

GRADING/ DRAINAGE PLAN

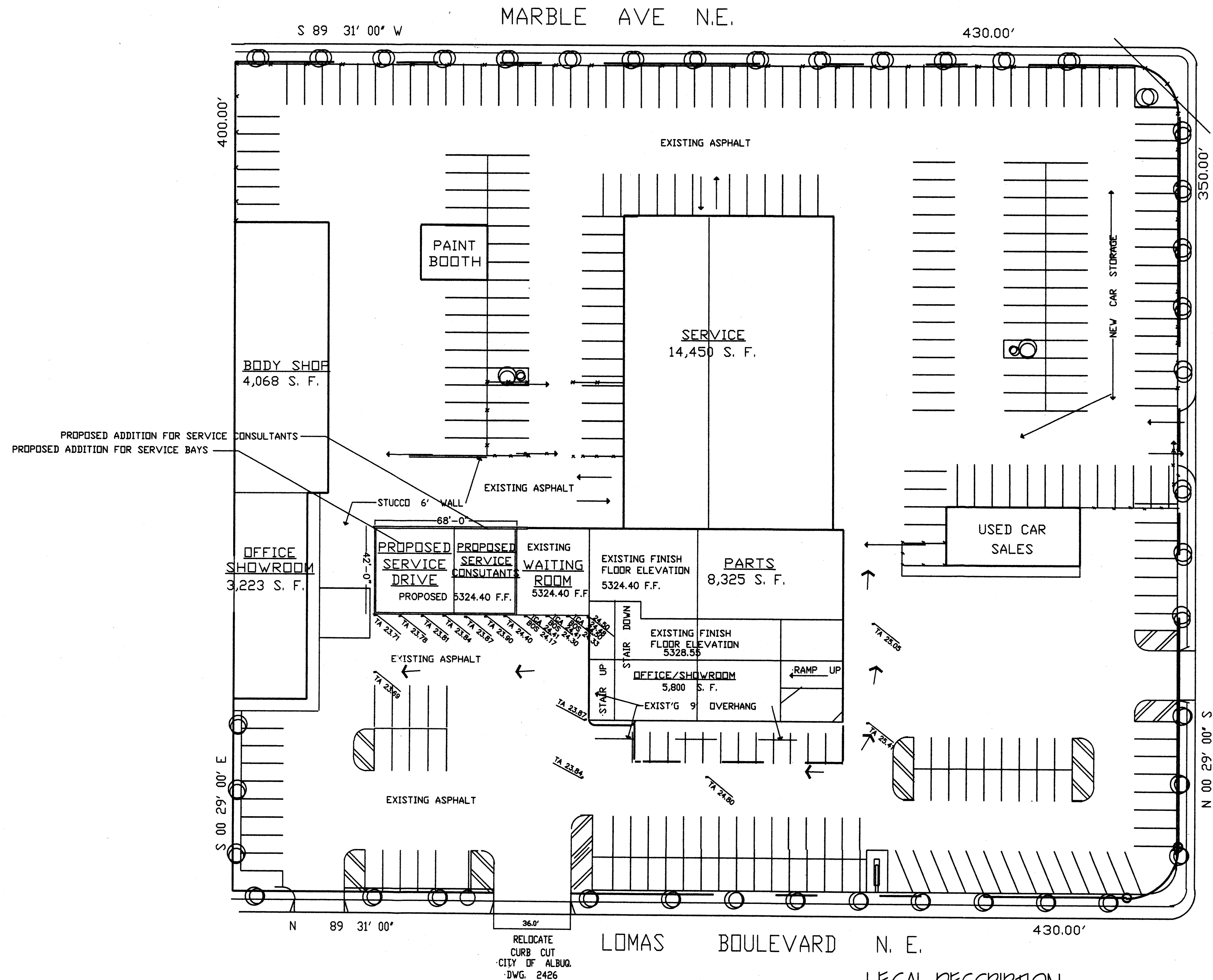
THE FOLLOWING ITEMS CONCERNING TRACT "A" MELLOY BROTHERS (7701 LOMAS BOULEVARD N.E.) ARE CONTAINED HEREON:

EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 3.95 PLUS OR MINUS ACRES, AND IS LOCATED AT THE NORTHWEST QUADRANT OF THE INTERSECTION OF LOMAS BLVD. N.E. AND CHARLESTON STREET N.E. THE SITE IS FULLY DEVELOPED AS A CAR DEALERSHIP. NO OFF-SITE FLOWS ENTER THE SITE FROM ANY DIRECTION.

PROPOSED CONDITIONS

AS SHOWN BY THE GRADING/ DRAINAGE PLAN, THE PROPOSED DEVELOPMENT WILL CONSIST OF A 2,856 SQ. FT. ADDITION TO THE SERVICE BAY AREA. THE ADDITION WILL BE BUILT OVER AN EXISTING ASPHALT AREA THUS NOT CREATING ANY ADDITIONAL RUN-OFF.



NOTE TO CONTRACTOR:

1. An excavation/construction permit will be required before beginning any work within the City right-of-way. Approved copy of this plan must be submitted at the time of application for permit.
2. All work detailed in this plan to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with City of Albuquerque Standard Specification for Public Works Construction.
3. Two working days prior to any excavation, contractor must contact line locating Services (780-1990) for locating existing sub-surface utilities.
4. Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all potential constructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay to the subject project.
5. Backfill compaction shall be according to commercial use or soils report(s) recommendations.
6. All work on this project shall be performed in accordance with applicable Federal, State and local laws, rules and regulations concerning construction safety and health.
7. Maintenance of this facilities shall be the responsibility of the owner of the property it serves.

