

# CITY OF ALBUQUERQUE



*Planning Department  
Transportation Development Services Section*

April 28, 2011

James W. Miller, Registered Architect,  
Miller & Associates  
5220 2nd St. NW, Ste. A  
Albuquerque, NM 87107

Re: Approval of Permanent Certificate of Occupancy (C.O.) for  
Melloy Nissan Paint Booth Addition, [J-19 / D083]  
815 Pennsylvania NE  
Architect's Stamp Dated 04/28/09

Dear Mr. Miller:

Based upon the information provided in your submittal received 04-28-11,  
Transportation Development has no objection to the issuance of a Permanent Certificate  
of Occupancy.

This letter serves as a "green tag" from Transportation Development for a  
Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please call me at 924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV 12/2005)

PROJECT TITLE: Collins Repair - Melloy Mize ZONE MAP: J-19/0083  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: \_\_\_\_\_

CITY ADDRESS: 815 Pennsylvania St NE

ENGINEERING FIRM: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: Miller & Assoc CONTACT: \_\_\_\_\_  
ADDRESS: 5220 2nd St NW PHONE: \_\_\_\_\_  
CITY, STATE: Albany, NM 87107 ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

TYPE OF SUBMITTAL:  
\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
\_\_\_\_ DRAINAGE PLAN RESUBMITTAL  
\_\_\_\_ CONCEPTUAL G & D PLAN  
\_\_\_\_ GRADING PLAN  
\_\_\_\_ EROSION CONTROL PLAN  
\_\_\_\_ ENGINEER'S CERT (HYDROLOGY)  
\_\_\_\_ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT  
☒ ENGINEER'S CERT (TCL)  
\_\_\_\_ ENGINEER'S CERT (DRB SITE PLAN)  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

CHECK TYPE OF APPROVAL SOUGHT:  
\_\_\_\_ SIA/FINANCIAL GUARANTEE RELEASE  
\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_ S. DEV. PLAN FOR SUB'D APPROVAL  
\_\_\_\_ S. DEV. FOR BLDG. PERMIT APPROVAL  
\_\_\_\_ SECTOR PLAN APPROVAL  
\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (PERM)  
\_\_\_\_ CERTIFICATE OF OCCUPANCY (TEMP)  
\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

