



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department  
Transportation Development Services Section***

August 22, 2002

Tate Fishburn, Registered Architect  
P.O. Box 2941  
Albuquerque, NM 87048

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Leitch Office Bldg., [J-19 / D076]  
1109 Rhode Island St. N.E.  
Architect's Stamp Dated 08/15/02

Dear Mr. Fishburn:

The TCL / Letter of Certification submitted on August 16, 2002 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to Building and Safety and final C.O. has been logged in by the Building Safety Section downstairs.

Sincerely,

Mike Zamora, Commercial Plan Checker  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
Mike Zamora

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

J-19/D76

PROJECT TITLE: LEITCH OFFICE

DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ ZONE MAP/DRG. FILE #: \_\_\_\_\_  
WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 7 ASHCRAFT HEIGHTS

CITY ADDRESS: 1109 RHODE ISLAND STREET, NE

ENGINEERING FIRM: LARRY READ & ASSOC.

ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

OWNER: BROWN ROOT LLC.

ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

ARCHITECT: TATE FISHBURN ARCHITECT

ADDRESS: ~~5404 E 29TH~~ BOX 2941  
CITY, STATE: CORRALES NM

CONTACT: TATE FISHBURN  
PHONE: 899 9338  
ZIP CODE: 87048

SURVEYOR: \_\_\_\_\_

ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: GERALD MARTIN

ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

**CHECK TYPE OF SUBMITTAL:**

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

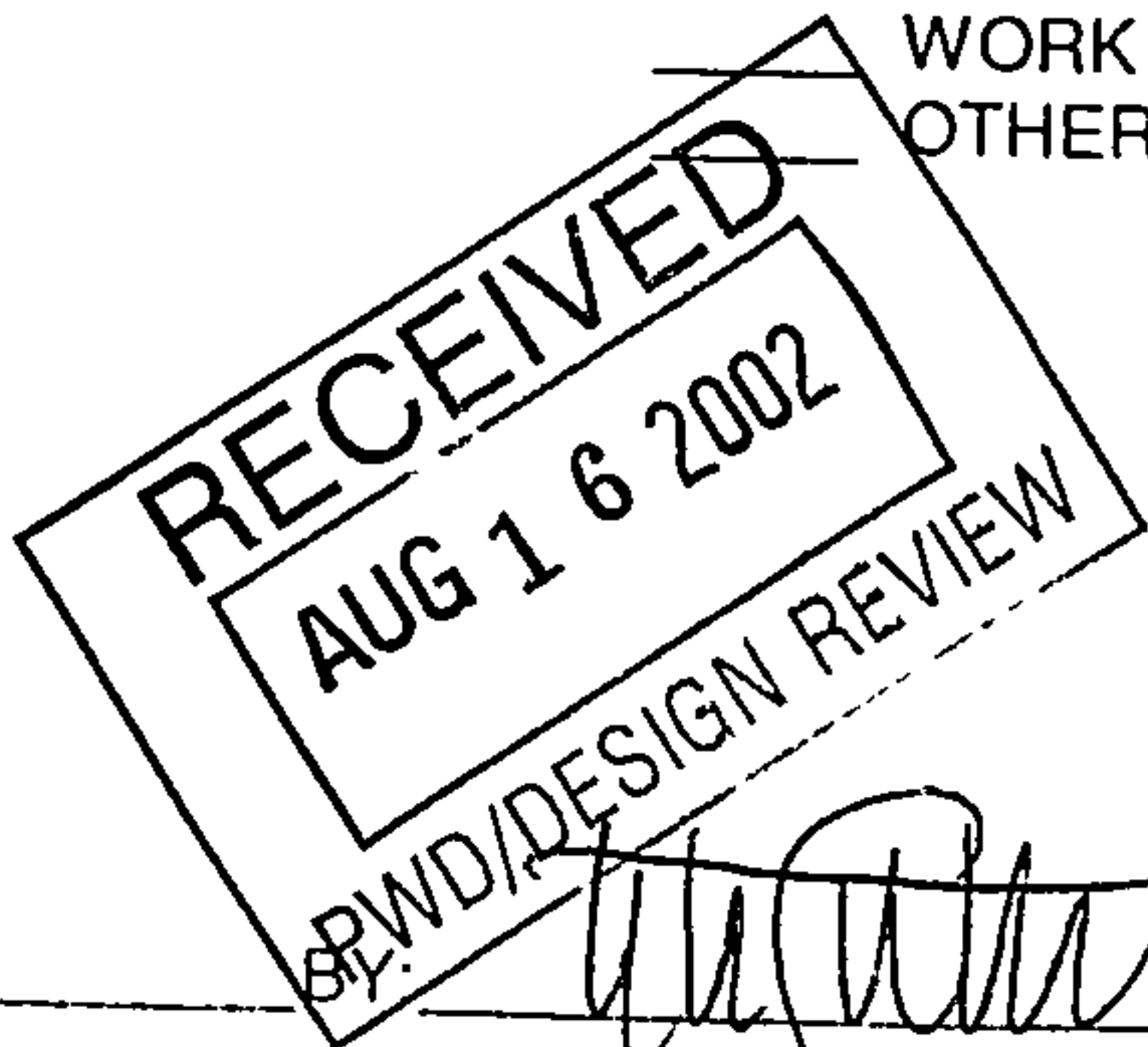
**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

**WAS A PRE-DESIGN CONFERENCE ATTENDED:**

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 8/16/02



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

8/22/02 - old in GT to Phyllis; 9/11/02 - Sent letter dated 8/22; 1099'd.

