

CITY OF ALBUQUERQUE



January 28, 2019

Dennis Lorenz
Lorenz design & Consulting LLC
2501 Rio Grande Blvd NW
Albuquerque, NM

**Re: Holidar Bowl,
 7515 Lomas Blvd NE Albuquerque NM 87110
 Request for Certificate of Occupancy
 Transportation Development Final Inspection
 Engineer's/Architect's Stamp dated 04-16-2018 (J19D082A)
 Certification dated 01-08-2019**

Dear Mr. Lorenz,

Based upon the information provided in your submittal received 10-19-18, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3675.

Sincerely,

Mojgan Maadandar, E.I.
Associate Engineer, Planning Dept.
Development Review Services

\MM via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: HOLIDAY BOWL Building Permit #: 2018-10873 Hydrology File #: J19-1082A

DRB#: — EPC#: — Work Order#: —

Legal Description: TRACT G LA MESA DEL NORTE ADDN

City Address: 7515 LOMAS NE

Applicant: GARY SKIDMORE Contact: G. SKIDMORE

Address: 7515 LOMAS NE ABQ NM 87110

Phone#: 268-3308 Fax#: — E-mail: —

Other Contact: DENNIS LORENZ Contact: D. LORENZ

Address: 2501 RIO GRANDE NW STE A, ABQ NM 87104

Phone#: 220-0869 Fax#: — E-mail: DENNISL@LORENZDM.COM

TYPE OF DEVELOPMENT: — PLAT (# of lots) — RESIDENCE — DRB SITE X ADMIN SITE

IS THIS A RESUBMITTAL? X Yes — No

DEPARTMENT X TRANSPORTATION — HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

X ENGINEER/ARCHITECT CERTIFICATION

— PAD CERTIFICATION

— CONCEPTUAL G & D PLAN

— GRADING PLAN

— DRAINAGE REPORT

— DRAINAGE MASTER PLAN

— FLOODPLAIN DEVELOPMENT PERMIT APPLICATION

— ELEVATION CERTIFICATE

— CLOMR/LOMR

— TRAFFIC CIRCULATION LAYOUT (TCL)

— TRAFFIC IMPACT STUDY (TIS)

— STREET LIGHT LAYOUT

— OTHER (SPECIFY) —

— PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

— BUILDING PERMIT APPROVAL

X CERTIFICATE OF OCCUPANCY

— PRELIMINARY PLAT APPROVAL

— SITE PLAN FOR SUB'D APPROVAL

— SITE PLAN FOR BLDG. PERMIT APPROVAL

— FINAL PLAT APPROVAL

— SIA/ RELEASE OF FINANCIAL GUARANTEE

— FOUNDATION PERMIT APPROVAL

— GRADING PERMIT APPROVAL

— SO-19 APPROVAL

— PAVING PERMIT APPROVAL

— GRADING/ PAD CERTIFICATION

— WORK ORDER APPROVAL

— CLOMR/LOMR

— FLOODPLAIN DEVELOPMENT PERMIT

— OTHER (SPECIFY) —

DATE SUBMITTED: 1-18-19 By: DENNIS LORENZ

COA STAFF:

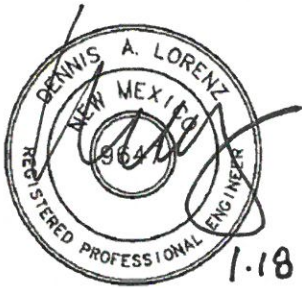
ELECTRONIC SUBMITTAL RECEIVED: —

FEE PAID: —

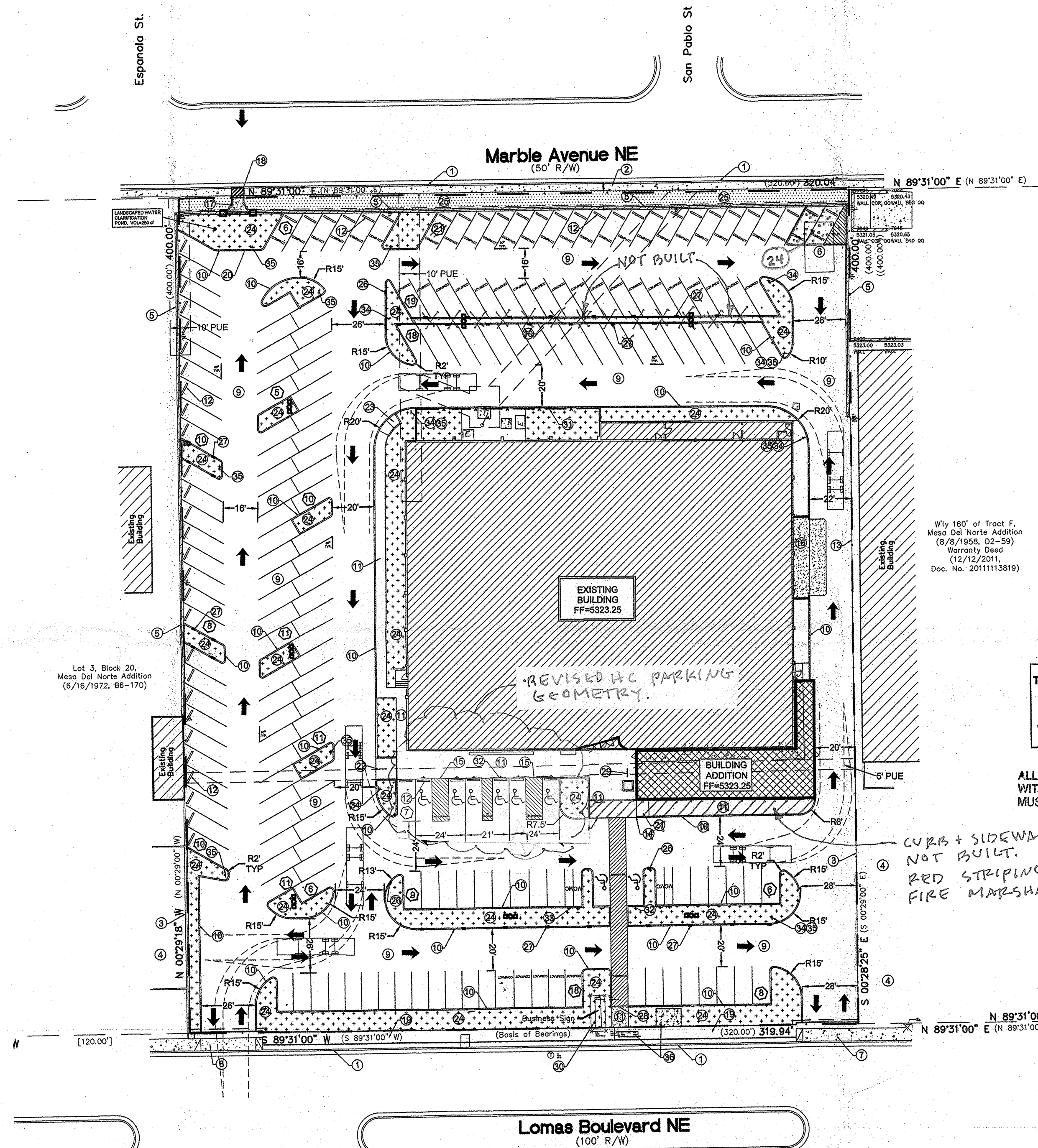
**TRAFFIC CERTIFICATION
PERMANENT CERTIFICATE OF OCCUPANCY**

I, DENNIS A. LORENZ, NMPE, OF THE FIRM LORENZ DESIGN & CONSULTING, LLC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 04-16-2018. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY CARTESIAN SURVEYS, INC AND DENNIS A. LORENZ, NMPE, OF THE FIRM LORENZ DESIGN & CONSULTING, LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 01-11-2019 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