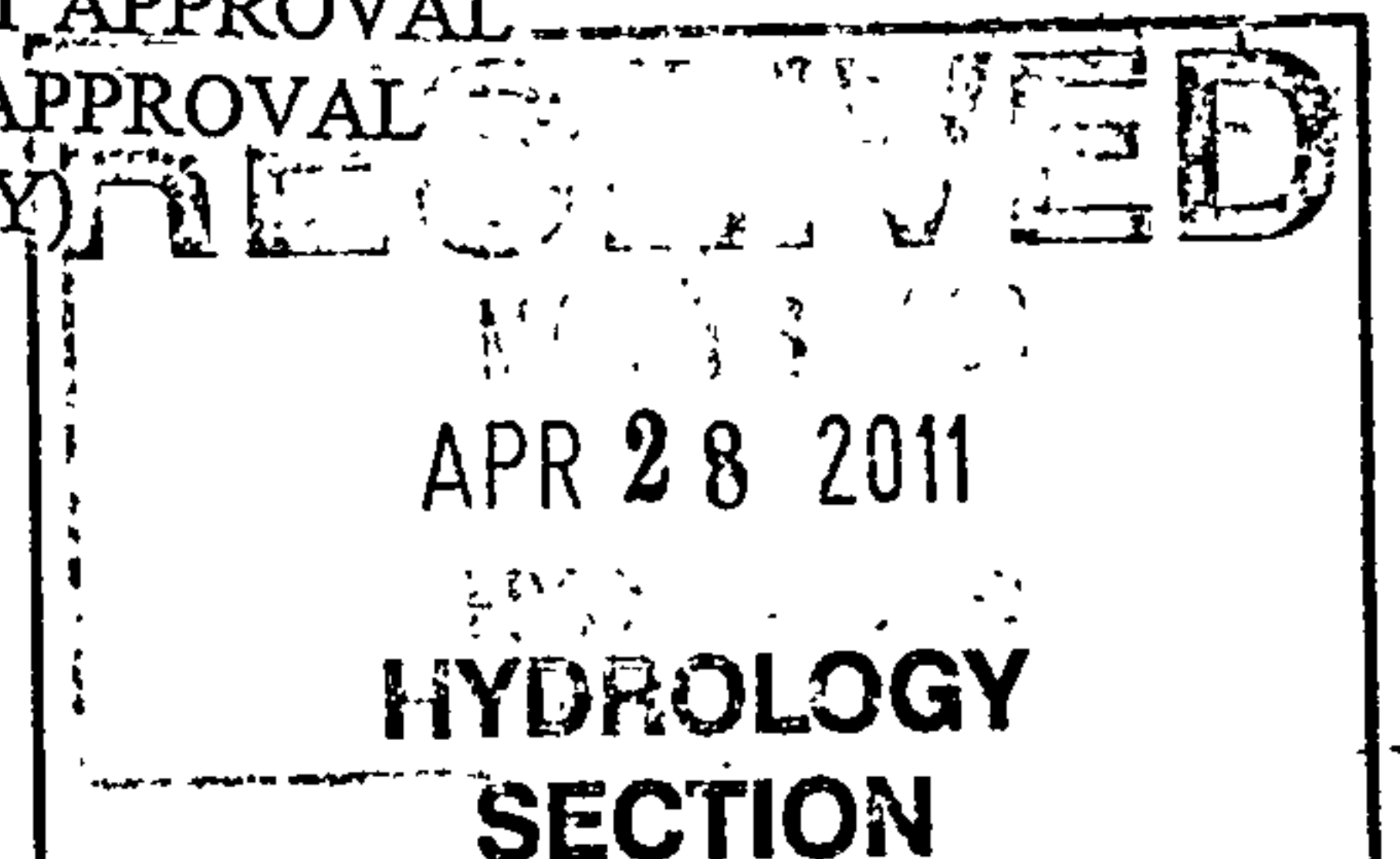
WAS A PRE-DESIGN CONFERENCE ATTENDED:

\_\_\_\_ YES  
\_\_\_\_ NO  
\_\_\_\_ COPY PROVIDED

DATE SUBMITTED: \_\_\_\_\_ BY: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