T A T E F I S H B U R N A R C H I T E C T

August 15, 2002

Mike Zamora  
Hydrology Development-TCL  
City of Albuquerque  
600 2<sup>nd</sup> St., N.W., Second Floor West  
Albuquerque, NM

Ref: TCL Certification  
1109 Rhode Island, NE

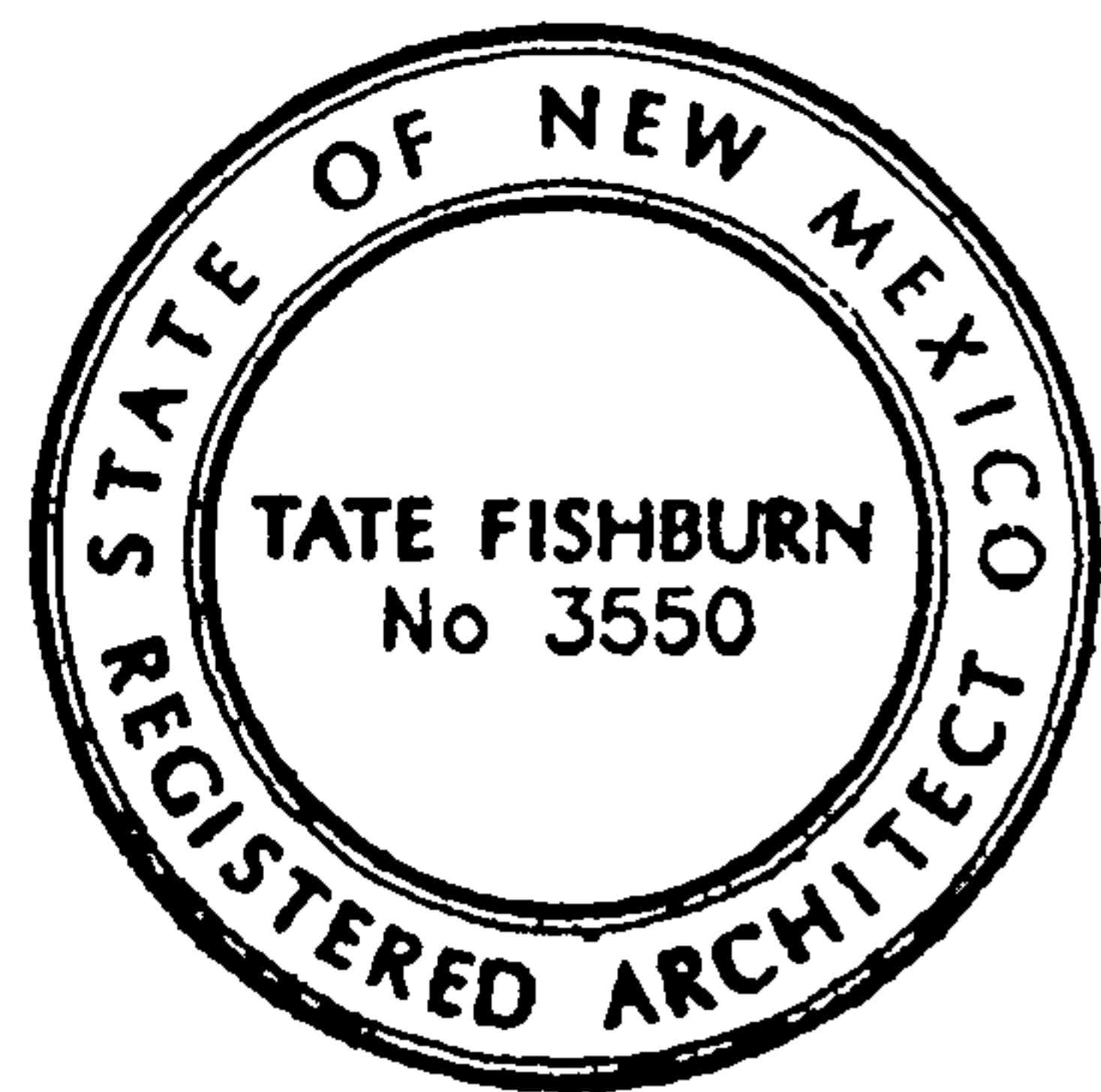
Dear Mike,

I have observed the completed traffic circulation layout for the above-mentioned project. I have found that it is in substantial conformance with the approved TCL drawings. If you have any questions please contact my office.

Sincerely,



Tate Fishburn  
Architect





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 27, 2002

Larry Read, P.E.  
Larry Read & Assoc.  
4800-C Juan Tabo NE  
Albuquerque, NM 87111

**RE: J. NICK LEITCH & CO. OFFICE BLDG. (J-19/D76)**  
**(1109 Rhode Island ST NE)**  
**ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY**  
**ENGINEERS STAMP DATED 1/23/2002**  
**ENGINEERS CERTIFICATION DATED 8/15/2002**

Dear Mr. Read:

Based upon the information provided in your Engineers Certification submittal dated 8/16/2002, the above referenced site is approved for a Permanent Certificate of Occupancy.