EROSION CONTROL MEASURES

1. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION. HE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE:
 - A) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMS, Dikes, SWALES, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.
 - B) ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.
2. THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY OR ALL SEDIMENT WITHIN THE PUBLIC STREETS THAT HAVE BEEN ERODED FROM THE SITE AND DEPOSITED THERE.

SYMBOL LEGEND

EXISTING CONTOUR
EXISTING SPOT ELEVATION
DESIGN CONTOUR
EXISTING SPOT ELEVATION
PROPERTY LINE
EASEMENT LINE
FLOW DIRECTION

DOWN SPOUT

ABBREVIATION LEGEND
TOP OF CONC APRON - TCA
TOP OF CURB - TC
TOP OF ASPHALT - TA
TOP OF BERM - TB
BOTTOM OF POND - BP
FINISHED FLOOR - FF
BOTTOM OF SLOPE - BOS

LEGAL DESCRIPTION

LOT "A" MELLOY BROTHERS
CITY OF ALBUQUERQUE, BERNALILLO COUNTY
NEW MEXICO

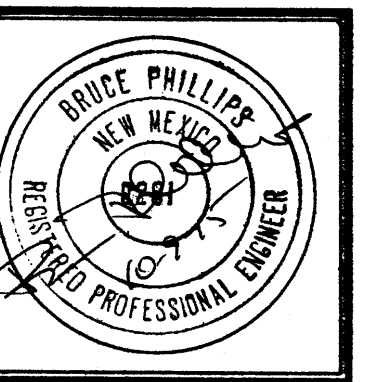
GRADING & DRAINAGE PLAN

BENCHMARK

C.O.A. BENCHMARK 1-K19
LOCATED WEST OF CHARLESTON AND SOUTH OF LOMAS
ELEVATION: 5320.233

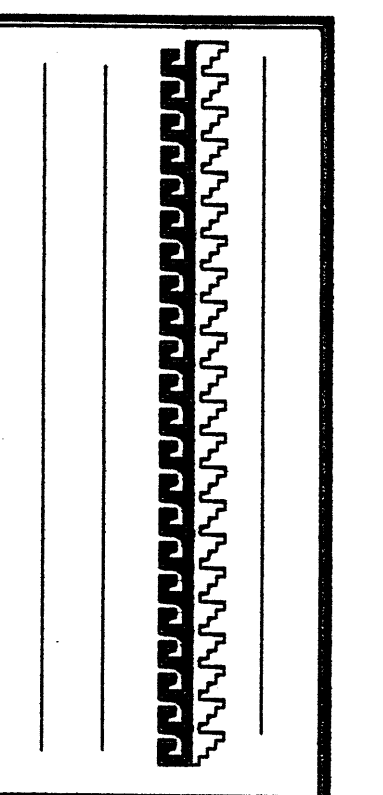
NOTE

MATCH EXISTING FINISH FLOOR ELEVATION
USE APPROVED SITE PLAN FOR LAYOUT



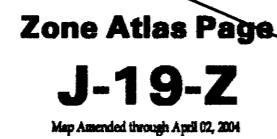
JOB NO.	XXXXXXX
DATE	SEPTEMBER 2015
REVISIONS	

Sheet Title	GRADING & DRAINAGE PLAN
Drawn By	B.M.
Checked By	B.M.