# MILLER AND ASSOCIATES

ARCHITECTS - PLANNERS

5220 2ND ST. NW STE. A - ALBUQUERQUE, NEW MEXICO 87107 - PHONE (505) 345-1312

April 28, 2011

Nilo E. Salgado-Fernandez  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

**RE: FINAL C. O. FOR CERTIFICATE OF OCCUPANCY**  
**FOR COLLISION REPAIR - MELLOY NISSAN**  
**815 PENNSYLVANIA N. E.**

Dear Mr. Salgado-Fernandez

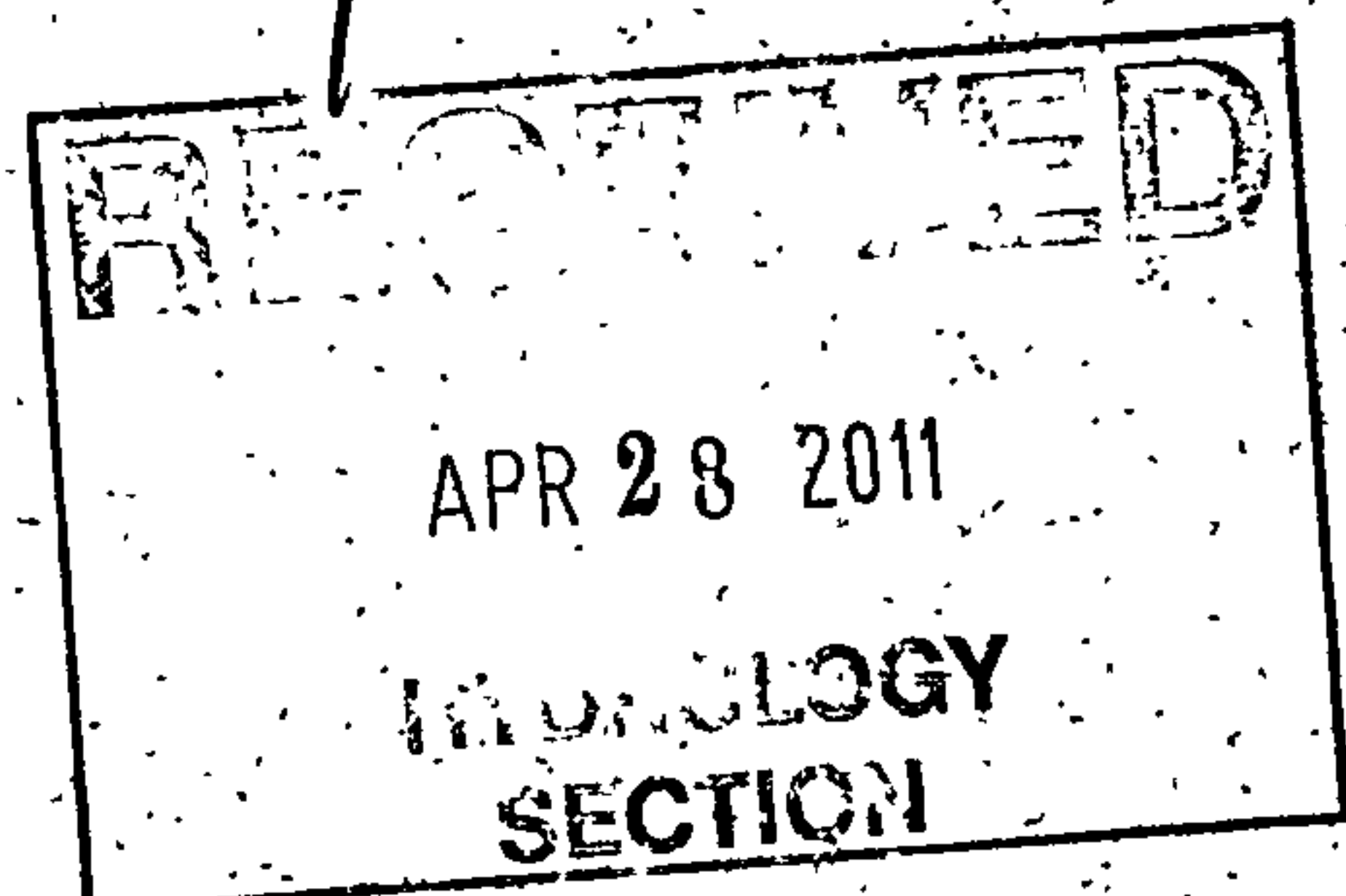
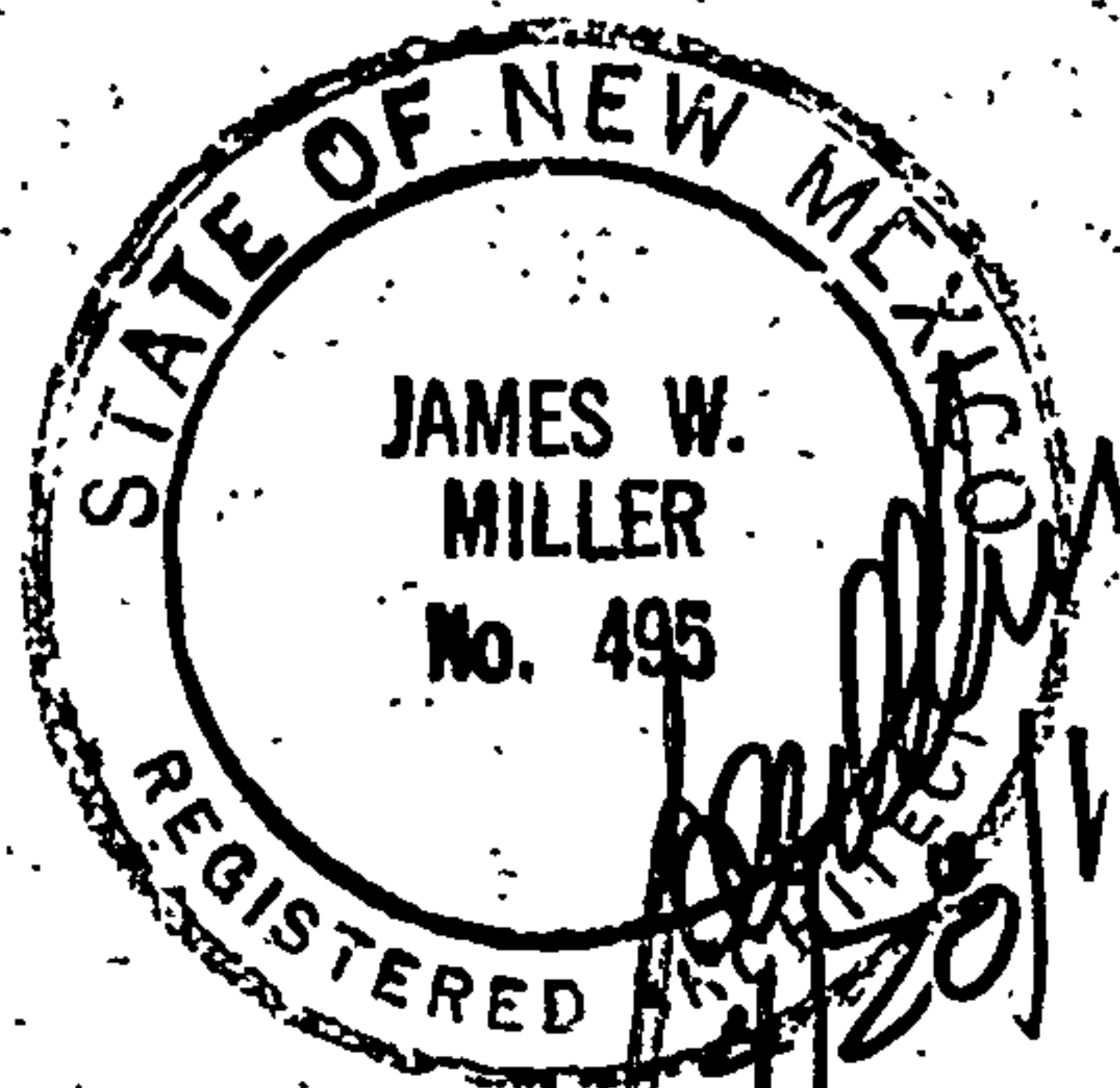
The outstanding driveway closure issue fronting Marble Avenue (driveway no longer being used) has been completed.