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

Teresa A. Martin  
Hydrology Plan Checker  
Development & Bldg. Ser. Division  
ELB

C: Certificate of Occupancy Clerk, COA  
✓ drainage file  
approval file



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

J-19/D76

PROJECT TITLE: Leich Office Building ZONE MAP/DRG. FILE #: ~~J-19~~  
 DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Lot 7 Ashcroft Center  
 CITY ADDRESS: 1109 Rhode Island NE

ENGINEERING FIRM: LARRY READ & ASSOC CONTACT: LARRY READ  
 ADDRESS: 4800-C SUMMIT AVE NE PHONE: 237-8921  
 CITY, STATE: ALB, NM ZIP CODE: 87111

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_


SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

- CHECK TYPE OF SUBMITTAL:**
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  - ☐ DRAINAGE PLAN
  - ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
  - ☐ GRADING PLAN
  - ☐ EROSION CONTROL PLAN
  - ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
  - ☐ CLOMR/LOMR
  - ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
  - ☐ ENGINEERS CERTIFICATION (TCL)
  - ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
  - ☐ OTHER

- CHECK TYPE OF APPROVAL SOUGHT:**
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
  - ☐ PRELIMINARY PLAT APPROVAL
  - ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
  - ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
  - ☐ SECTOR PLAN APPROVAL
  - ☐ FINAL PLAT APPROVAL
  - ☐ FOUNDATION PERMIT APPROVAL
  - ☐ BUILDING PERMIT APPROVAL
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  - ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
  - ☐ GRADING PERMIT APPROVAL
  - ☐ PAVING PERMIT APPROVAL
  - ☐ WORK ORDER APPROVAL
  - ☐ OTHER (SPECIFY)

**WAS A PRE-DESIGN CONFERENCE ATTENDED:**  
☐ YES  
☐ NO  
☐ COPY PROVIDED

DATE SUBMITTED: 8/16/02 BY: 

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
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LARRY READ & ASSOCIATES, Inc.

Civil Engineers  
Site Drainage Utility Design

**LETTER OF TRANSMITTAL**

DATE: 8/27/02

TO: Terri Martin  
GOA +

PROJECT: Leidos Office Bldg.

TRANSMIT VIA: HAND

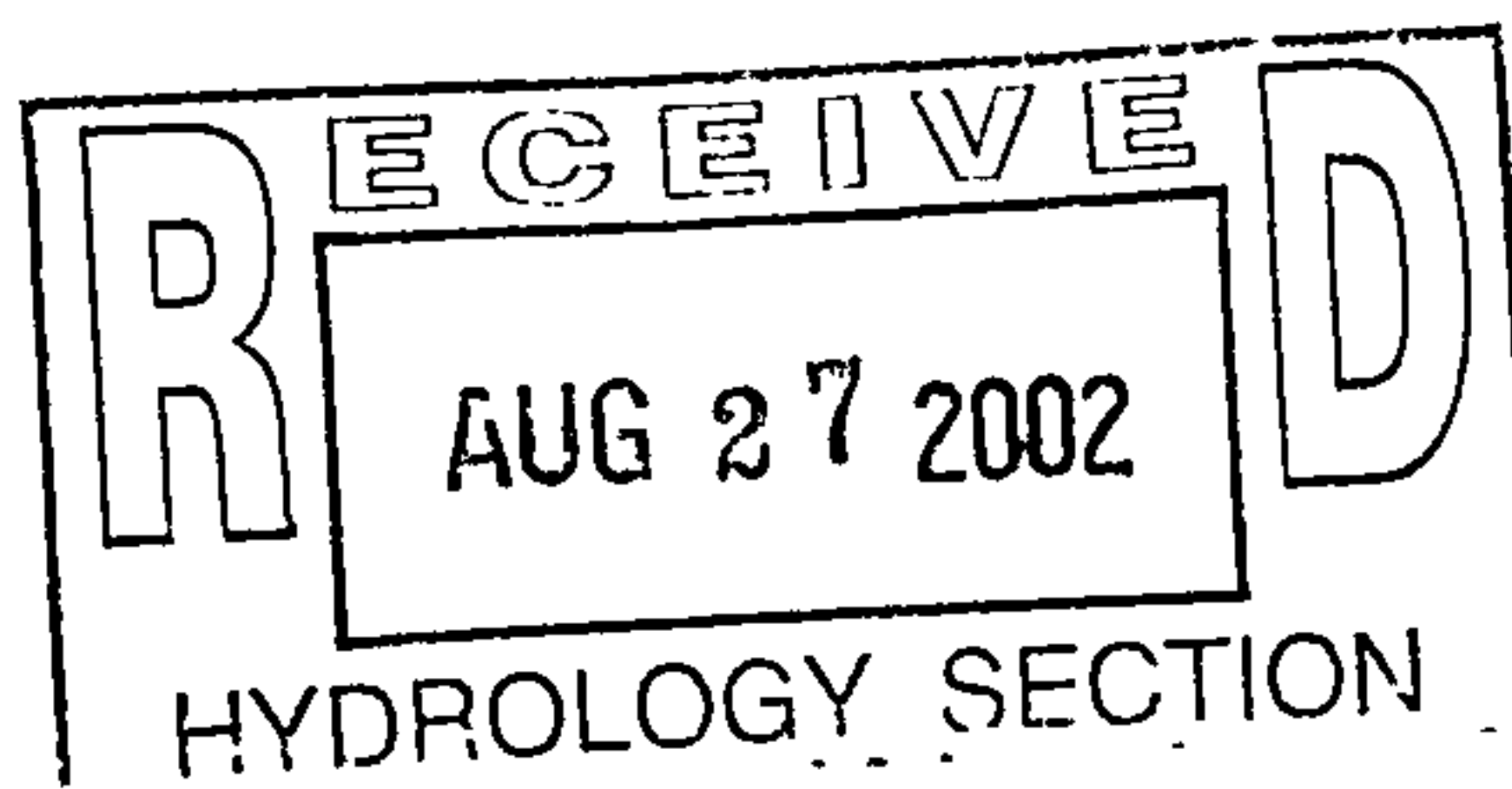
DESCRIPTION OF ITEMS INCLUDED:

Revised Engineer's Cert as requested

ACTION REQUESTED For your use

REMARKS: \_\_\_\_\_

Thanks  
Lacy





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 30, 2002

Larry Read, PE  
Larry Read & Associates  
4800-C Juan Tabo, NE  
Albuquerque, NM 87111

**Re: Grading and Drainage Plan for J. Nick Leitch & Co. Office Bldg.  
Engineer's Stamp Dated 1-23-02, (J19/D76)**

Dear Mr. Read,

Based on your submittal dated 1-23-02, the above referenced plan is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required. In your certification, verify that no runoff enters Lot 7 from the south side.

If you have any questions, you can contact me at 924-3986.

Sincerely,

*Bradley L. Bingham*

Bradley L. Bingham, PE  
Sr. Engineer, PWD  
Development and Building Services

c: Terri Martin, Hydrology  
File (2)



# DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

J-19/D76

PROJECT TITLE: J. Nide Leitch & Co. ZONE MAP/DRG. FILE #: J-19  
 DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Lot 7 Ashcroft Center  
 CITY ADDRESS: 1109 Rhode Island Street NE

ENGINEERING FIRM: Larry Read & Associates, Inc. CONTACT: Larry Read  
 ADDRESS: 4800 Juan Tabo NE Suite C PHONE: 237-8721  
 CITY, STATE: Albany NM ZIP CODE: 87111

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: Tate Fishburn Architects CONTACT: Tate Fishburn  
 ADDRESS: Box 2991 PHONE: 892-8911  
 CITY, STATE: Corrales NM ZIP CODE: 87078

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

**CHECK TYPE OF SUBMITTAL:**

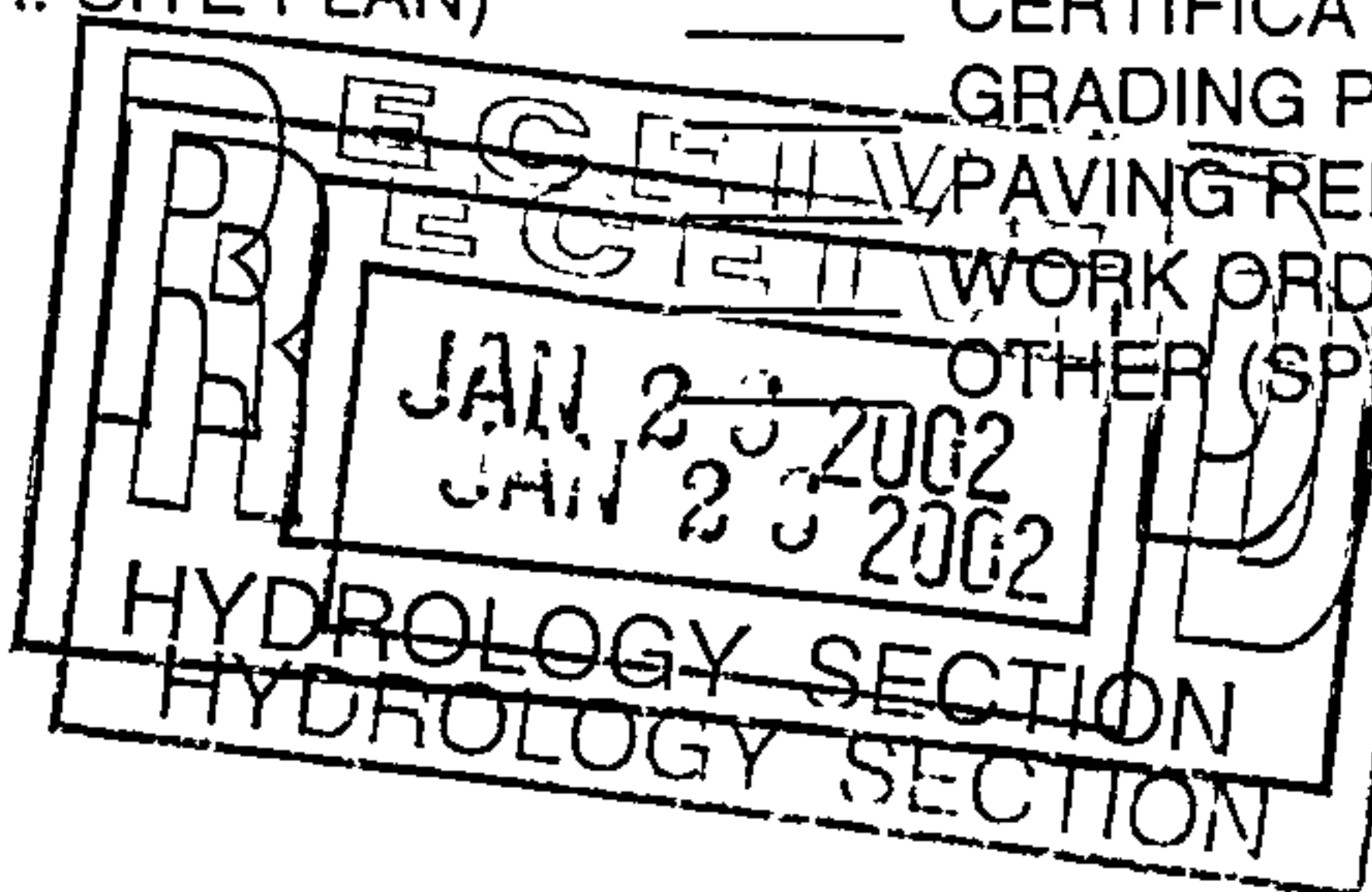
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- ☐ CLOMR/LOMR
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- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
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- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 1/23/02 BY: Larry Read