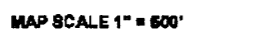


Project Name	MELLOY NISSAN BUILDING ADDITION
	7701 LOMAS BLVD. N.E.
	ALBUQUERQUE, NEW MEXICO

SHEET NO.	GD
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SITE LOCATION



GRADING/ DRAINAGE PLAN

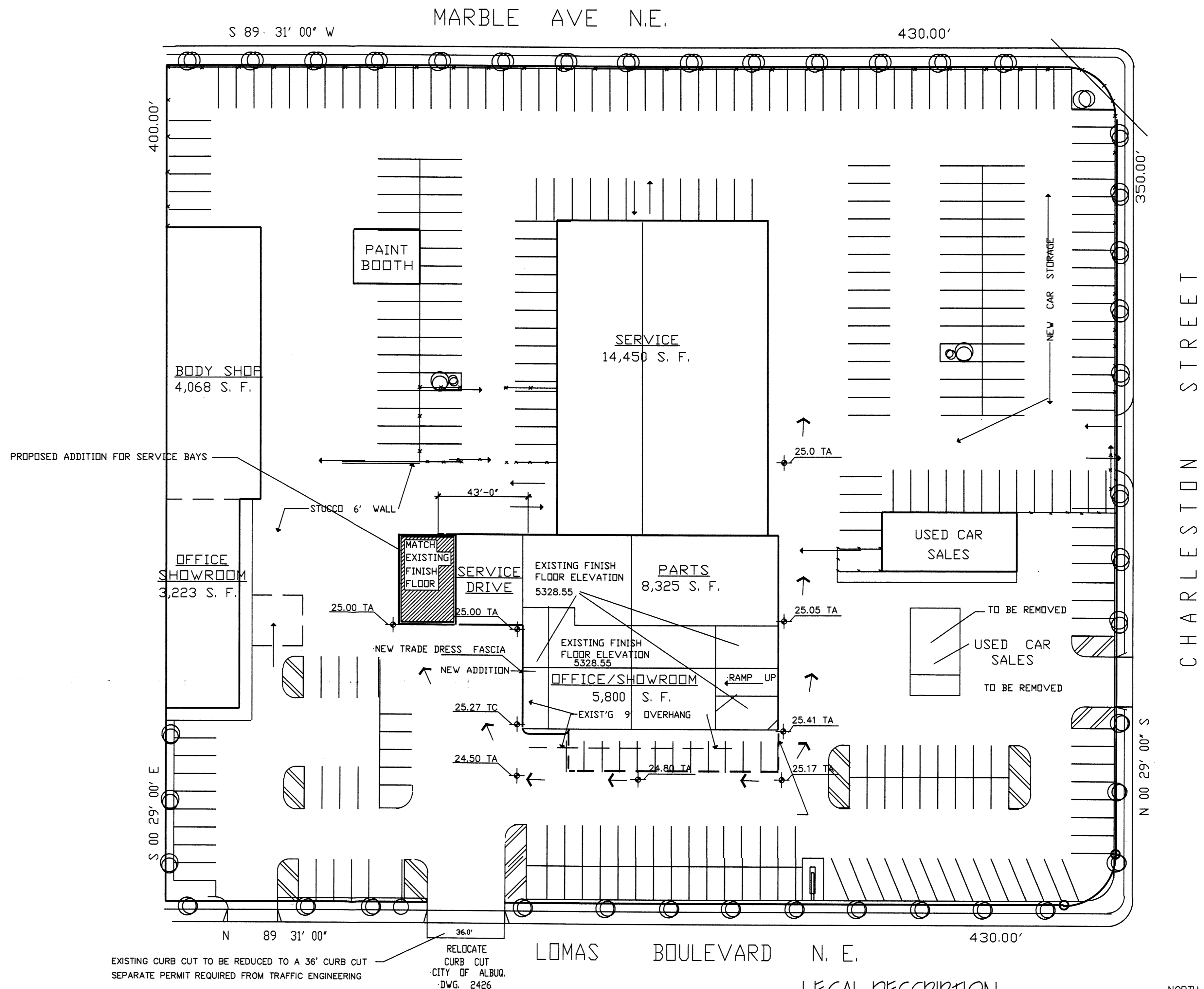
THE FOLLOWING ITEMS CONCERNING TRACT "A" MELLOY BROTHERS (7701 LOMAS BOULEVARD N.E.) ARE CONTAINED HEREON:

EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 3.95 PLUS OR MINUS ACRES, AND IS LOCATED AT THE NORTHWEST QUADRANT OF THE INTERSECTION OF LOMAS BLVD. N.E. AND CHARLESTON STREET N.E. THE SITE IS FULLY DEVELOPED AS A CAR DEALERSHIP. NO OFF-SITE FLOWS ENTER THE SITE FROM ANY DIRECTION.

PROPOSED CONDITIONS

AS SHOWN BY THE GRADING/ DRAINAGE PLAN, THE PROPOSED DEVELOPMENT WILL CONSIST OF A 1,120 SQ. FT. ADDITION TO THE SERVICE BAY AREA. THE ADDITION WILL BE BUILT OVER AN EXISTING ASPHALT AREA THUS NOT CREATING ANY ADDITIONAL RUN-OFF.



NOTE TO CONTRACTOR:

1. An excavation/contruction permit will be required before beginning any work within the City right-of-way. Approved copy of this plan must be submitted to the City Engineer's Office.
2. All work detailed in this plan to be performed, except as otherwise stated or provided herein, shall be constructed in accordance with the City Engineer's Office and the City of San Diego Public Works Construction.
3. Two weeks prior to any excavation, contractor must contact utilities (area location) (San Diego Public Works) for location of existing utilities (760-1900) for location for Public Works-surface location.
4. Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all potential constructions. Should a conflict exist, the contractor shall be responsible for determining if the conflict can be resolved with a minimum amount of delay to the project.
5. Backfill compaction shall be according to commercial use or soils report(s) recommendations.
6. Work on this project shall be performed in accordance with applicable Federal, State and local laws, rules and regulations concerning construction safety and health.
7. Maintenance of this facilities shall be the responsibility of the owner.

EROSION CONTROL MEASURES

1. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION, HE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE:
 - a. ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMS, DICES, SWALES, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.
 - b. ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.
2. THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY OR ALL SEDIMENT WITHIN THE PUBLIC STREETS THAT HAVE BEEN ERODED FROM THE SITE AND DEPOSITED THERE.

