIN
 - ⑰ EXISTING WATER VALVE



WILSON & COMPANY 4900 LANG AVENUE N.E. ALBUQUERQUE, NEW MEXICO 87109 (505) 348-4000		 DAVID S. GUIRE 1955 REGISTERED PROFESSIONAL ENGINEER		DATE MARCH 2001
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP				FILE NO. X1-218-013
PEARSON SPEC BUILDING SITE & TRAFFIC CIRCULATION PLAN				DESIGN MJI
Design Review Committee		City Engineer Approval		DRAWN JLB
Last Design Update		Mo./Day/Yr.		Mo./Day/Yr.
Zone Map No. J-19		Sheet C-1		

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HYDROLOGY SECTION

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