

# CITY OF ALBUQUERQUE

*Planning Department*  
David Campbell, Director



*Mayor Timothy M. Keller*

January 23, 2019

Dennis Lorenz, P.E.  
Lorenz Design & Consulting  
2501 Rio Grande NW, Suite A  
Albuquerque, NM 87104

**RE:   Holiday Bowl  
      7515 Lomas NE  
      Request for Certificate of Occupancy – Permanent  
      Hydrology Inspection - Approved  
      Revised Grading Plan Stamp Date 4/16/18 (File: J19D082A)  
      Certification Dated: 1/18/19**

Dear Mr. Lorenz:

PO Box 1293

Based on the submittal received on 1/18/19, this certification is approved in support of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, please contact me at 924-3695 or [dpeterson@cabq.gov](mailto:dpeterson@cabq.gov).

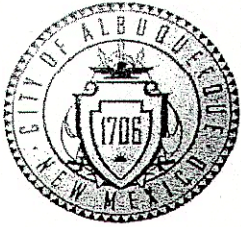
NM 87103

Sincerely,

[www.cabq.gov](http://www.cabq.gov)

Dana Peterson, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

C: Email      Fox, Debi; Tena, Victoria; Sandoval, Darlene; Costilla, Michelle



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: HOLIDAY MOWL Building Permit #: 2018-10873 Hydrology File #: J19-1082A  
DRB#: — EPC#: — Work Order#: —  
Legal Description: TRACT G LA MESA DEL NORTE ADDN  
City Address: 7515 LOMAS NE

Applicant: GARY SKIDMORE Contact: G. SKIDMORE  
Address: 7515 LOMAS NE ABQ NM 87110  
Phone#: 268-3308 Fax#: — E-mail: —

Other Contact: DENNIS LORENZ Contact: D. LORENZ  
Address: 2501 RIO GRANDE NW STE A, ABQ NM 87104  
Phone#: 220-0869 Fax#: — E-mail: DENNISL@LORENZNM.COM

TYPE OF DEVELOPMENT: — PLAT (# of lots) — RESIDENCE — DRB SITE X ADMIN SITE

IS THIS A RESUBMITTAL? X Yes — No

DEPARTMENT — TRANSPORTATION X HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION  
☐ PAD CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE REPORT  
☐ DRAINAGE MASTER PLAN  
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
☐ ELEVATION CERTIFICATE  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ STREET LIGHT LAYOUT  
☐ OTHER (SPECIFY) —  
☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ FLOODPLAIN DEVELOPMENT PERMIT  
☐ OTHER (SPECIFY) —

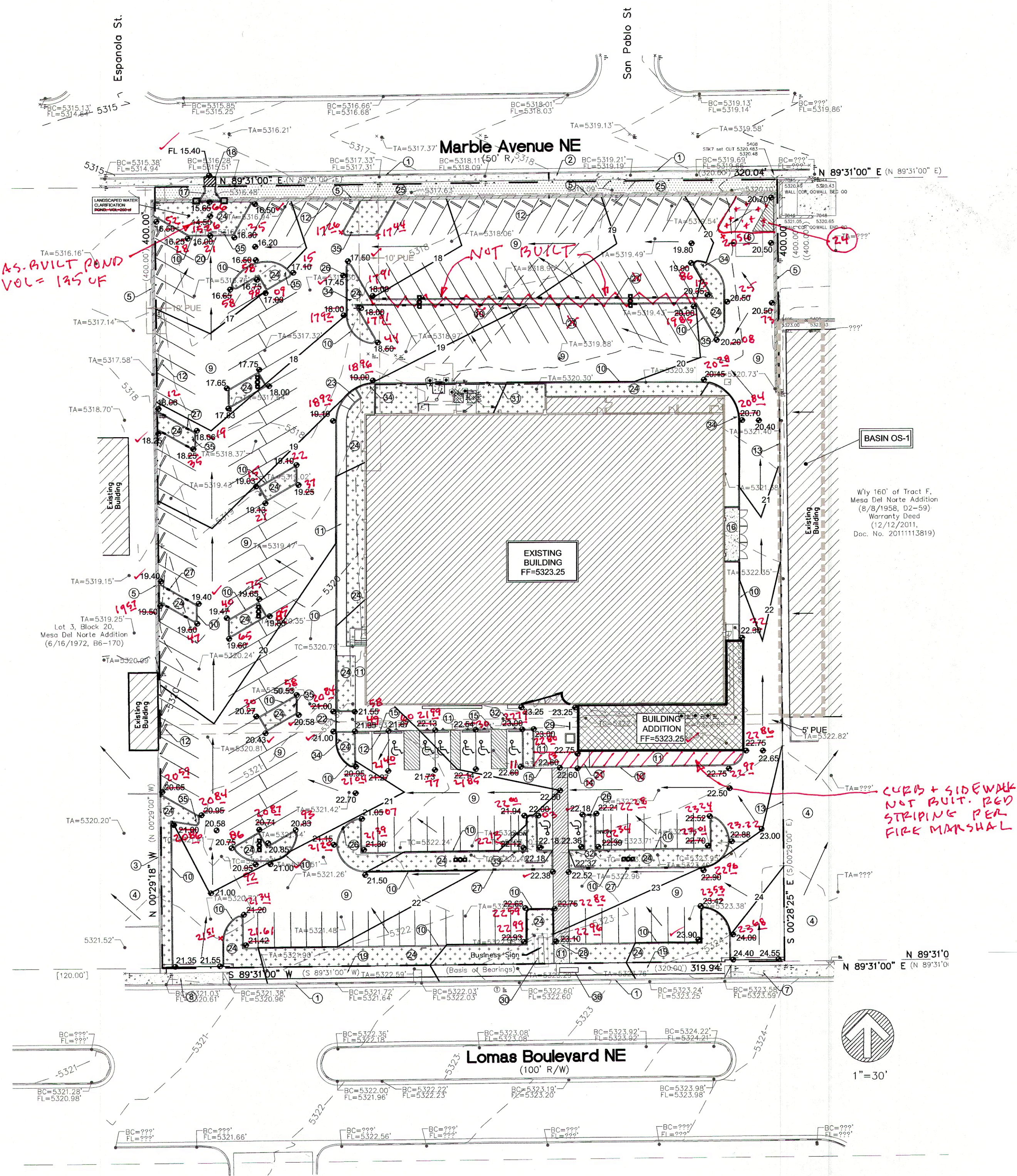
DATE SUBMITTED: 1.18.19 By: DENNIS LORENZ