SYMBOL LEGEND

EXISTING CONTOUR

EXISTING SPOT ELEVATION

DESIGN CONTOUR

EXISTING SPOT ELEVATION

PROPERTY LINE

EASEMENT LINE

FLOW DIRECTION

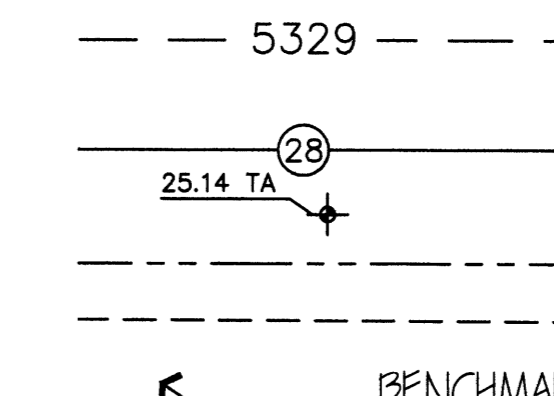
DOWN SPOUT

ABBREVIATION LEGEND

TOP OF CONC APRON	-	TCA
TOP OF CURB	-	TC
TOP OF ASPHALT	-	TA
TOP OF BERM	-	TB
BOTTOM OF POND	-	BP
FINISHED FLOOR	-	FF

LEGAL DESCRIPTION

LOT "A" MELLOY BROTHERS
CITY OF ALBUQUERQUE, BERNALILLO COUNTY
NEW MEXICO



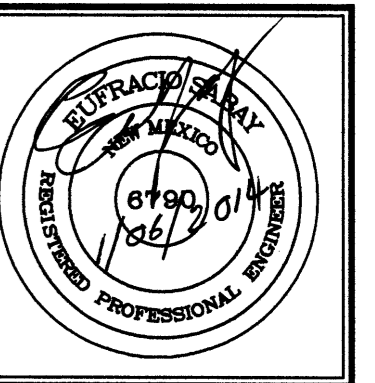
GRADING & DRAINAGE PLAN

BENCHMARK

C.O.A. BENCHMARK 1-K19
LOCATED WEST OF CHARLESTON AND SOUTH OF LOMAS
ELEVATION: 5320.233

NOTE

MATCH EXISTING FINISH FLOOR ELEVATION
USE APPROVED SITE PLAN FOR LAYOUT
EXISTING CURB CUT TO BE REDUCED TO A 36' CURB CUT