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department  
Transportation Development Services Section***

March 14, 2002

Tate Fishburn, Registered Architect  
P.O. Box 2941  
Corrales, N.M. 87048

Re: Traffic Circulation Layout (TCL) Submittal for Building Permit Approval for  
Leitch Office Building, [J19 / D076]  
1109 Rhode Island St. N.E.  
Architect's Stamp Dated 03/14/02

Dear Mr. Fishburn:

The TCL submittal, dated March 14, 2002, is sufficient for acceptance by this office and is stamped and signed as such. Four copies have been made as required: two for submittal of building permit plans, one was made for this office and one is to be kept by you to be used for certification of the site for final C.O. for Transportation/ Hydrology.

When the superintendent of this project calls for a Temporary C.O. immediate issuance is no longer possible at that time. An exact copy of the approved TCL is required, with mark ups(preferably in red) showing incomplete work remaining, along with a letter of certification, prior to issuance of Temporary C.O.

When site is complete and a Final C.O. is needed, a Letter of Certification (specifically stating "Certification"), stating that the site was built in substantial compliance with the approved plan, needs to be included with your copy of the TCL. A second option would be to place a typed or stamped Statement of Certification on the approved TCL copy. Letter and/or TCL package must be stamped with the designer's seal, signed and dated for that certification. All documentation must be submitted with a completed Drainage and Transportation Information Sheet (also used for the Grading and Drainage submittal) to Hydrology at the Development Services Center.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that the Final C.O. has been issued for this address call Building Safety at 924-3306.

Sincerely,

Mike Zamora, Commercial Plan Checker  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
Mike Zamora

# DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

J-19/D76

PROJECT TITLE: LEITCH OFFICE ZONE MAP/DRG. FILE #: \_\_\_\_\_  
 DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 7 ASHCRAFT HEIGHTS  
 CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: LARRY READ & ASSOC.  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: LARRY  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