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: —

FEE PAID: —





**Private Drainage Facilities within City Right-of-Way**  
**Notice to Contractor**  
(Special Order 19 ("SO-19"))

1. An excavation permit will be required before beginning any work within City Right-Of-Way.
2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact New Mexico One Call, dial "811" (or (505) 260-1990) for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
7. Work on arterial streets shall be performed on a 24-hour basis.
8. Contractor must contact Jason Rodriguez at 235-8016 and Construction Coordination at 924-3416 to schedule an inspection.

SHEET MAINTENANCE INSPECTOR

APPROVAL

IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DRAINAGE ORDINANCE, EFFECTIVE MAY 12, 2014, ALL NEW DEVELOPMENT PROJECTS ARE REQUIRED TO MANAGE THE RUNOFF WHICH OCCURS DURING THE 90TH PERCENTILE STORM EVENT. IN ORDER TO COMPLY WITH THIS CRITERIA, WHERE PRACTICAL, ALL SURFACE DRAINAGE SHALL BE ROUTED THROUGH LANDSCAPED AREAS BEFORE RELEASE INTO DOWNSIDE DRAINAGE FACILITIES. THIS PLAN RECOMMENDS ALL LANDSCAPED AREAS BE DEPRESSED A MINIMUM OF 3-INCHES BELOW THE ADJACENT PAVED SURFACE TO RETAIN THE FIRST FLUSH RUNOFF.

CONTRACTOR SHALL PREVENT DIRT FROM GETTING INTO THE STREET. IF DIRT IS PRESENT IN THE STREET, THE DIRT IS TO BE REMOVED AT THE END OF EACH DAY OR DURING THE DAY IF RAIN IS IMMINENT OR IF THE CONTRACTOR INTRODUCES WATER INTO THE STREET.

**GRADING AND DRAINAGE PLAN**

**PURPOSE AND SCOPE**

Pursuant to the Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Grading and Drainage Plan outlines the drainage management criteria for controlling developed runoff from the project site. The project consists of the renovation of the Holiday Bowling Center, located at 7515 Lomas Blvd NE. The renovation includes a 2,115 square foot building addition with paving, landscaping, utility, grading, and drainage improvements to support the project. The purpose of this Plan is to support building permit approval. The scope of this plan is to present grading and drainage criteria for the safe management of excess runoff impacting the site from upstream drainage basins, and controlling excess runoff from the project site in a well-managed, non-erosive manner.

**EXISTING CONDITIONS**

The property is located at 7515 Lomas Blvd NE, between Pennsylvania Street and Wyoming Blvd NE. The site is presently fully developed. The Holiday Bowling Center was developed in the 1950's. The existing 28,129 square foot building was developed in accordance with the criteria in force at the time. The site is fully surfaced with asphalt pavement. No Landscaping improvements are present.

Site topography slopes to the northwest. All excess runoff flows north by paved swales within the parking lot to the northwest corner of the site, where flows drain through an existing block wall to Marble Avenue NE. The existing drainage outlet has become clogged. There is no evidence that the site drains freely to Marble Avenue. It appears that excess runoff ponds at the northwest corner of the site. The east and west property boundaries are sealed by solid perimeter walls. A portion of the building located to the east drains into the side yard of the site (Basin OS-1). The remainder of the property to the east drains away from the site. No other off-site flows impact the site.

