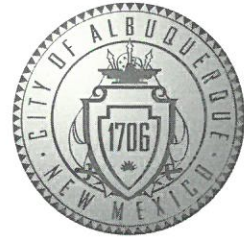


CITY OF ALBUQUERQUE



May 2, 2018

Lorenz Design & Consulting LLC
Dennis Lorenz
2501 Rio Grande Blvd NW
Albuquerque, NM 87104

Re: Holiday Bowl
7515 Lomas NE
Traffic Circulation Layout
Engineer's Stamp **04-16-18** (J19-D082A)

Dear Mr. Lorenz,

Based upon the information provided in your submittal received 04-23-18, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval. Show location of refuse container.
2. One-way vehicular paths require pavement directional signage and a posted **"Do Not Enter"** sign at the point of egress. Please show detail and location of posted signs. This is for all one-way aisles, any aisle less than 24 feet with

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact me at 924-3630.

Sincerely,

Logan Patz
Traffic Engineer, Planning Department
Development Review Services

LWP via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: HOLIDAY BOWL **Building Permit #:** _____ **City Drainage #:** J19-D082A
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: TRACT G, LA MESA DEL NORTE ADDITION
City Address: 7515 LOMAS NE

Engineering Firm: LORENZ DESIGN & CONSULTING LLC **Contact:** DENNIS LORENZ
Address: 2501 RIO GRANDE BLVD NW, SUITE A, ALBUQUERQUE, NM 87104
Phone#: 505-888-6088 **Fax#:** 505-242-6655 **E-mail:** DENNISL@LORENZNM.COM

Owner: GARY SKIDMORE **Contact:** G. SKIDMORE
Address: 7515 LOMAS NE, ALBUQUERQUE, NM 87110
Phone#: 505-268-3308 **Fax#:** _____ **E-mail:** _____

Architect: SMPC ARCHITECTS **Contact:** DAVID EDWARDS
Address: 219 CENTRAL NW, ALBUQUERQUE, NM 87102
Phone#: 505-255-8668 **Fax#:** _____ **E-mail:** D.EDWARDS@SMPCARCHITECTS.COM

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

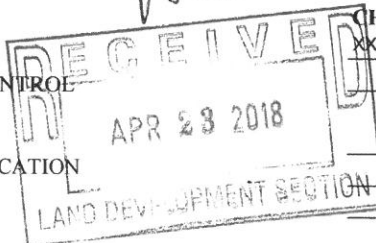
IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 04-20-2018 **By:** DENNIS LORENZ

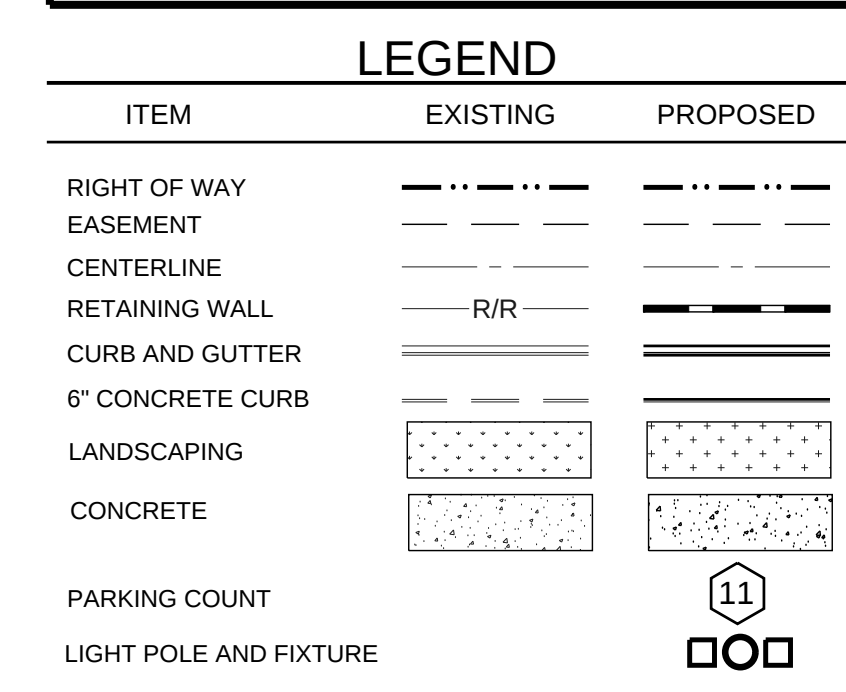
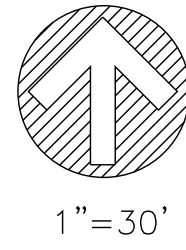
CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