OWNER: BROWN TROUT LLC  
 ADDRESS: 2900 LOUISIANA, NE.  
 CITY, STATE: \_\_\_\_\_

CONTACT: NICK LEITCH  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

ARCHITECT: TATE FISHBURN ARCH  
 ADDRESS: BOX 2941  
 CITY, STATE: CONRAD, NE

CONTACT: TATE  
 PHONE: 899-9338  
 ZIP CODE: 67048

SURVEYOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

CONTRACTOR: GERALD MARTIN  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

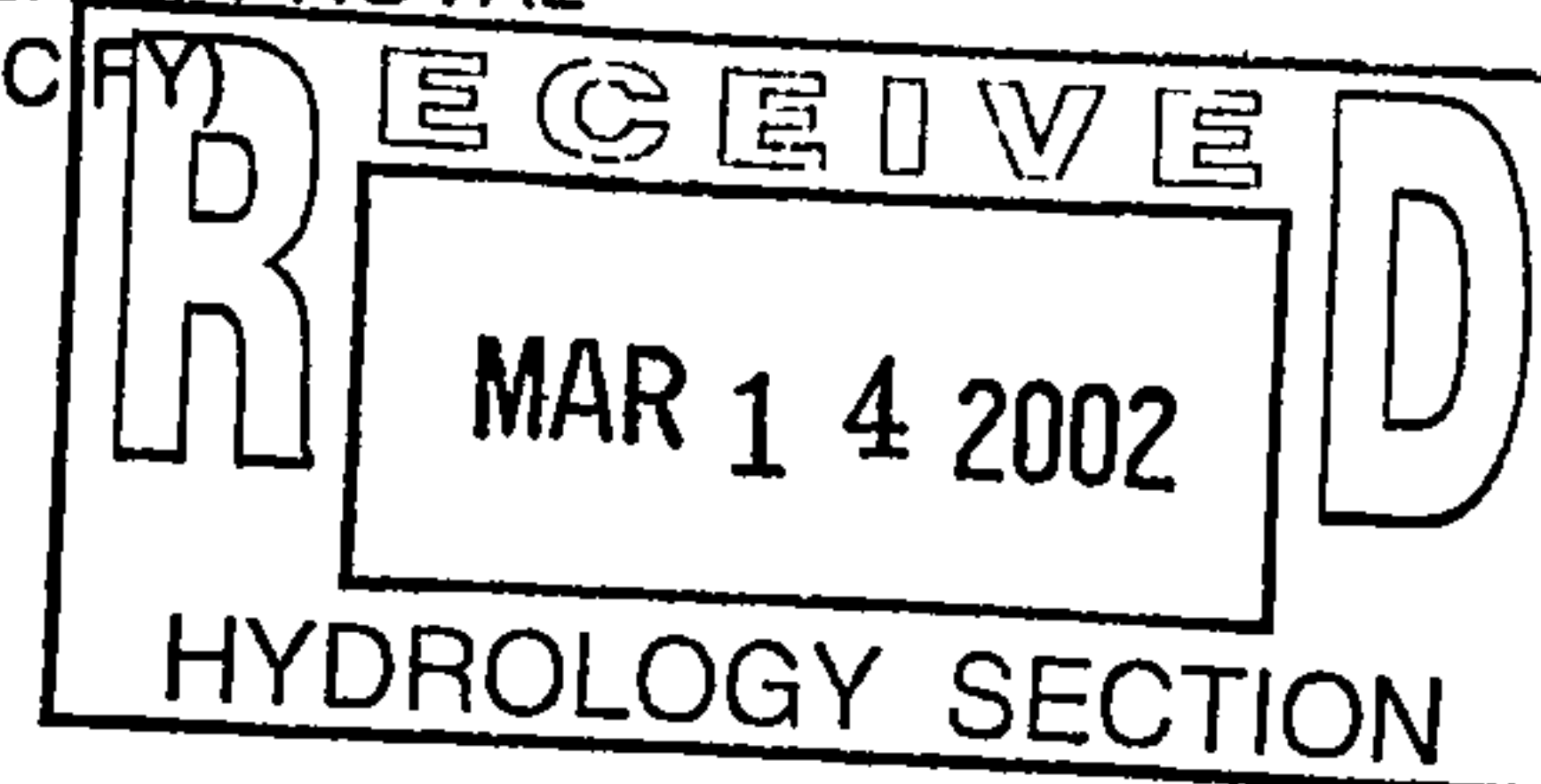
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- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
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- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

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- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 3/14/02 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3/14/02 - App'd T.C.L. ; 4/15/02 - Sent letter to Arch ; [Signature] - logged







# DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

J-19/D76

PROJECT TITLE: J. Nide Leitch & Co. ZONE MAP/DRG. FILE #: J-19  
 DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Lot 7 Ashcroft Center  
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ENGINEERING FIRM: Larry Read & Associates, Inc. CONTACT: Larry Read  
 ADDRESS: 4800 Juan Tabo NE Suite C PHONE: 237-8421  
 CITY, STATE: Albuquerque NM ZIP CODE: 87111

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: Tate Fishburn Architects CONTACT: Tate Fishburn  
 ADDRESS: Box 2991 PHONE: 842-8911 or 879-9338  
 CITY, STATE: Corrales NM ZIP CODE: 87048

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

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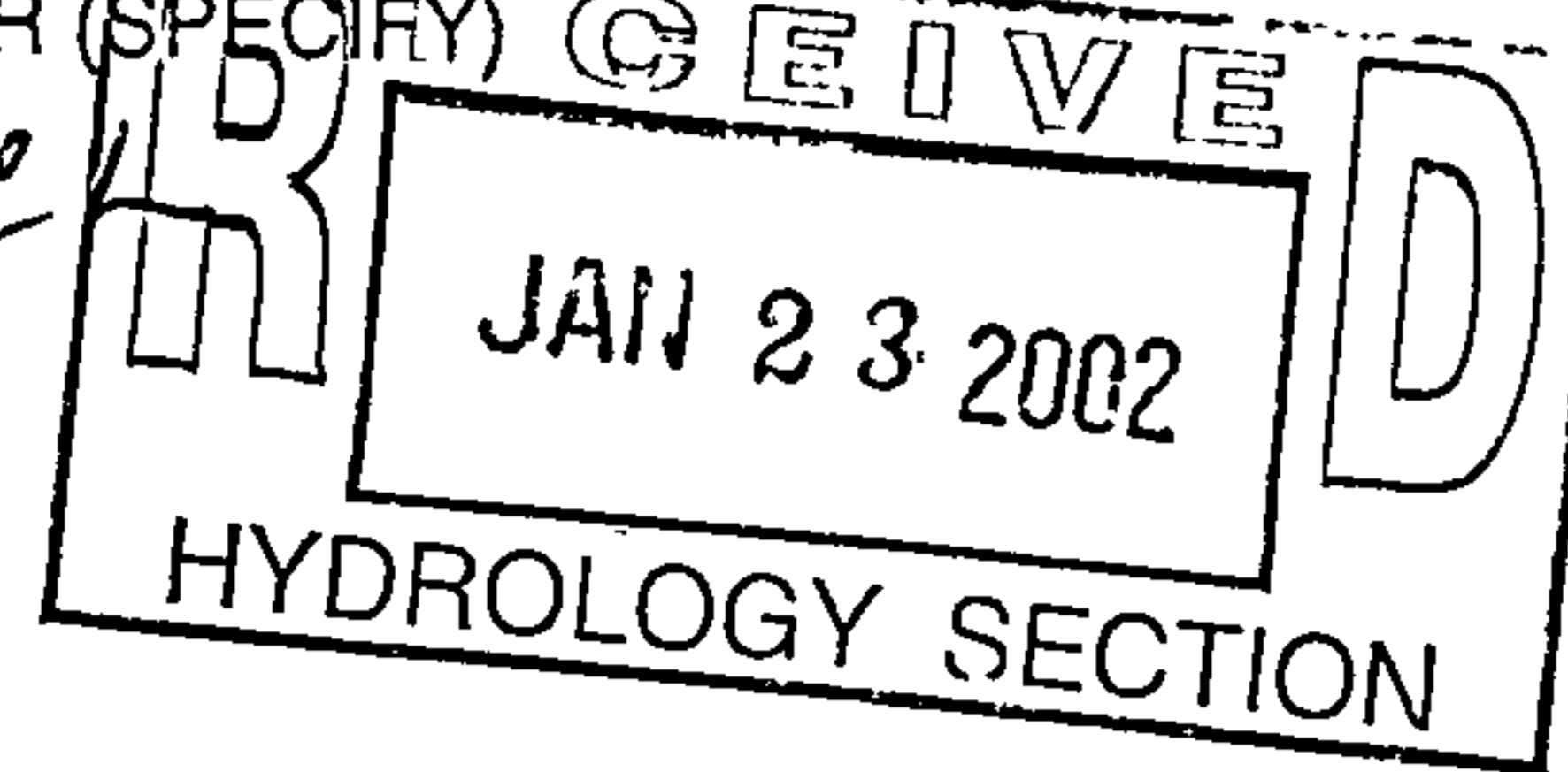
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- ☐ PAVING PERMIT APPROVAL
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- ☒ OTHER (SPECIFY) TC