This final issue was noted in your correspondence dated March 13, 2009.

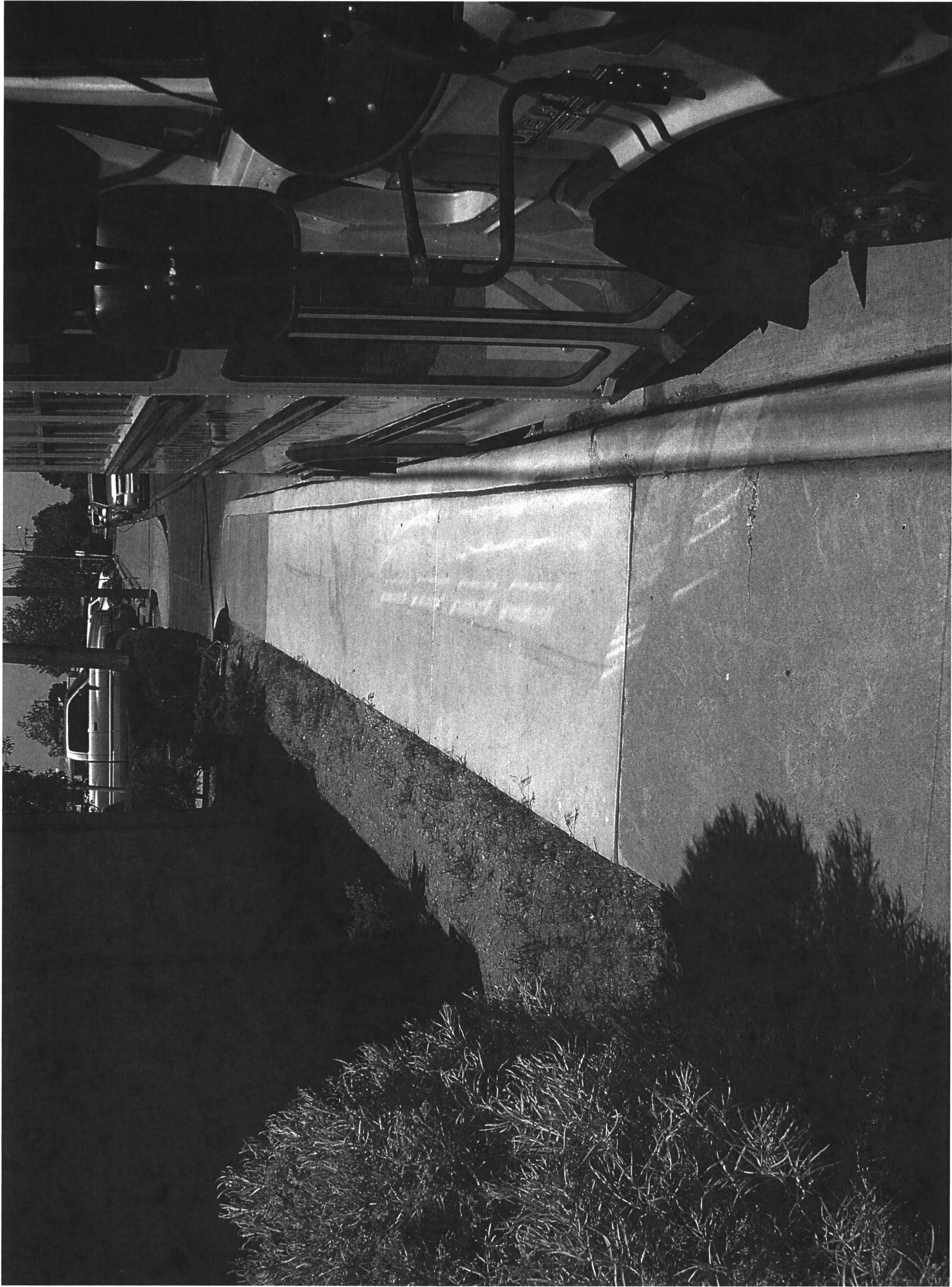
If there are any questions, please do not hesitate to call this office.

Sincerely

  
James W. Miller, AIA









# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

March 13, 2009

James W. Miller, Registered Architect,  
Miller & Associates  
5220 2nd St. NW, Ste. A  
Albuquerque, NM 87107

Re: Approval of Temporary Certificate of Occupancy (C.O.) for  
Collision Repair - Melloy Nissan, [J-19 / D083]  
815 Pennsylvania NE  
Architect's Stamp Dated 03/12/09

Dear Mr. Miller:

Based on the information provided on your submittal dated March 13, 2009, the above referenced project is approved for a 90-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding driveway closure (driveway fronting Marble Avenue will need to be closed since it's no longer in use) issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