As shown by the FIRM Panel (Sheet C-3), the site does not lie within a mapped 100 year Flood Zone.

**PROPOSED IMPROVEMENTS**

As stated above, the project consists of the construction of a 2,115 square foot building addition with paving, landscaping, utility, grading, and drainage improvements. Where practical all developed runoff will be routed through landscaping to capture the first flush before release into the perimeter streets. All excess runoff will be managed by respecting historical drainage conditions. All excess runoff will drain the northwest corner of the site. A new drainage structure will be provided to safely drain developed flows through a sidewalk culvert to Marble Avenue. SO-19 permitting will apply. First Flush volume is provided as required by Ordinance.

Construction will disturb an area of more than 1.0 acres; therefore a Storm Water Pollution Prevention Plan will be required.

**CALCULATIONS**

The calculations shown herein define the 100-year/6 hour design storm falling within the project area under existing and proposed conditions. The hydrology is per "Section 22.2, Part A, Development Process Manual, Vol 2", dated June 1997.

ZONE:		PROJECT HYDROLOGY						
		HOLIDAY BOWL						
		AHYMO						
		EXISTING CONDITIONS						
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)
SITE	2.94	0.00	0.04	0.00	2.90	2.34	14.66	0.573
OS-1	0.10	0.00	0.00	0.00	0.10	2.36	0.50	0.020
		PROPOSED CONDITIONS						
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)
SITE	2.94	0.00	0.13	0.20	2.61	2.22	14.13	0.545
OS-1	0.10	0.00	0.00	0.00	0.10	2.36	0.50	0.020

**FIRST FLUSH CALCULATION**

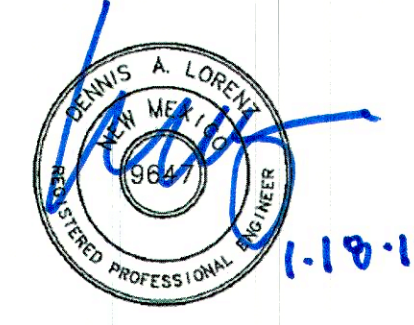
90TH PERCENTILE DEPTH = 0.44"  
LESS INITIAL ABSTRACTIONS = -0.10"  
REQUIRED RETAINED DEPTH = 0.34"

POND REQUIREMENT =  $Ad(0.34) = 2.61 \text{ AC}(43.560 \text{ sf/ac}/12)(0.34) = 3.221 \text{ CF}$   
VOLUME PROVIDED = LANDSCAPED AREA  $X 0.25' = 14.893 \text{ sf } X 0.25' = 3.723 \text{ cf}$   
PLUS ADDITIONAL VOLUME AT WATER CLARIFICATION POND = 250 cf  
TOTAL FIRST FLUSH VOLUME PROVIDED = 3.973 cf

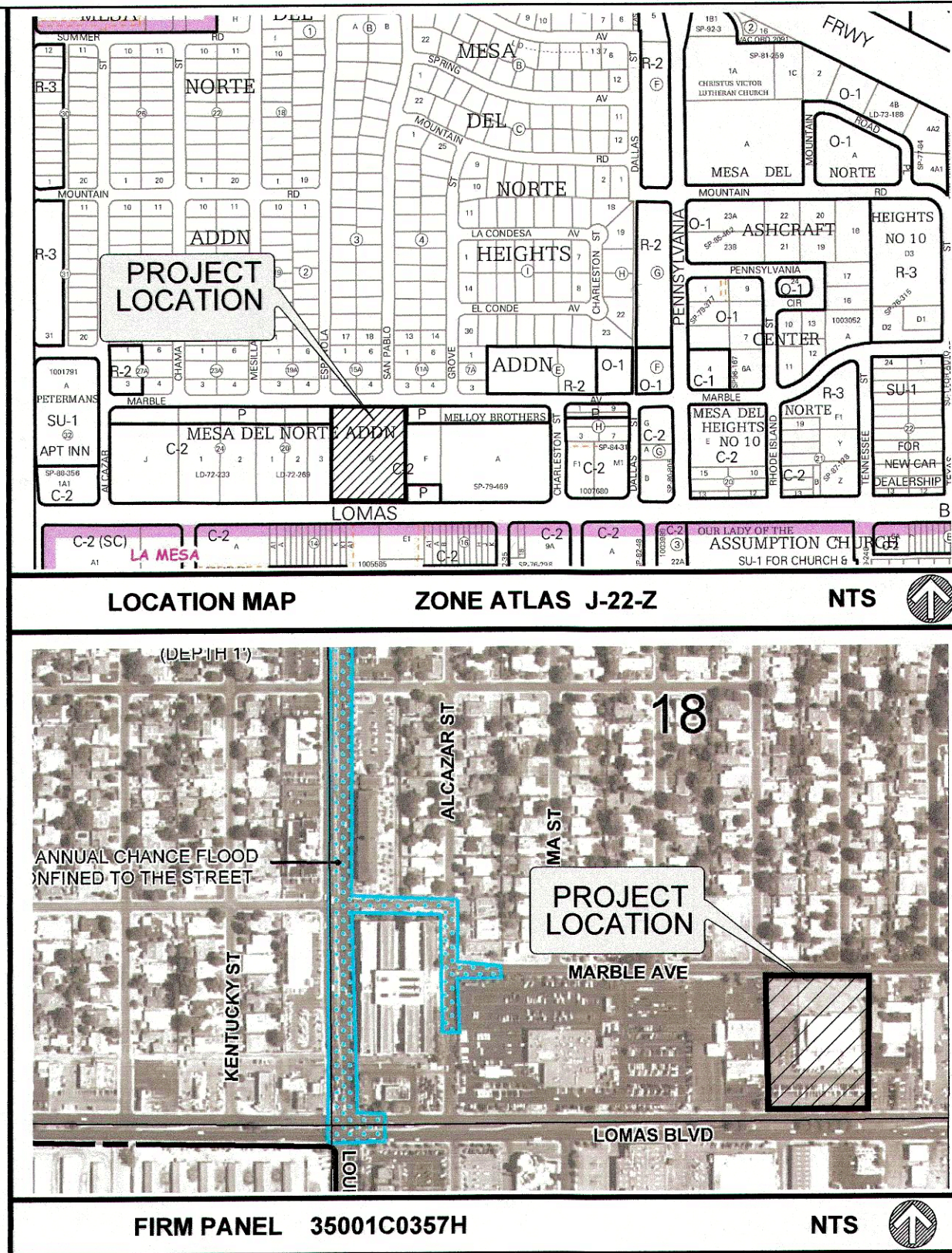
**DRAINAGE CERTIFICATION WITH SURVEY WORK BY**  
**PROFESSIONAL SURVEYOR**  
**PERMANENT CERTIFICATE OF OCCUPANCY**