JOB NO: XXXXXXXX

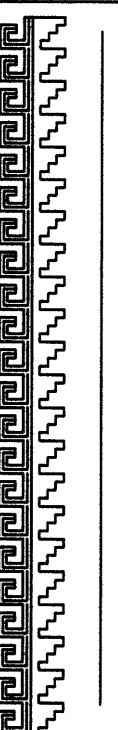
DATE: JANUARY 2014

REVISIONS

Title GRADING & DRAINAGE PLAN

Checked By: BJM

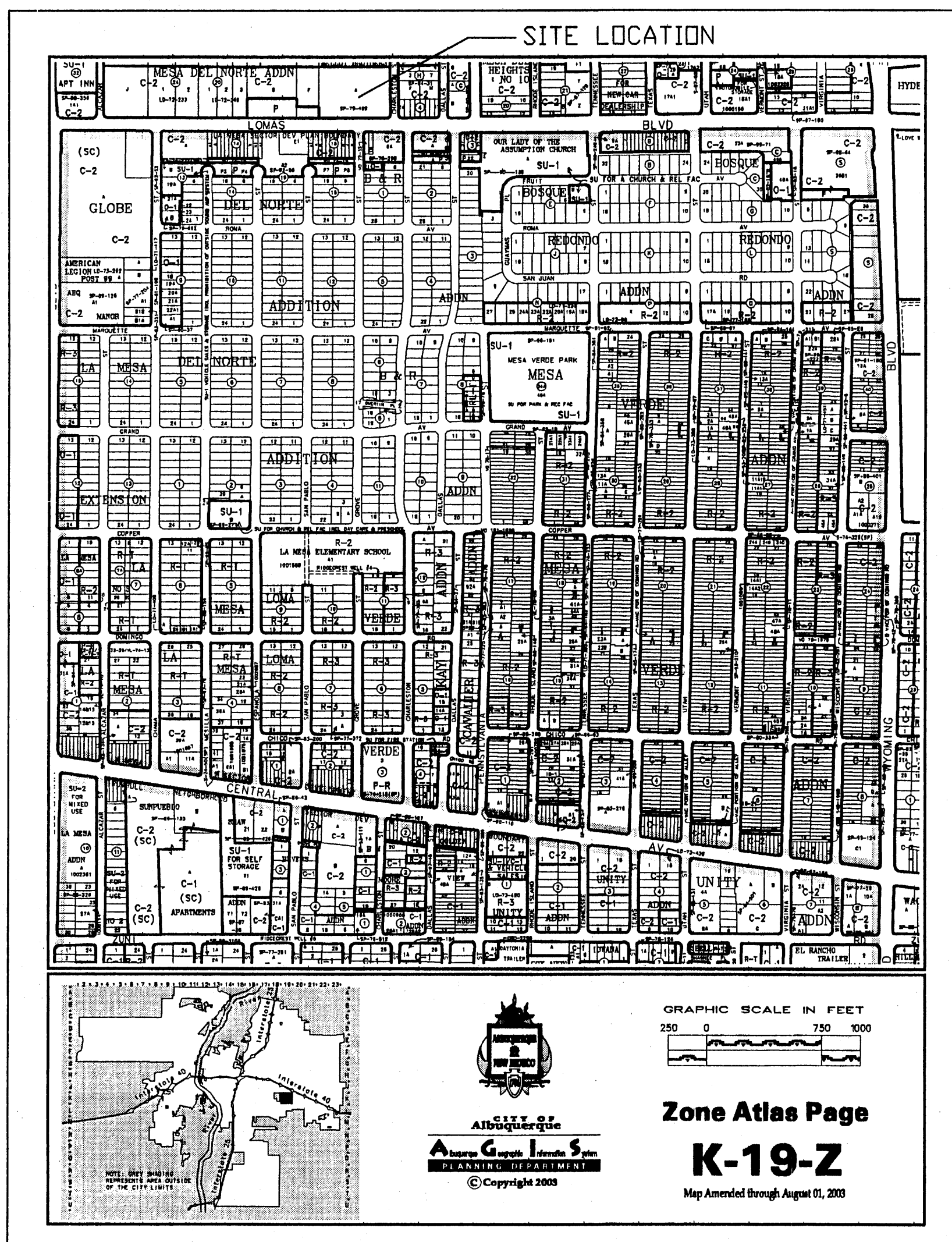
Drawn By: BJM



Project Name
MELLOY NISSAN BUILDING ADDITION
7701 LOMAS BLVD. N.E.
ALBUQUERQUE, NEW MEXICO

SHEET NO.





VICINITY MAP K-19

FEMA PANEL 0358F

GRADING/ DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING LOT "A" MELLOY BROTHERS (7701 LOMAS BOULEVARD N.E.) ARE CONTAINED HEREON:

EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 3.95 PLUS OR MINUS ACRES, AND IS LOCATED AT THE NORTHWEST QUADRANT OF THE INTERSECTION OF LOMAS BLVD. N.E. AND CHARLESTON STREET N.E. THE SITE IS FULLY DEVELOPED AS A CAR DEALERSHIP. NO OFF-SITE ENTER THE SITE FROM ANY DIRECTION.

PROPOSED CONDITIONS

AS SHOWN BY THE GRADING/ DRAINAGE PLAN, THE PROPOSED DEVELOPMENT WILL CONSIST OF THREE SEPARATE ADDITIONS TOTALING 1800 SQ. FT. THE ADDITIONS WILL BE BUILT OVER AN EXISTING ASPHALT AREA THUS NOT CREATING ANY ADDITIONAL RUN-OFF.

ENGINEER CERTIFICATION

I, EUPRACIO SABAY, NMPE #6790, OF THE FIRM BMJ CONSULTING, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED AUGUST 12, 2004. THE RECORD INFORMATION EDITED INTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY BERNIEJ MONTOYA CE OF THE FIRM BMJ CONSULTANT. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 7701 LOMAS BLVD. N.E. AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY

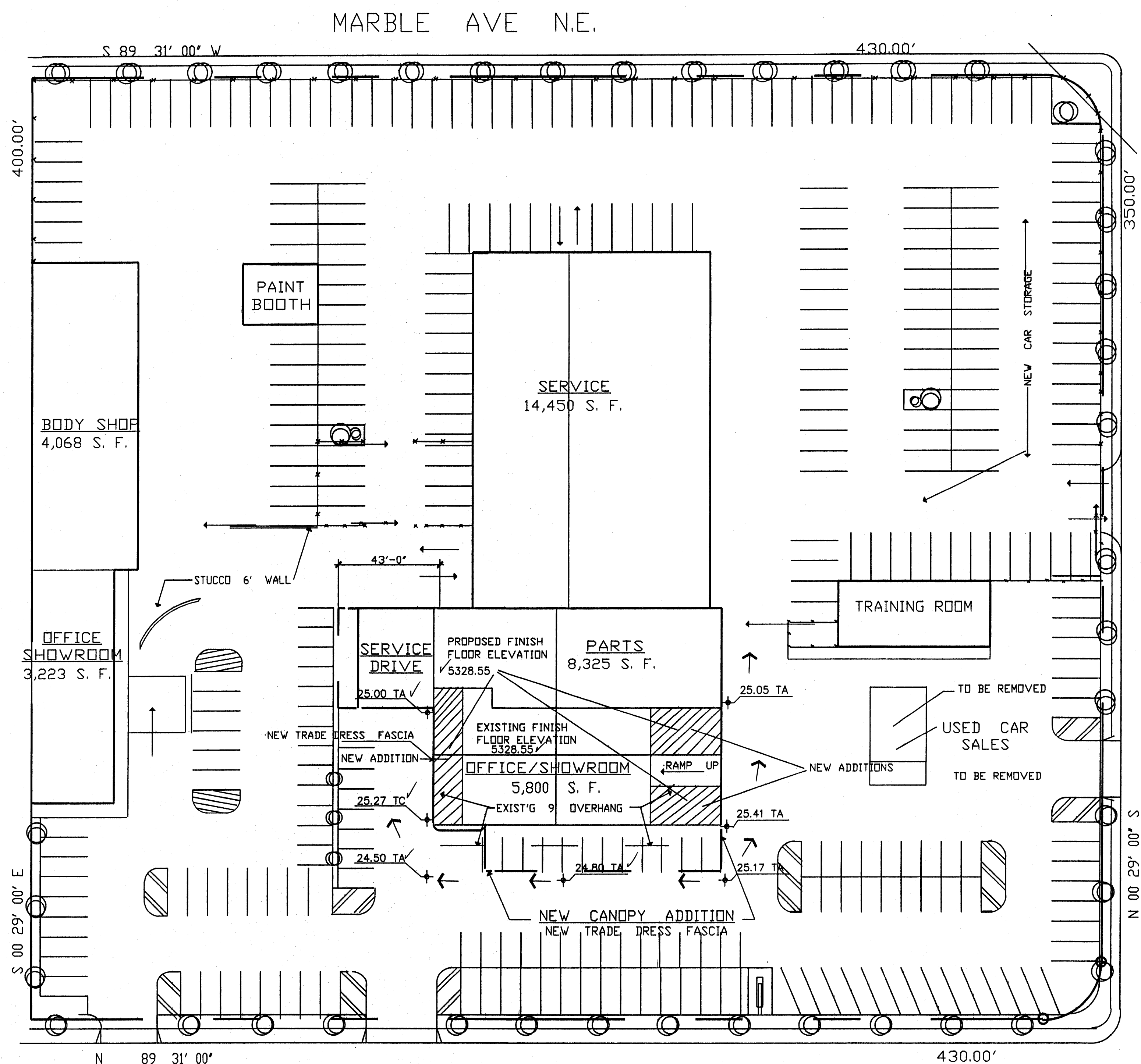


LEGAL DESCRIPTION

LOT "A" MELLOY BROTHERS
CITY OF ALBUQUERQUE, BERNALILLO COUNTY
NEW MEXICO

BENCHMARK

C.O.A. BENCHMARK 1-K19
LOCATED WEST OF CHARLESTON AND SOUTH OF LOMAS
ELEVATION: 5320.233



LOMAS BLVD N. E.

GRADING & DRAINAGE PLAN

SYMBOL LEGEND

EXISTING CONTOUR	5229
EXISTING SPOT ELEVATION	25.14 TA
DESIGN CONTOUR	25.14 TA
EXISTING SPOT ELEVATION	25.14 TA
PROPERTY LINE	
EASEMENT LINE	
FLOW DIRECTION	