**WAS A PRE-DESIGN CONFERENCE ATTENDED:**

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 1/23/02 BY: Tate Fishburn

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# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department  
Transportation Development Services Section***

January 29, 2002

Tate Fishburn, Registered Architect  
Tare Fishburn Architects  
P.O. Box 2941  
Corrales, NM 87048

Re: TCL Submittal for Building Permit Approval for J. Nick Leitch & Co.  
1109 Rhode Island St. N.E., [J19 / D076]  
Architect's Stamp Dated 01/22/02

Dear Mr. Fishburn:

The location referenced above, dated Jan. 23, 2002, is not acceptable and requires modification to the Traffic Circulation Layout (TCL) prior to Building Permit release as stated on the attached PRELIMINARY TCL checklist, and red-lined TCL markup with comments.

Please resubmit revised TCL after addressing typed and marked up comments. Submit plan along with checklist and all current and past red-lined, mark-up copies.

Sincerely;

Mike Zamora  
Commercial Plan Checker  
Development and Building Services  
Public Works Department

c: Engineer  
Hydrology file  
Mike Zamora

J19/D076  
1109 Rhode Island NE

TRAFFIC CIRCULATION LAYOUT SITE PLAN CHECKLIST  
REVISED DRAFT 9/18/01

The City Zoning Code requires the design of access and circulation for parking areas and drive through facilities to be satisfactory to the Traffic Engineer. The design of these parking areas is a melding of a number of objectives of a development including safety, efficiency, aesthetics, etc. From a vehicular transportation point of view, one of the most critical areas of concern is the location and manner of access from the adjacent street. The interface of the development adjacent to these areas also plays a major role in how safely and efficiently they operate. These guidelines for the layout of the parking areas represent engineering design standards that will result in good operational and safety characteristics. However, with the many variables in design and unique characteristics that can be encountered, the designer may need to investigate other means of satisfying desirable operational and safety characteristics. Prior to embarking on a design for these unusual conditions, the designer should contact the Traffic Engineer to reach agreement on the modifications to these guidelines. Traffic Circulation Layout (TCL) Site Plans are required for commercial and institutional buildings, multi-family residential buildings and commercial additions of 500 square feet or more.

NOTE: The following checklist is intended to be used as a guide for preparing your Traffic Circulation Layout Plan to meet any or all of the traffic requirements. It is only a guide. Some items may not be applicable to your particular project; some items may require more detail.

I. **General Information:**

- ☒ A. Completed Drainage/TCL Information Sheet-(DPM Volume 1, Chapter 17)
- ☒ B. Planning History-Relationship to approved site plans, masterplans, and/or sector plans site
- C. Description:
  - ☒ 1. Vicinity map (zone atlas map) showing location of the development in relation to well-known landmarks, municipal boundaries and zone atlas map index number
  - ☒ 2. Address and legal description or copy of current plat
  - ☒ 3. All requests for variances from policies, ordinances or resolutions which are necessary to implement this plan must be specifically identified
  - ☒ 4. Type of development (restaurants, banks, convenience markets, service station, super markets, auto car wash, etc.)
  - ☒ 5. Size of development
  - ☒ 6. Parking spaces required by Zoning Code or prior EPC approved Site Development Plan — limit
  - 7. Executive Summary-Provide a brief yet comprehensive discussion of the following:
    - ☒ a. General project location
    - ☒ b. Development concept for the site
    - ☒ c. Traffic circulation concept for the site
    - ☒ d. Impact on the adjacent sites
    - ☒ e. Reference any applicable Traffic Impact Studies (TIS) or previously approved plans
    - ☒ f. Variance required to accommodate unusual site constraints

① — item Needs completion, or <sup>may need added</sup> attention or more information Needed.  
2 — N/A  
B — item addressed.  
C. — ~~Not completely addressed~~ items in this group not all done.