I, DENNIS A. LORENZ, NMPE9647, OF THE FIRM LORENZ DESIGN & CONSULTING, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 04-16-2018. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY BRIAN MARTINEZ, NMPS 18374 OF THE FIRM CARTESIAN SURVEYS, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 1-11-2019 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



DENNIS A. LORENZ, NMPE 9647



LEGEND		
ITEM	EXISTING	PROPOSED
CURB AND GUTTER		
6" CONCRETE CURB		
CURB ELEVATIONS		
SPOT ELEV.		
RIGHT OF WAY		
EASEMENT		
CENTERLINE		
RETAINING WALL		
TOP OF ASPHALT ELEV.		
FLOWLINE ELEV.		
DRAINAGE SWALE		
STORM INLET		
STORM DRAIN PIPE		
DOWNSPOUT		
DRAINAGE BASIN DIVIDE		
DRAINAGE BASIN ID		
LIGHT POLE AND FIXTURE		

**KEYED NOTES**

1. EXISTING CONCRETE STANDARD CURB AND GUTTER.
2. EXISTING PUBLIC SIDEWALK TO REMAIN.
3. EXISTING CONCRETE CURB.
4. EXISTING ASPHALT PAVEMENT.
5. EXISTING BLOCK WALL TO REMAIN.
6. EXISTING SHED TO BE RELOCATED. COORDINATE WITH OWNER.
7. EXISTING DRIVEPAD TO REMAIN. CONSTRUCT ACCESSIBLE SIDEWALK. SEE SHEET DETAIL HIC.4.
8. EXISTING DRIVEPAD TO REMAIN. CONSTRUCT ACCESSIBLE SIDEWALK. SEE SHEET DETAIL JIC.4.
9. REMOVE AND DISPOSE EXISTING ASPHALT. REPLACE WITH ASPHALT PAVEMENT PER SECTION A/C.4.
10. CONSTRUCT 6-INCH CONCRETE CURB. SEE DETAIL C/C.4.
11. CONSTRUCT CONCRETE SIDEWALK.
12. INSTALL CONCRETE TIRE STOP - TYPICAL.
13. EDGE OF NEW PAVEMENT.
14. END CONCRETE CURB.
15. CONSTRUCT CONCRETE TURN DOWN SIDEWALK SEE DETAIL B/C.4. NO RAISED CURB AT THIS LOCATION.
16. CONSTRUCT NEW REFUSE ENCLOSURE. SEE DETAIL F/C.5.
17. CONSTRUCT 10" WIDE CONCRETE CHANNEL. SEE DETAIL C/C.5.
18. CONSTRUCT 2'-24" SIDEWALK CULVERTS PER CITY STANDARD DETAIL 2236.
19. CONSTRUCT 6" PUBLIC SIDEWALK PER CITY STANDARD DETAIL 2430.
20. PROVIDE 10' CURB BLOCKOUT FOR DRAINAGE.
21. CONSTRUCT ACCESSIBLE RAMP TYPE 'A'. SHEET DETAIL E/C.4.
22. CONSTRUCT ACCESSIBLE RAMP TYPE 'B'. SHEET DETAIL F/C.4.
23. CONSTRUCT ACCESSIBLE RAMP TYPE 'C'. SHEET DETAIL G/C.4.
24. NEW LANDSCAPING. SEE LANDSCAPE PLAN.
25. EXISTING LANDSCAPING TO REMAIN.
26. CONSTRUCT 12" CURB BLOCKOUT FOR DRAINAGE.
27. CONSTRUCT 6" CURB BLOCKOUT FOR DRAINAGE AT 20' ON CENTER ALONG MEDIAN LENGTH.
28. CONSTRUCT 8" CURB BLOCKOUT AT SIDEWALK.
29. BICYCLE RACK - 10 SPACES.
30. EXISTING SIGN TO REMAIN.
31. CONSTRUCT 8" HIGH CHAIN LINK FENCE AT UTILITY YARD WITH GATE PER PNM STANDARDS.
32. CONSTRUCT ADA ACCESSIBLE PARKING SIGN ASSEMBLY. SEE DETAIL K/C.4.
33. CONSTRUCT MOTORCYCLE PARKING SIGN. SEE DETAIL A/C.5.
34. CONSTRUCT "DO NOT ENTER" SIGN. SEE DETAIL B/C.5.
35. CONSTRUCT "ONE WAY" SIGN. SEE DETAIL B/C.5.
36. EXISTING BUS BENCH AND SIGN TO BE RELOCATED. COORDINATE WITH TRANSIT.