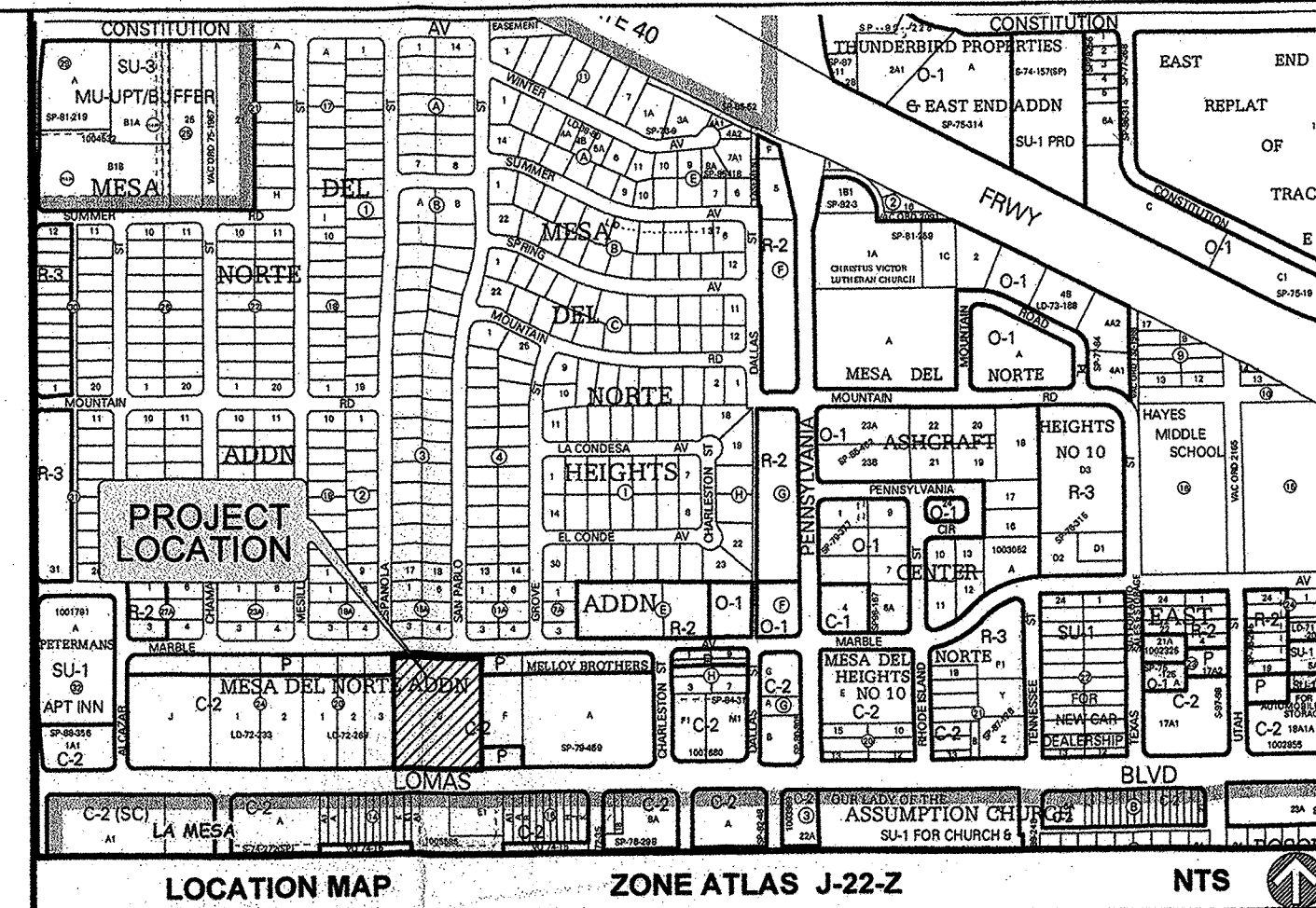
DENNIS A. LORENZ, NMPE 9647



TRAFFIC CIRCULATION LAYOUT
APPROVED

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

CURBS + SIDEWALK
NOT BUILT.
RED STRIPING PER
FIRE MARSHAL



LEGEND

ITEM	EXISTING	PROPOSED
RIGHT OF WAY		
EASEMENT		
CENTERLINE		
RETAINING WALL		
CURB AND GUTTER		
6" CONCRETE CURB		
LANDSCAPING		
CONCRETE		
PARKING COUNT		
LIGHT POLE AND FIXTURE		

- KEYED NOTES
- EXISTING CONCRETE STANDARD CURB AND GUTTER.
 - EXISTING PUBLIC SIDEWALK TO REMAIN.
 - EXISTING CONCRETE CURB.
 - EXISTING ASPHALT PAVEMENT.
 - EXISTING BLOCK WALL TO REMAIN.
 - EXISTING SHED TO BE RELOCATED. COORDINATE WITH OWNER.
 - EXISTING DRIVEPAD TO REMAIN. CONSTRUCT ACCESSIBLE SIDEWALK. SEE SHEET DETAIL HIC.4.
 - EXISTING DRIVEPAD TO REMAIN. CONSTRUCT ACCESSIBLE SIDEWALK. SEE SHEET DETAIL JIC.4.
 - REMOVE AND DISPOSE EXISTING ASPHALT. REPLACE WITH ASPHALT PAVEMENT PER SECTION A/C.4.
 - CONSTRUCT 6-INCH CONCRETE CURB. SEE DETAIL C/C.4.
 - CONSTRUCT CONCRETE SIDEWALK.
 - INSTALL CONCRETE TIRE STOP - TYPICAL.
 - EDGE OF NEW PAVEMENT.
 - END CONCRETE CURB.
 - CONSTRUCT CONCRETE TURN DOWN SIDEWALK SEE DETAIL B/C.4. NO RAISED CURB AT THIS LOCATION.