- ## SITE INFORMATION

PROPERTY ADDRESS: 7517 LOMAS BOULEVARD NE
ALBUQUERQUE, NEW MEXICO 87110

LEGAL DESCRIPTION: TRACT G, LA MESA DEL NORTE ADDITION

ZONING: C-2

SITE AREA: 2.94 ACRES (127,996 SF)

BUILDING AREA:	EXISTING BUILDING	28,129 SF
	BUILDING ADDITION	2,115 SF
	TOTAL BUILDING AREA	30,244 SF

LANDSCAPING REQUIRED: 15% NET SITE AREA = (127,996 SF - 30,244 SF) X 0.15 = 14,663 SF

LANDSCAPING PROVIDED: 14,893 SF

LANDSCAPE BUFFERS: FRONT 10'

STREET TREES: FRONT - 30' SPACING
REAR - EXISTING

PARKING LOT TREES: ONE TREE / 10 PARKING SPACES

PARKING CALCULATIONS

PARKING SPACES REQUIRED:	194
LESS PUBLIC TRANSIT REDUCTION (10%):	-19
TOTAL PARKING SPACES REQUIRED:	175
PARKING SPACES PROVIDED :	195

HANDICAP SPACES REQUIRED:	8
HANDICAP SPACES PROVIDED:	8
MOTOR CYCLE SPACES REQUIRED:	4
MOTOTR CYCLE SPACES PROVIDED:	4
COMPACT SPACES PROVIDED (33% OF TOTAL ALLOWED):	45 (23%)

ALL REGULAR SPACES ARE 8.5' X 18'
ALL COMPACT SPACES ARE 8' X 15'
MOTOR CYCLE SPACES ARE 4' X 18'
ALL ANGLED PARKING IS AT 60°

1	04-16-2018	CODE COMMENTS
NO	DATE	DESCRIPTION
DATE:	04-16-2018	
PROJECT #:	LDC 15-011	
DRAWN BY:	DAL	
CH'D BY:	DAL	
Copyright:		