## II. Plan Drawings:

- A. Professional Architect's/Engineer's stamp with signature and date
- B. Drafting standards: (Reference City Standards, DPM Volume 2, Chapter 27)
- 1. North Arrow
  - 2. Scales-recommended engineer scales:
    - a. 1" = 20' for sites less than 5 acres
    - b. 1" = 50' for sites 5 acres or more
  - 3. Legend-see DPM manual, Volume 2, Tables 27.3a-27.3d for recommended standard symbols
  - 4. Plan drawings size: 24" x 36"
  - 5. Notes defining property line, rights-of-way, signs, street lights, fire hydrants, medians, water meter boxes, pavement limits and types, sidewalks, landscape areas, project limits, and all other areas whose definition would increase clarity
- C. Existing Conditions:
- 1. On-site
    - a. Identification of all existing buildings, doors, structures, sidewalks, curbs, driveways, walls, etc., and anything that influences parking and circulation of the site. SEE PLAN
    - b. Indication of all access existing easements and rights-of-way on or adjacent to the site with dimensions and purpose shown
  - 2. Off-site
    - a. Identification of the right-of-way width, medians, curb cuts, street widths, etc. (both sides of street)
- D. <sup>NEW</sup> Proposed Conditions: <sup>NEW</sup> Proposed conditions should generally be superimposed on the drawings showing existing on-site and off-site conditions. Separate sheets may be used for on-site and off-site areas depending upon circumstances.
- 1. On-site
    - a. Indication of all proposed access easements and rights-of-way on or adjacent to the site with dimensions and purpose shown
    - b. Slopes
      - (1) Parking areas 1% min to 8% max
      - (2) Parking areas adjacent to major circulation aisles or adjacent to major entrances 1% min to 6% max
      - (3) ~~Handicap parking 1% min to 2% max~~
      - (4) Handicap ramps with slope of 12:1 must be provided where the sidewalk area where curbs intersect the pedestrian access to the building
    - c. Clearly delineate project phasing. A key map is recommended.
    - d. Parking stall sizes: (Reference City Standards, DPM, Figure 23.7.1)



e.

Circulation:

- (1) General layout dimensions: Figure 23.7.1 provides the layout relationships between parking stalls and aisle widths for both large and small car parking areas
- (2) Treatment of access points-Discuss how the curb cuts and/or drivepads comply with Chapter 23, Section 6
- (3) Internal aisle connection:
  - ~~(a)~~ Parking lots with parking spaces, spaces greater than or equal to 100 must have landscaped islands at the ends of each row of parking
  - (b) Landscape island radius for passenger car is 15 feet (see DPM Figure 23.7.2)
  - ~~(c)~~ Landscape island radius for delivery trucks, fire trucks, etc. is 25 feet or larger (see DPM figure 23.7.2)
- ~~(4)~~ Maximum aisle lengths: Aisle lengths required: 300-400 feet without internal circulation between aisles
- (5) Sidewalk connections:
  - ~~(a)~~ ~~Provide a 4' sidewalk from the public sidewalk to the buildings within the development~~
  - (b) Provide a min 5' wide sidewalk when the stall will overhang the sidewalk
  - (c) Clear pedestrian route accessible should be provided ~~where~~ the parking space may overhang the sidewalk
- (6) Curbing: Provide a min 6" or max 8" high concrete barrier curb between landscaping and parking areas and/or drive aisles
- (7) Fire and emergency access: Provision for access by fire and emergency vehicles needs to be in accordance with the Albuquerque Fire Plan Checking Division
- ~~(8)~~ Service Areas:
  - ~~(a)~~ Circulation:
    - 1) Design vehicle route needs to be shown
    - 2) No truck ramps, ~~refuse~~/compactors or similar facilities permitted within circulation aisle
  - ~~(b)~~ No backing into or from public street allowed
  - ~~(c)~~ Service vehicle and/or refuse vehicle maneuvering must be contained on-site
  - ~~(d)~~ Aisle width required:
    - 1) Two-way traffic is 30'
    - 2) One-way traffic is 20'



- (9) Layout of large parking area: (400 spaces or more)
- (a) Main aisles should provide good pedestrian and vehicle visibility and access
- 1) Parking spaces shall not back into the main aisle
  - 2) Provide good pedestrian/vehicle visibility at main aisle
  - 3) Twenty-eight foot (28') is the maximum width for main aisle adjacent to building frontages
- (b) Ring roads or partial ring roads are required for shopping centers larger than 250,000 square feet of building area
- 1) Widths shall be determined based on traffic volumes
  - 2) Centers of 500,000 square feet may require turning lanes or additional lanes to accommodate projected traffic volumes

(10) Signing, Striping: Adequate signing and striping needs to be incorporated into the design of the parking area which will help to convey to the motorist the proper use of the facility

E. Access point lanes and queuing: (See Table 23.7.1)

F. Drive through facilities-Discuss compliance with Chapter 23, Section 7

I. Off-site

a. Rights-of-way and easements to accommodate existing or proposed public street infrastructures shall be provided when necessary to support this development

b. Handicap ramps are required at street corners if site abuts the corners-  
CORNERS