 - CONSTRUCT NEW REFUSE ENCLOSURE. SEE DETAIL F/C.5.
 - CONSTRUCT 10' WIDE CONCRETE CHANNEL. SEE DETAIL C/C.5.
 - CONSTRUCT 2'-24" SIDEWALK CULVERTS PER CITY STANDARD DETAIL 2236.
 - CONSTRUCT 6" PUBLIC SIDEWALK PER CITY STANDARD DETAIL 2430.
 - PROVIDE 10' CURB BLOCKOUT FOR DRAINAGE.
 - CONSTRUCT ACCESSIBLE RAMP TYPE 'A'. SHEET DETAIL E/C.4.
 - CONSTRUCT ACCESSIBLE RAMP TYPE 'B'. SHEET DETAIL F/C.4.
 - CONSTRUCT ACCESSIBLE RAMP TYPE 'C'. SHEET DETAIL G/C.4.
 - NEW LANDSCAPING. SEE LANDSCAPE PLAN.
 - EXISTING LANDSCAPING TO REMAIN.
 - CONSTRUCT 12" CURB BLOCKOUT FOR DRAINAGE.
 - CONSTRUCT 6" CURB BLOCKOUT FOR DRAINAGE AT 20' ON CENTER ALONG MEDIAN LENGTH.
 - CONSTRUCT 8" CURB BLOCKOUT AT SIDEWALK.
 - BICYCLE RACK - 10 SPACES.
 - EXISTING SIGN TO REMAIN.
 - CONSTRUCT 8' HIGH CHAIN LINK FENCE AT UTILITY YARD WITH GATE PER PNM STANDARDS.
 - CONSTRUCT ADA ACCESSIBLE PARKING SIGN ASSEMBLY. SEE DETAIL K/C.4.
 - CONSTRUCT MOTORCYCLE PARKING SIGN. SEE DETAIL A/C.5.
 - CONSTRUCT "DO NOT ENTER" SIGN. SEE DETAIL B/C.2.
 - CONSTRUCT "ONE WAY" SIGN. SEE DETAIL B/C.5.
 - EXISTING BUS BENCH AND SIGN TO BE RELOCATED. COORDINATE WITH ANDREW DE GARMO, TRANSIT DEPARTMENT, PHONE 505-724-3100.