SHEET TITLE

SITE PLAN - TCL

C.01

SHEET OF

ASPHALT PAVEMENT SECTION

AUTO/PICKUP TRUCK

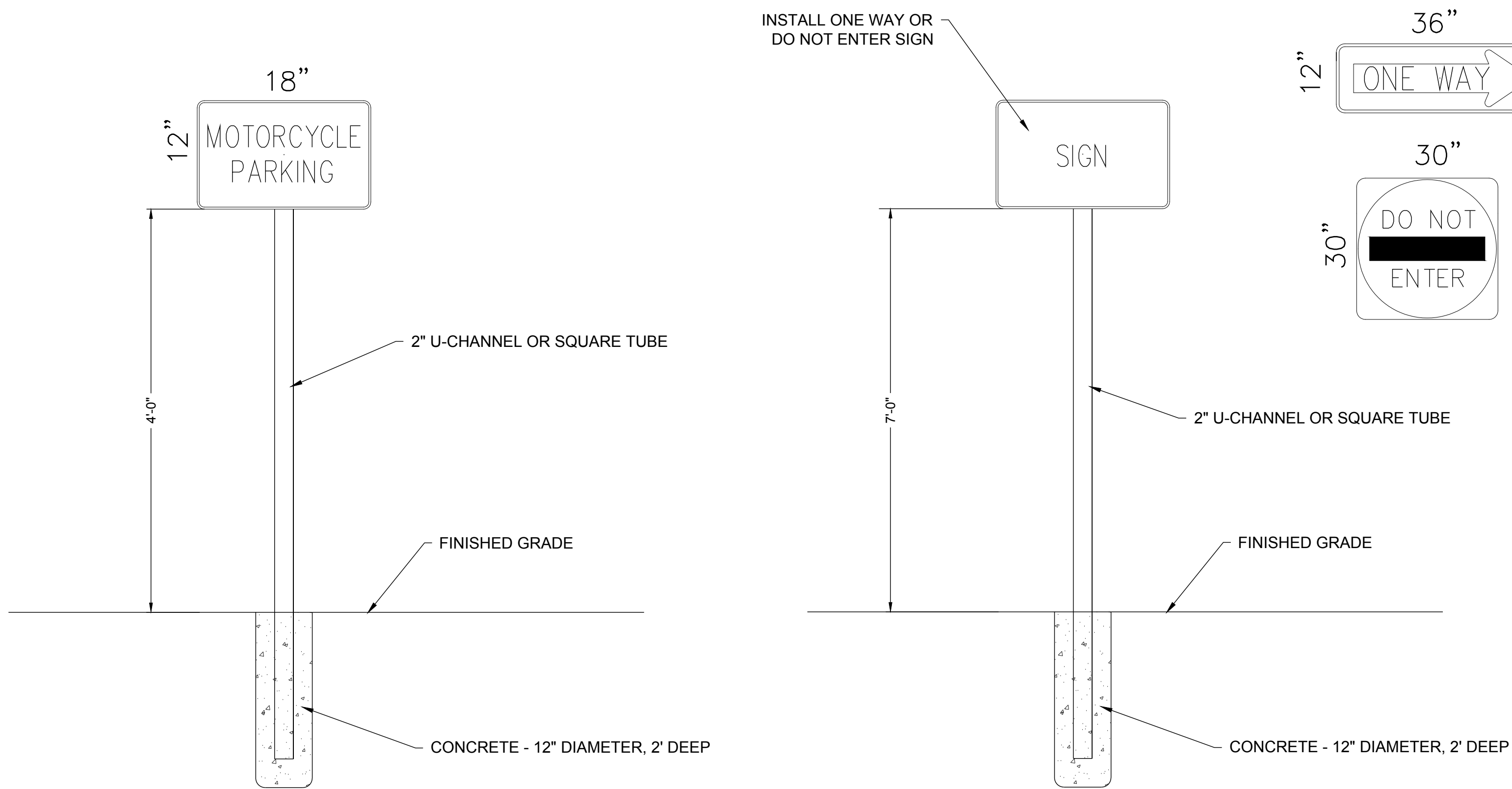
NTS

A

C 4



SITE DETAILS

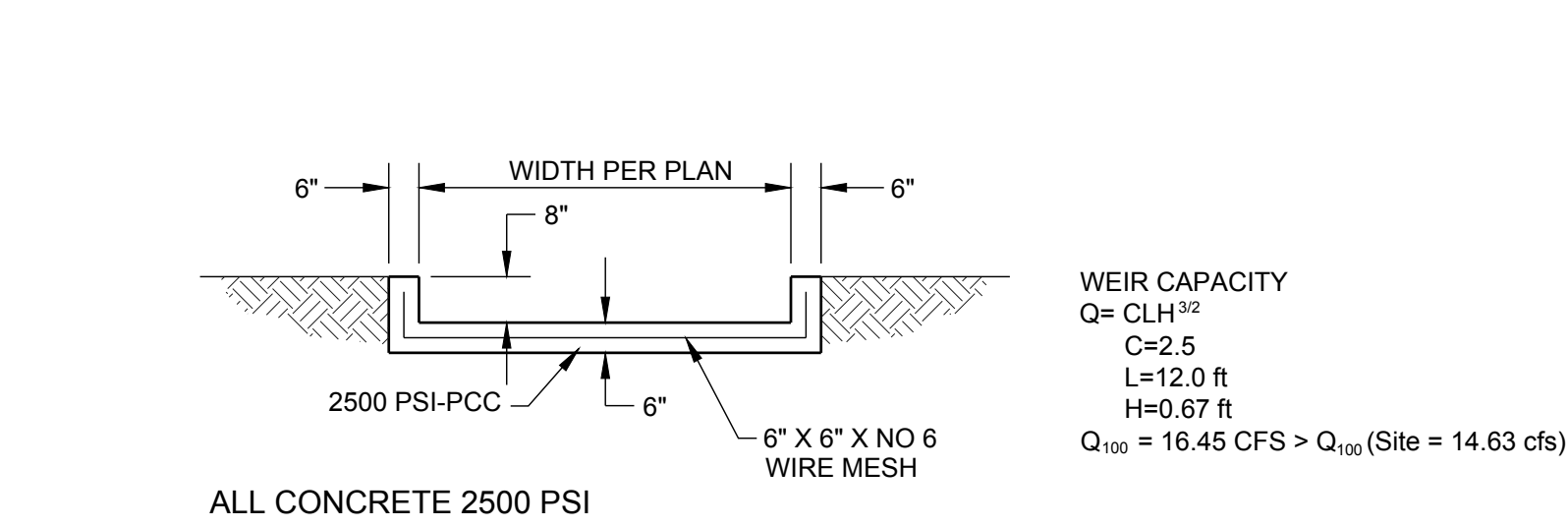


MOTORCYCLE SIGN DETAIL