**PROJECT INFORMATION:**

PROPERTY ADDRESS:  
7515 LOMAS BLVD NE, ALBUQUERQUE, NEW MEXICO  
LEGAL DESCRIPTION:  
TRACT G, LA MESA DEL NORTE ADDITION  
PROJECT SURVEY  
BOUNDARY AND TOPOGRAPHIC SURVEY BY  
CARTESIAN SURVEYS, INC., MAY 1, 2015  
PROJECT BENCHMARK  
ACS MONUMENT "26-K19"  
ELEVATION = 5329.456 FEET MSLD (NAVD 1988)

**SMPC Architects**  
PRINCIPLES OF DESIGN.

219 CENTRAL AVE. NW  
SUITE 800  
ALBUQUERQUE, NEW MEXICO 87102  
733.258.8888  
905.88.8888  
www.smpcarchitects.com

**Design**  
DEVELOPMENT  
2805 JORDON DR. SUITE 102  
ALBUQUERQUE, NM 87110  
PHONE: 505.261.0050 FAX: 505.261.3213  
www.lorenzdesign.com



**LORENZ**  
DESIGN & CONSULTING, LLC  
Civil Engineering | Construction Management  
2501 Rio Grande Blvd. NW, Suite A  
Albuquerque, NM 87102  
Ph: 505-888-8888 Fax: 505-712-1655