SITE INFORMATION

PROPERTY ADDRESS: 7517 LOMAS BOULEVARD NE
ALBUQUERQUE, NEW MEXICO 87110

LEGAL DESCRIPTION: TRACT G, LA MESA DEL NORTE ADDITION

ZONING: C-2

SITE AREA: 2.94 ACRES (127,996 SF)

BUILDING AREA: EXISTING BUILDING 28,129 SF
BUILDING ADDITION 2,115 SF
TOTAL BUILDING AREA 30,244 SF

LANDSCAPING REQUIRED: 15% NET SITE AREA = (127,996 SF - 30,244 SF) X 0.15 = 14,893 SF

LANDSCAPING PROVIDED: 14,893 SF

LANDSCAPE BUFFERS: FRONT 10' REAR 8' SIDEYARDS NONE

STREET TREES: FRONT - 30' SPACING REAR - EXISTING

PARKING LOT TREES: ONE TREE / 10 PARKING SPACES

PARKING CALCULATIONS

OCCUPANCY TYPE	AREA (sf)	PARKING REQUIRED	SPACES REQUIRED
BOWLING	18,093	4 SPACES PER LANE	104
RESTAURANT - ASSEMBLY	4,867	1 SPACE PER 3 SEATS (210 SEATS)	70
RETAIL AND SERVICES (GAMING)	2,367	1 SPACE PER 200 SF	12
RETAIL - MERCANTILE	430	1 SPACE PER 200 SF	3
BUSINESS AREAS	936	1 SPACE PER 200 SF	5
KITCHEN	1,324	NONE	
STORAGE	637	NONE	
RESTROOMS	468	NONE	
PARKING SPACES REQUIRED:			194
LESS PUBLIC TRANSIT REDUCTION (10%):			175
TOTAL PARKING SPACES REQUIRED:			175
PARKING SPACES PROVIDED:			195-197
HANDICAP SPACES REQUIRED:			8
HANDICAP SPACES PROVIDED:			8
MOTOR CYCLE SPACES REQUIRED:			4
MOTOR CYCLE SPACES PROVIDED:			4
COMPACT SPACES PROVIDED (33% OF TOTAL ALLOWED):			45 (23%)
ALL REGULAR SPACES ARE 8.5' X 18'			
ALL COMPACT SPACES ARE 8' X 15'			
MOTOR CYCLE SPACES ARE 4' X 15'			
ALL ANGLED PARKING IS AT 60°			

SMPC Architects
PRINCIPLES OF DESIGN.

DESIGNER
DEVELOPER



LORENZ
DESIGN & CONSULTING, LLC
Civil Engineering / Construction Management

HOLIDAY BOWL
100% Permit Documents
7515 Lomas Boulevard Northeast
Albuquerque, New Mexico 87110

NO	DATE	DESCRIPTION
4	1-18-19	CODE COMMENTS
3	05-10-2018	CODE COMMENTS
2	05-02-2018	CODE COMMENTS
1	04-16-2018	CODE COMMENTS
NO	DATE	DESCRIPTION
DATE:	04-16-2018	
PROJECT #:	LDC 15-011	
DRAWN BY:	DAL	
CHKD BY:	DAL	
COPYRIGHT:		

SHEET TITLE
SITE PLAN - TCL
C.01
SHEET OF