NTS

A
C.5

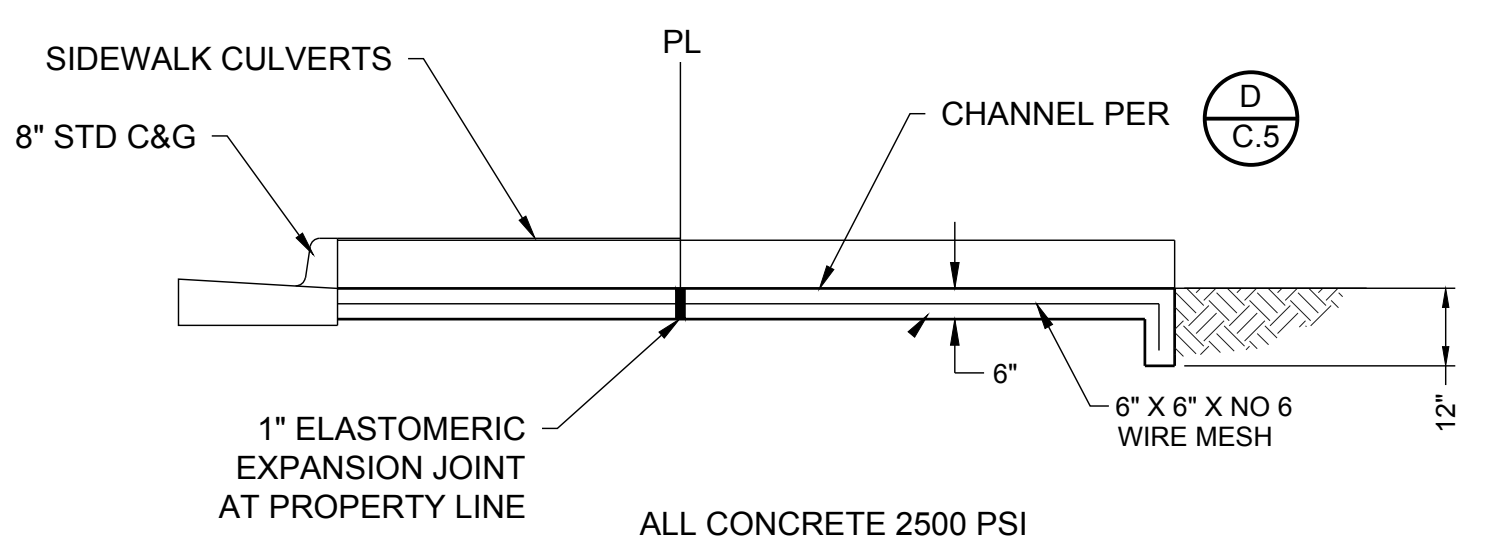
DO NOT ENTER - ONE WAY SIGN DETAIL
NTS

B
C.5



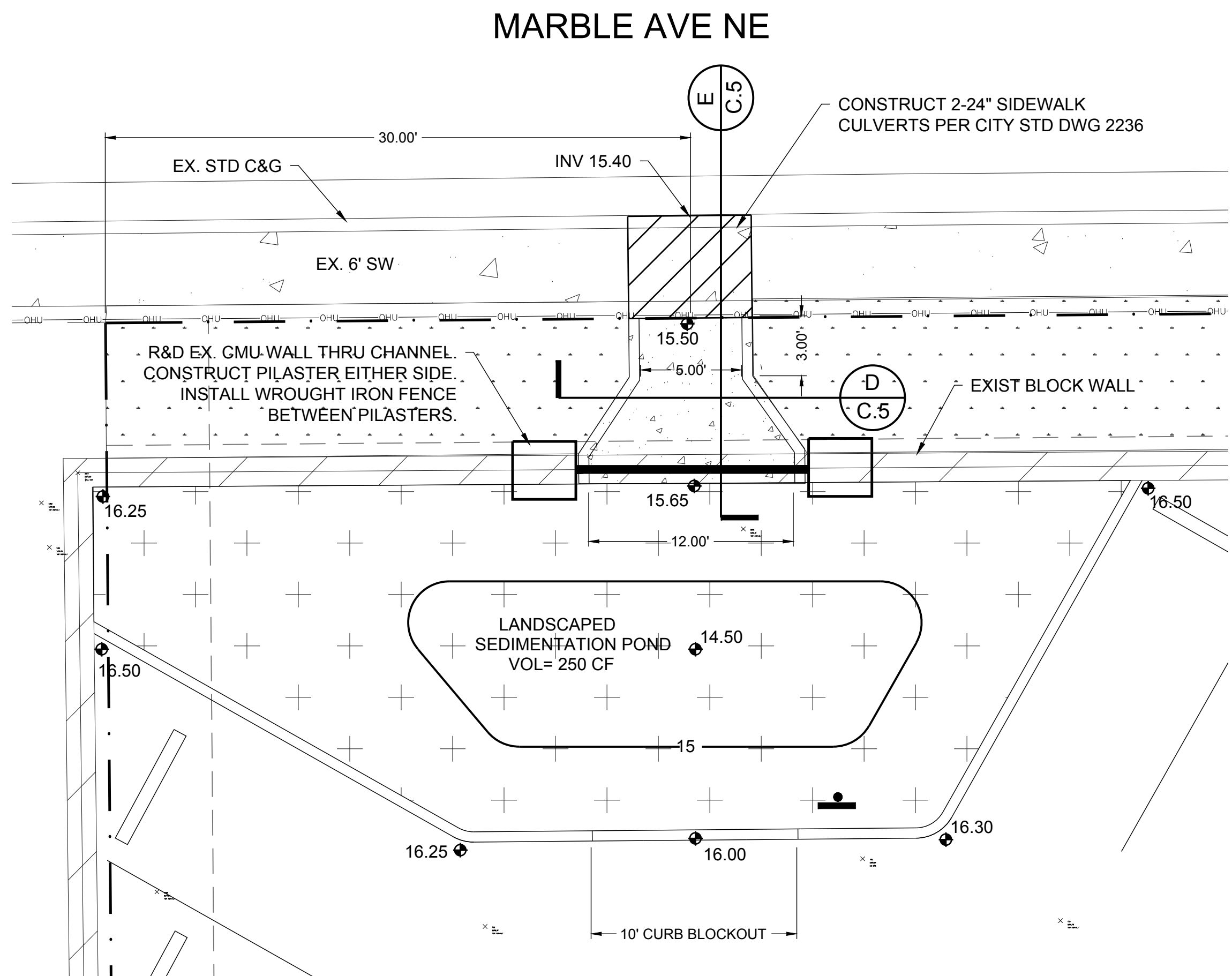
CONCRETE DRAINAGE CHANNEL DETAIL
NTS

D
C.5