**HOLIDAY BOWL**  
100% Permit Documents  
7515 Lomas Boulevard Northeast  
Albuquerque, New Mexico 87110

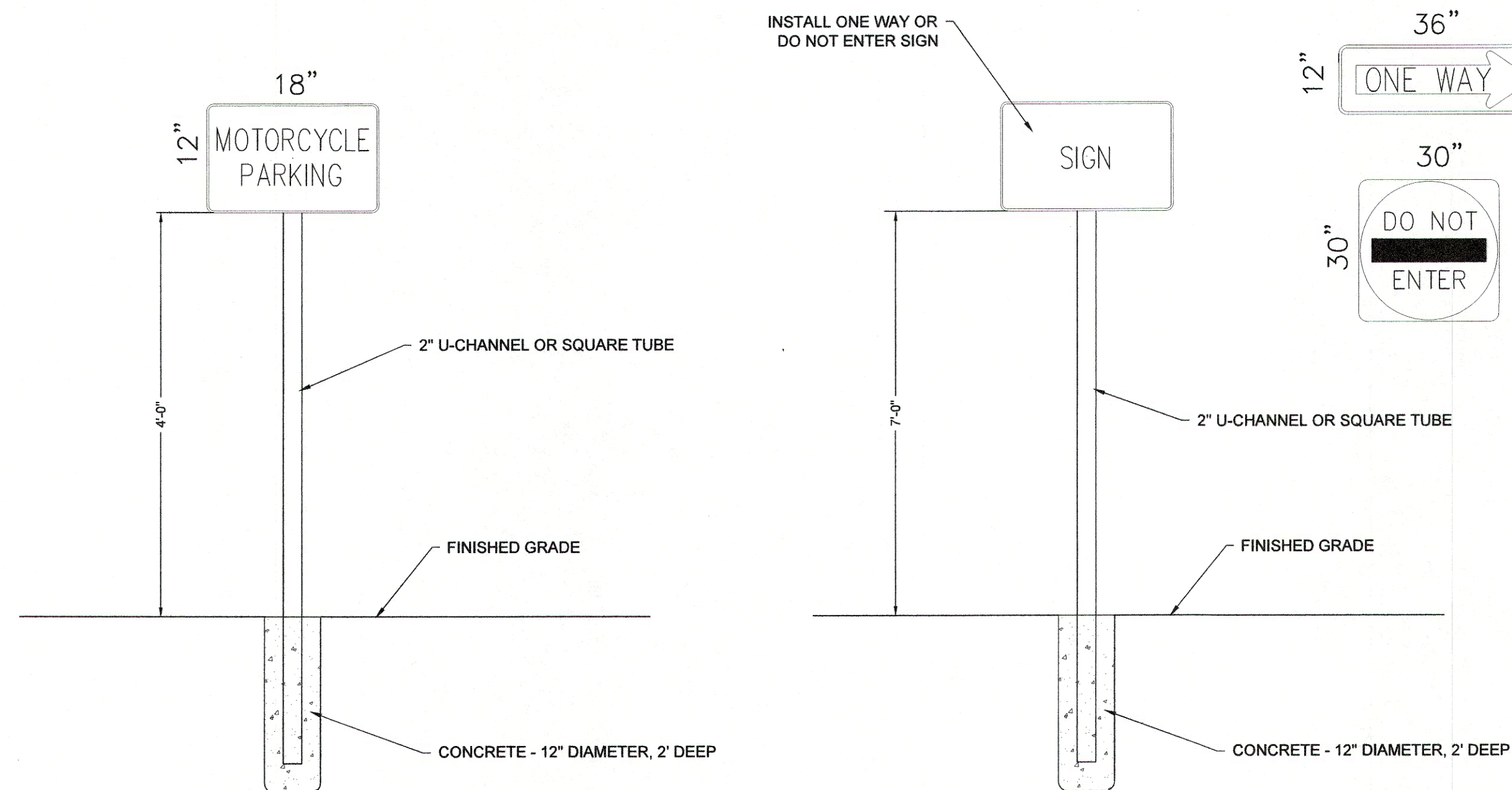
2-18-19 CO-CERT	
NO	DATE
1	04-16-2018
CODE COMMENTS	
DATE:	04-16-2018
PROJECT #:	LDC 15-011
DRAWN BY:	DAL
CHD BY:	DAL
Copyright:	