DOWN SPOUT

ABBREVIATION LEGEND

TOP OF CONC APRON	- TCA
TOP OF CURB	- TC
TOP OF ASPHALT	- TA
TOP OF BERM	- TB
BOTTOM OF POND	- BP
FINISHED FLOOR	- FF

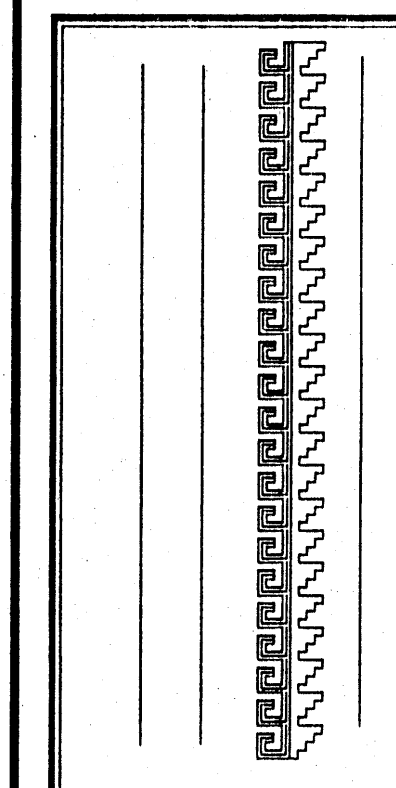
NOTE

MATCH EXISTING FINISH FLOOR ELEVATION



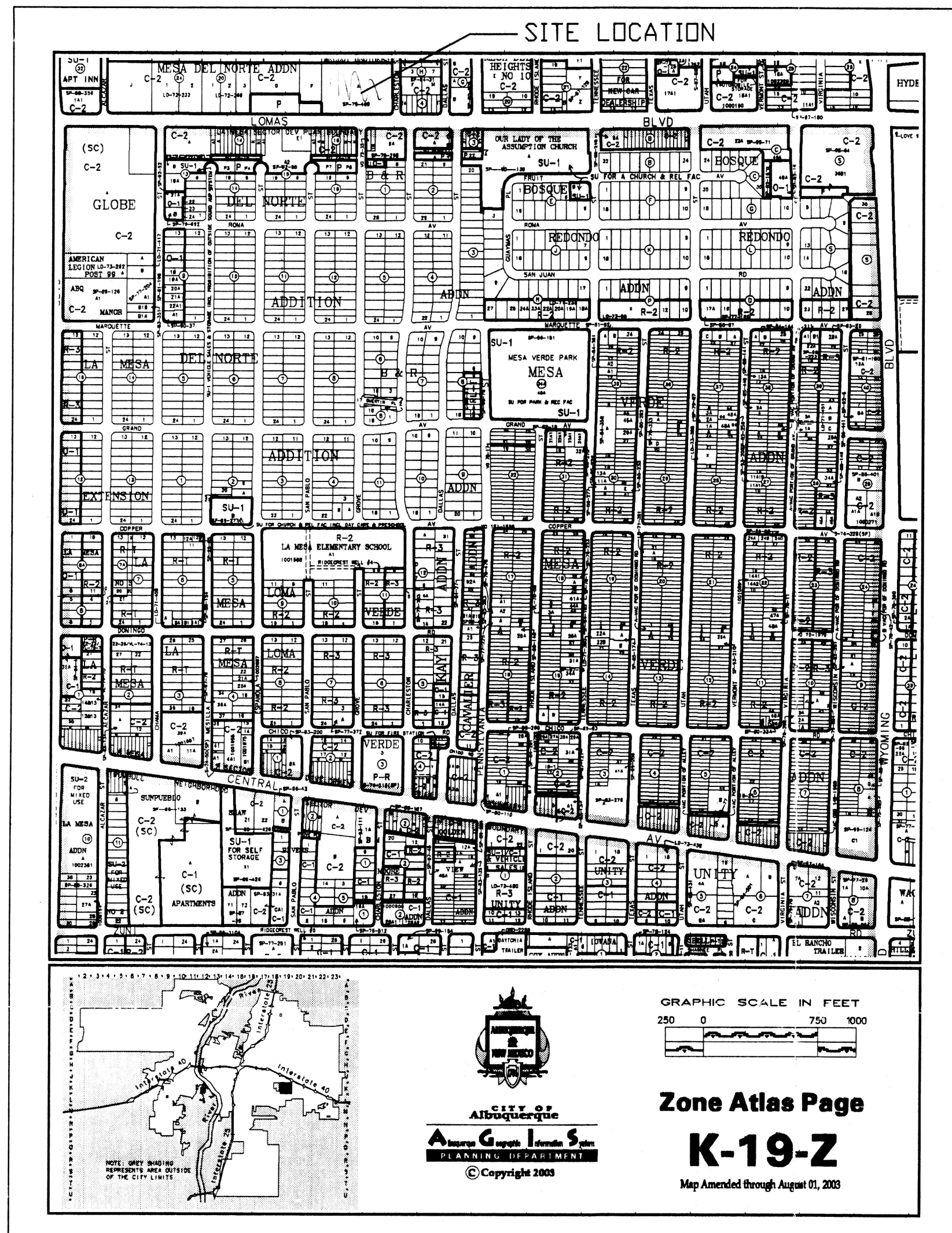
JOB NO:	XXXXXXX
DATE:	AUGUST 2004
REVISIONS	

Sheet Title	GRADING & DRAINAGE PLAN
Drawn By:	BJM
Checked By:	BJM



Project Name	MELLOY NISSAN BUILDING ADDITION
	7701 LOMAS BLVD. N.E.
	ALBUQUERQUE, NEW MEXICO

SHEET NO.	GD
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VICINITY MAP K-19

FEMA PANEL 0358F

GRADING/ DRAINAGE PLAN

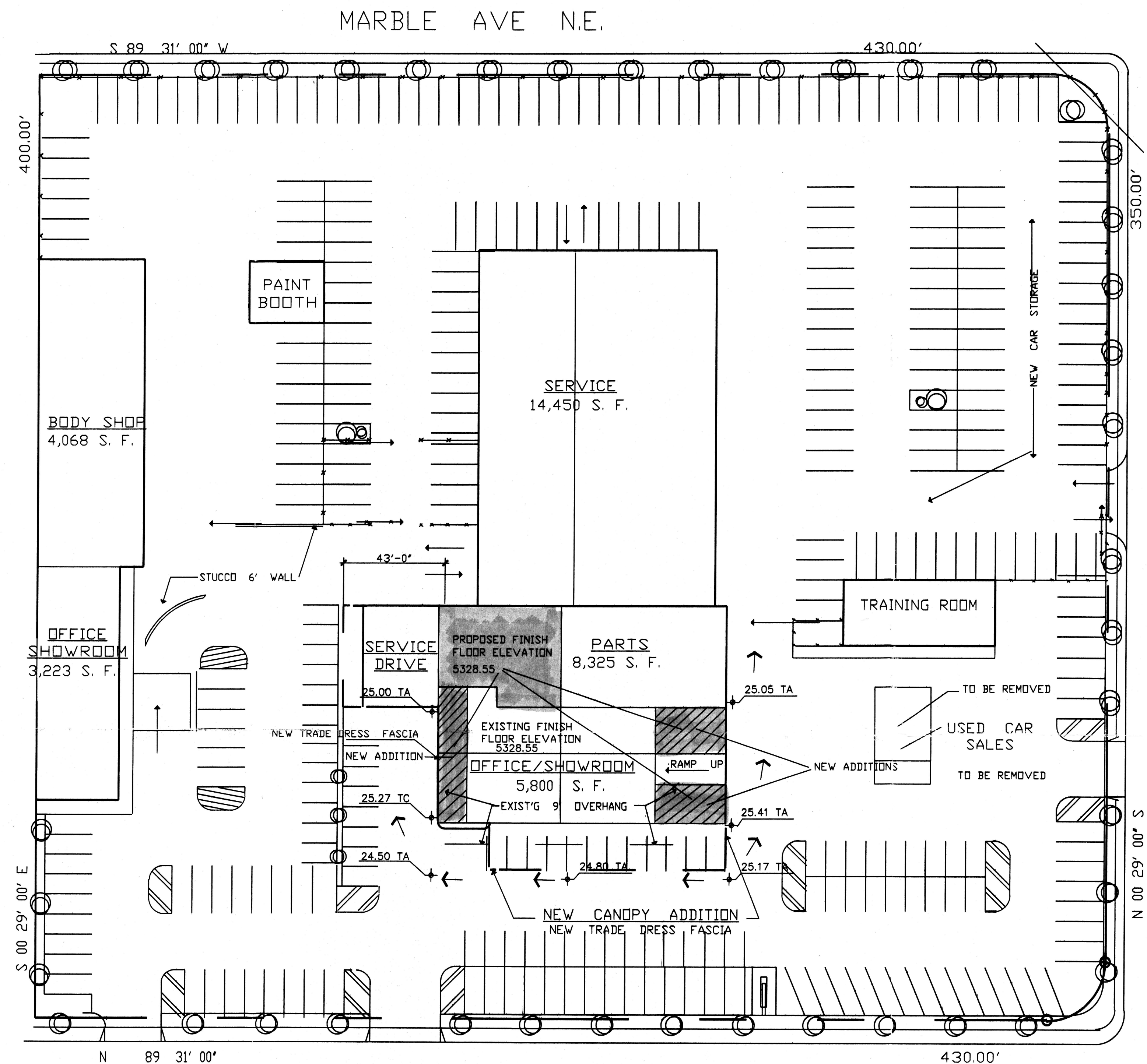
THE FOLLOWING ITEMS CONCERNING LOT "A" MELLO BROTHERS (7701 LOMAS BOULEVARD N.E.) ARE CONTAINED HEREON:

EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 3.95 PLUS OR MINUS ACRES, AND IS LOCATED AT THE NORTHWEST QUADRANT OF THE INTERSECTION OF LOMAS BLVD. N.E. AND CHARLESTON STREET N.E. THE SITE IS FULLY DEVELOPED AS A CAR DEALERSHIP. NO OFF-SITE ENTER THE SITE FROM ANY DIRECTION.

PROPOSED CONDITIONS

AS SHOWN BY THE GRADING/ DRAINAGE PLAN, THE PROPOSED DEVELOPMENT WILL CONSIST OF THREE SEPARATE ADDITIONS TOTALING 1800 SQ. FT. THE ADDITIONS WILL BE BUILT OVER AN EXISTING ASPHALT AREA THUS NOT CREATING ANY ADDITIONAL RUN-OFF.



LOMAS BLVD N. E.

GRADING & DRAINAGE PLAN

LEGAL DESCRIPTION

LOT "A" MELLO BROTHERS
CITY OF ALBUQUERQUE, BERNALILLO COUNTY
NEW MEXICO

BENCHMARK

C.O.A. BENCHMARK 1-K19
LOCATED WEST OF CHARLESTON AND SOUTH OF LOMAS
ELEVATION: 5320.233

SYMBOL LEGEND

EXISTING CONTOUR	5229
EXISTING SPOT ELEVATION	25.14 TA
DESIGN CONTOUR	25.14 TA
EXISTING SPOT ELEVATION	25.14 TA
PROPERTY LINE	
EASEMENT LINE	
FLOW DIRECTION	

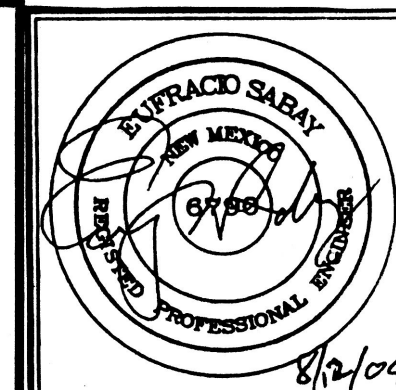
DOWN SPOUT

ABBREVIATION LEGEND

TOP OF CONC APRON	- TCA
TOP OF CURB	- TC
TOP OF ASPHALT	- TA
TOP OF BERM	- TB
BOTTOM OF POND	- BP
FINISHED FLOOR	- FF

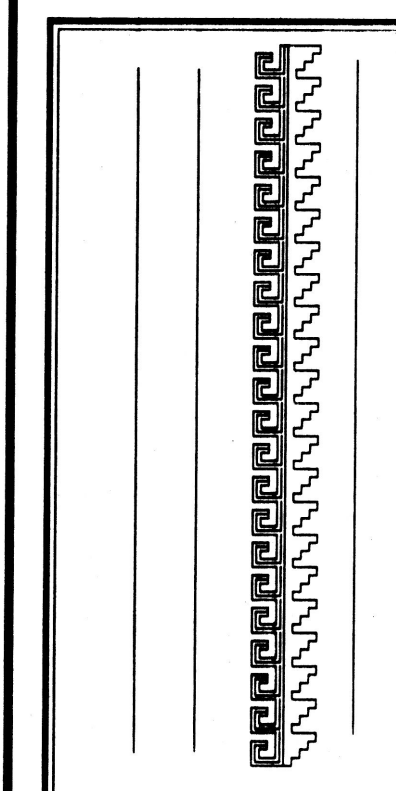
NOTE

MATCH EXISTING FINISH FLOOR ELEVATION



JOB NO.	XXXXXX
DATE	AUGUST 2004
REVISIONS	

Sheet Title	GRADING & DRAINAGE PLAN
Drawn By	B.M.
Checked By	B.M.



Project Name	MELLO NISSAN BUILDING ADDITION
	7701 LOMAS BLVD. N. E.
	ALBUQUERQUE, NEW MEXICO

SHEET NO.	GD
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