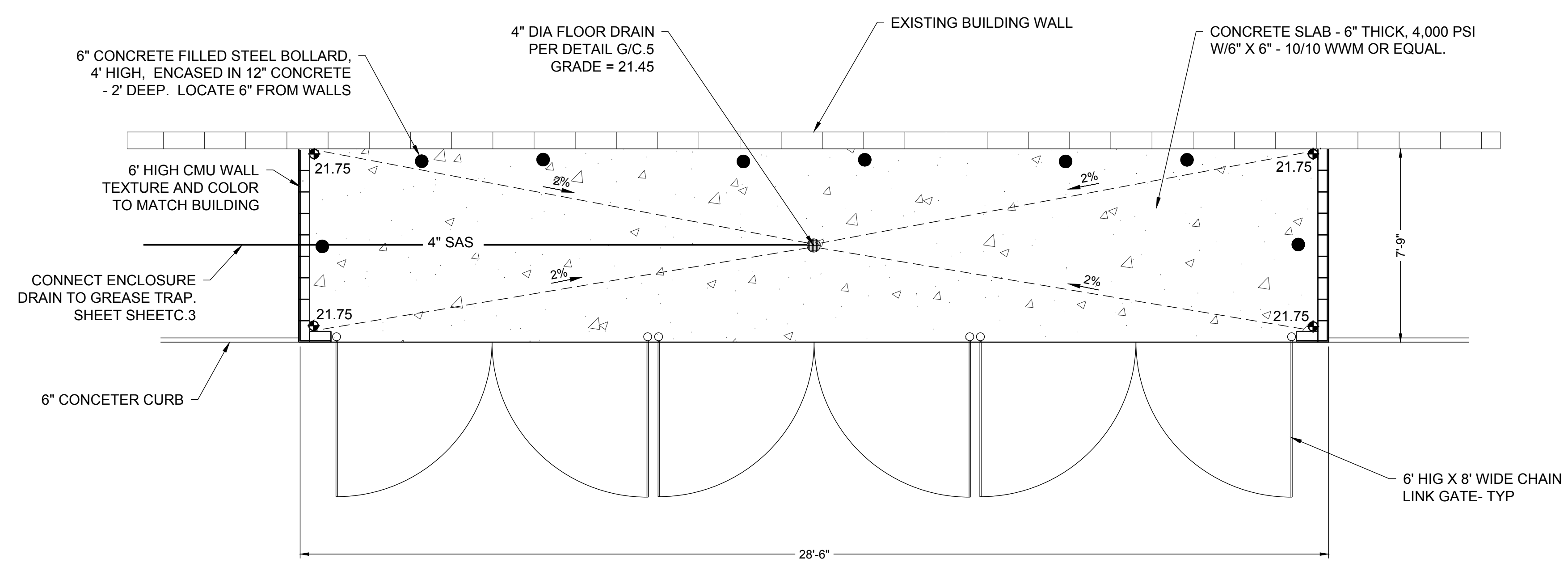
CONCRETE DRAINAGE CHANNEL SECTION
NTS

E
C.5



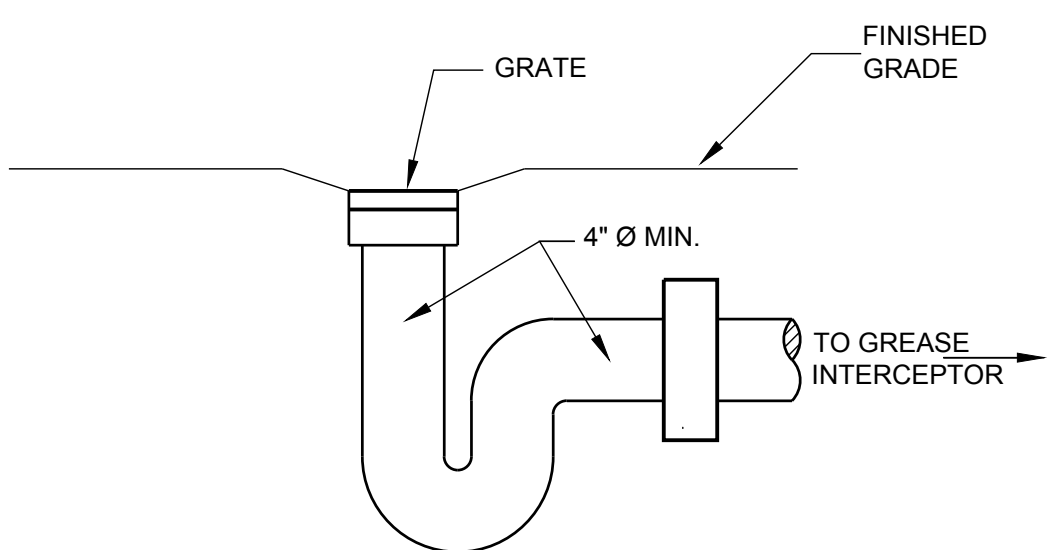
DRAINAGE CHANNEL PLAN
NTS

C
C.5



REFUSE ENCLOSURE SLAB PLAN
NTS

F
C.5



4" SANITARY SEWER DRAIN
FOR REFUSE ENCLOSURE
NTS

G
C.5

NO	DATE	DESCRIPTION
1	04-16-2018	CODE COMMENTS
2	04-16-2018	PROJECT #
3	04-16-2018	DRAWN BY: DAL
4	04-16-2018	CHKD BY: DAL
5	04-16-2018	COPYRIGHT

SHEET TITLE

SITE DETAILS

C.05
SHEET OF