SHEET TITLE

**GRADING &  
DRAINAGE PLAN**

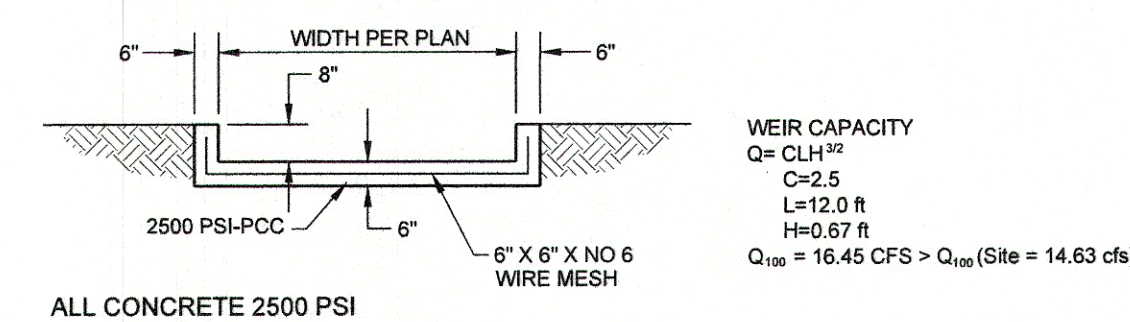
**C.02**  
SHEET OF



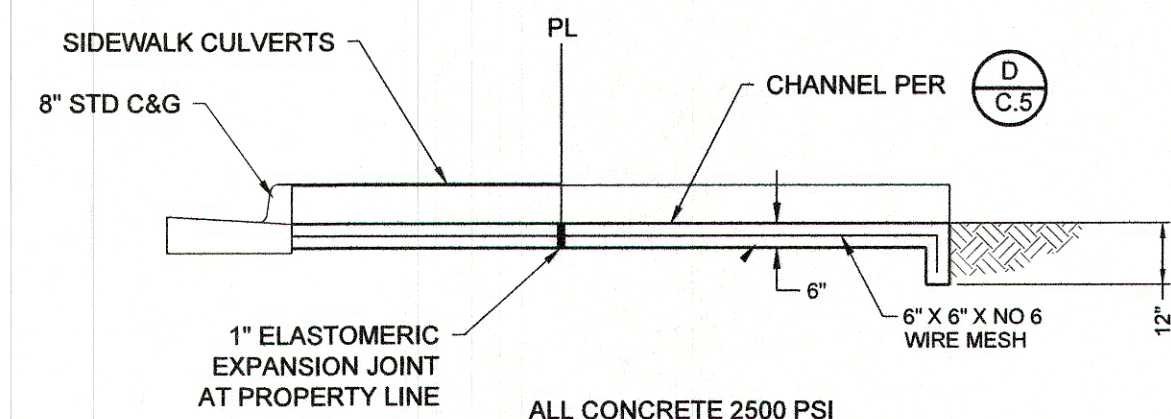


MOTORCYCLE SIGN DETAIL  
NTS  
A  
C.5

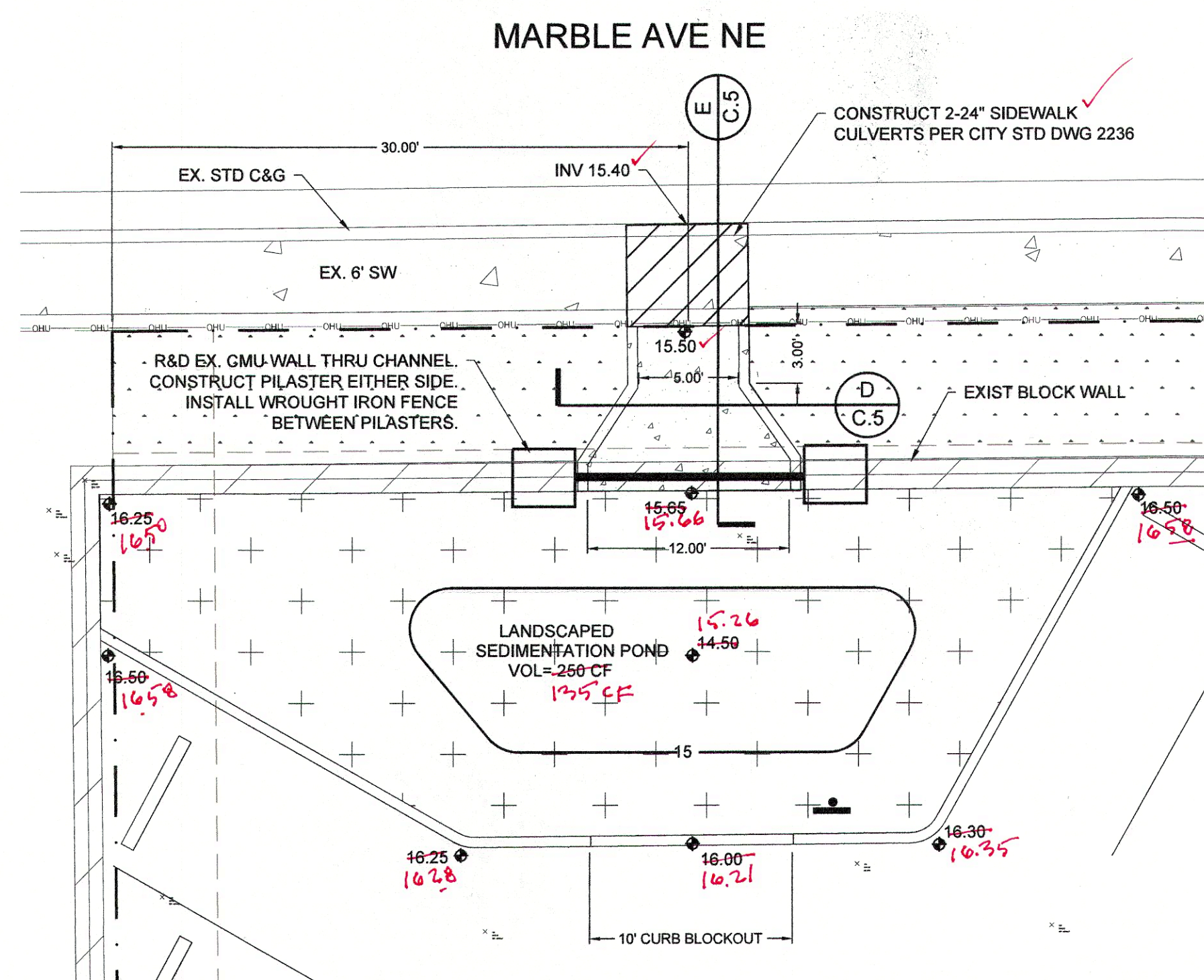
DO NOT ENTER - ONE WAY SIGN DETAIL  
NTS  
B  
C.5



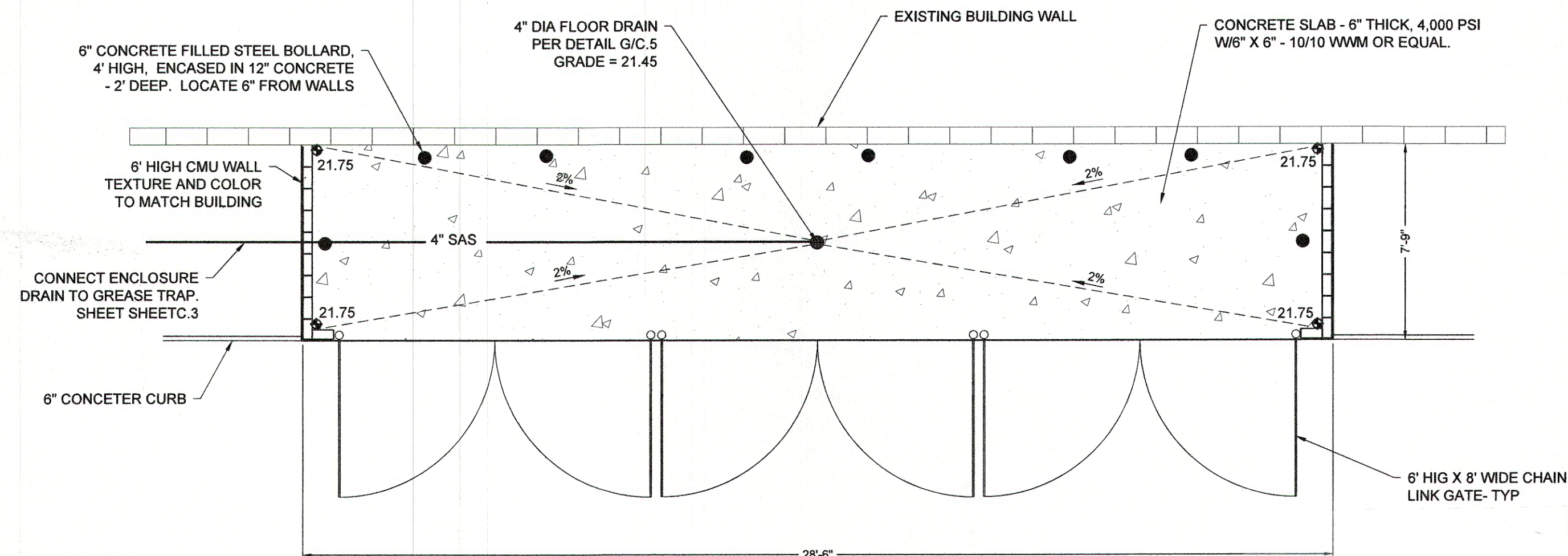
CONCRETE DRAINAGE CHANNEL DETAIL  
NTS  
D  
C.5



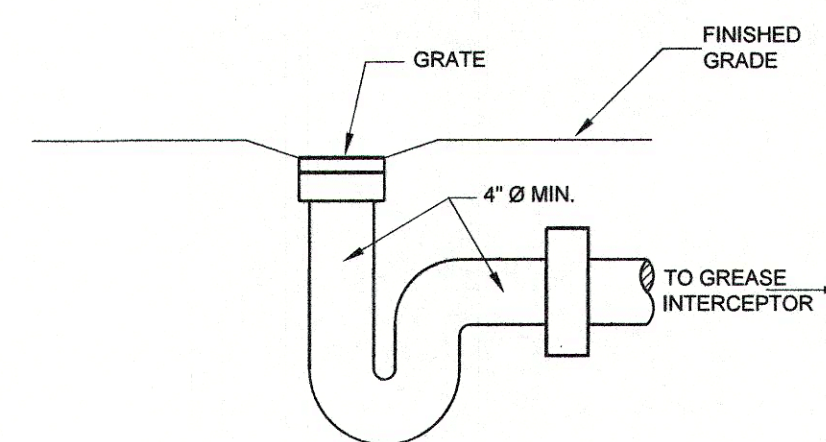
CONCRETE DRAINAGE CHANNEL SECTION  
NTS  
E  
C.5



DRAINAGE CHANNEL PLAN  
NTS  
C  
C.5



REFUSE ENCLOSURE SLAB PLAN  
NTS  
F  
C.5

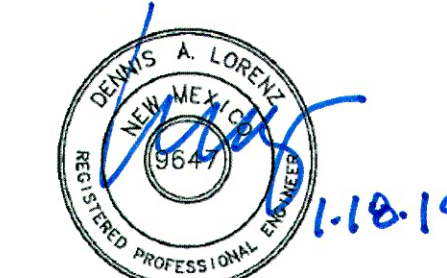


4" SANITARY SEWER DRAIN FOR REFUSE ENCLOSURE  
NTS  
G  
C.5

DRAINAGE CERTIFICATION WITH SURVEY WORK BY  
PROFESSIONAL SURVEYOR  
PERMANENT CERTIFICATE OF OCCUPANCY

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SMPC Architects  
PRINCIPLES OF DESIGN

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HOLIDAY BOWL  
100% Permit Documents  
7515 Lomas Boulevard Northeast  
Albuquerque, New Mexico 87110

NO.	DATE	DESCRIPTION
1	04-16-2018	CODE COMMENTS
2	1-18-19	CO CERT

DATE: 04-16-2018  
PROJECT #: LDC 15-011  
DRAWN BY: DAL  
CHD BY: DAL  
Copyright:

SHEET TITLE

SITE DETAILS

C.05  
SHEET OF