  
Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

# MILLER AND ASSOCIATES

ARCHITECTS - PLANNERS

5220 2ND ST. NW STE. A - ALBUQUERQUE, NEW MEXICO 87107 - PHONE (505) 345-1312

March 11, 2009

**RE: 'COLLISION REPAIR' LOCATED AT 815 PENNSYLVANIA  
STREET N. E., ALBUQUERQUE, N. M.**

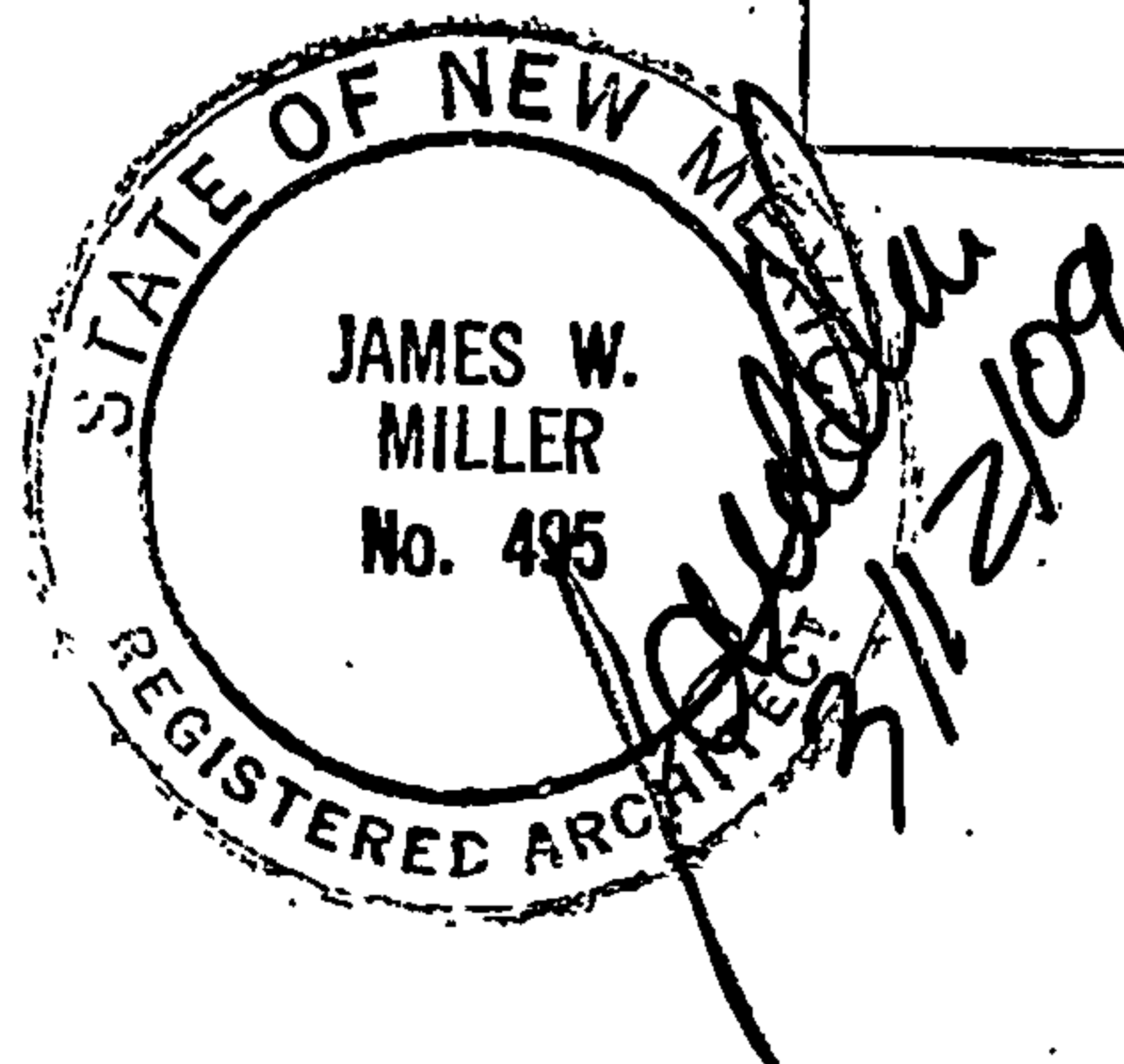
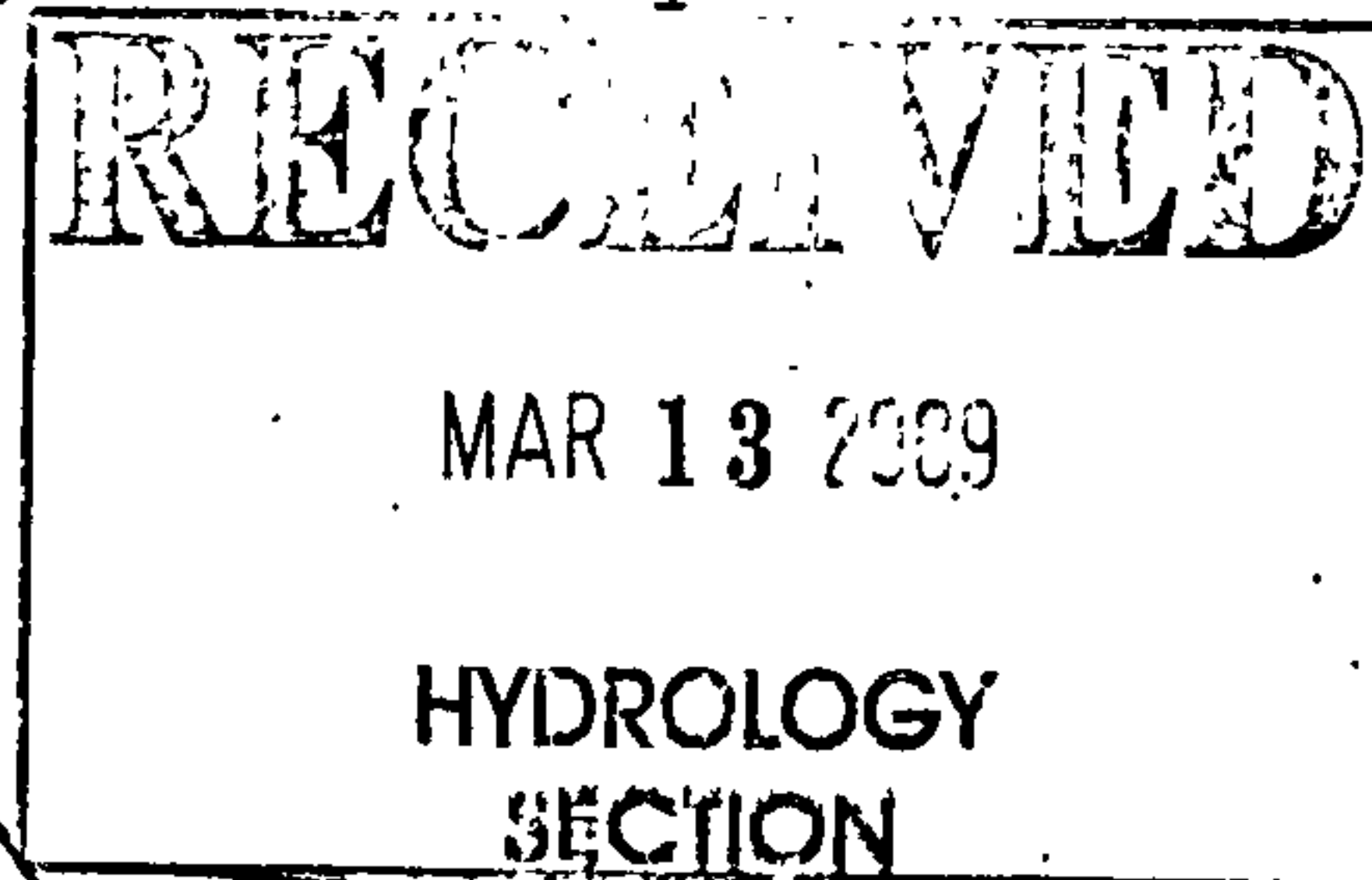
## T R A F F I C C E R T I F I C A T I O N

I, James W. Miller, NMRA of the firm of Miller & Assoc. hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL approved plan dated 3/11/09. The record information edited on to the original design document has been obtained by James W. Miller of the firm of Miller & Assoc. I further certify that I have personally visited the project site on March 8/12/2009, I have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of the project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

  
James W. Miller, AIA

March 11, 2009



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: Collision Repair - Melloy Nizzone MAP: J-19/0083  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: \_\_\_\_\_

CITY ADDRESS: 815 Pennsylvania St NE

ENGINEERING FIRM: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

OWNER: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☒ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

## CHECK TYPE OF APPROVAL SOUGHT:

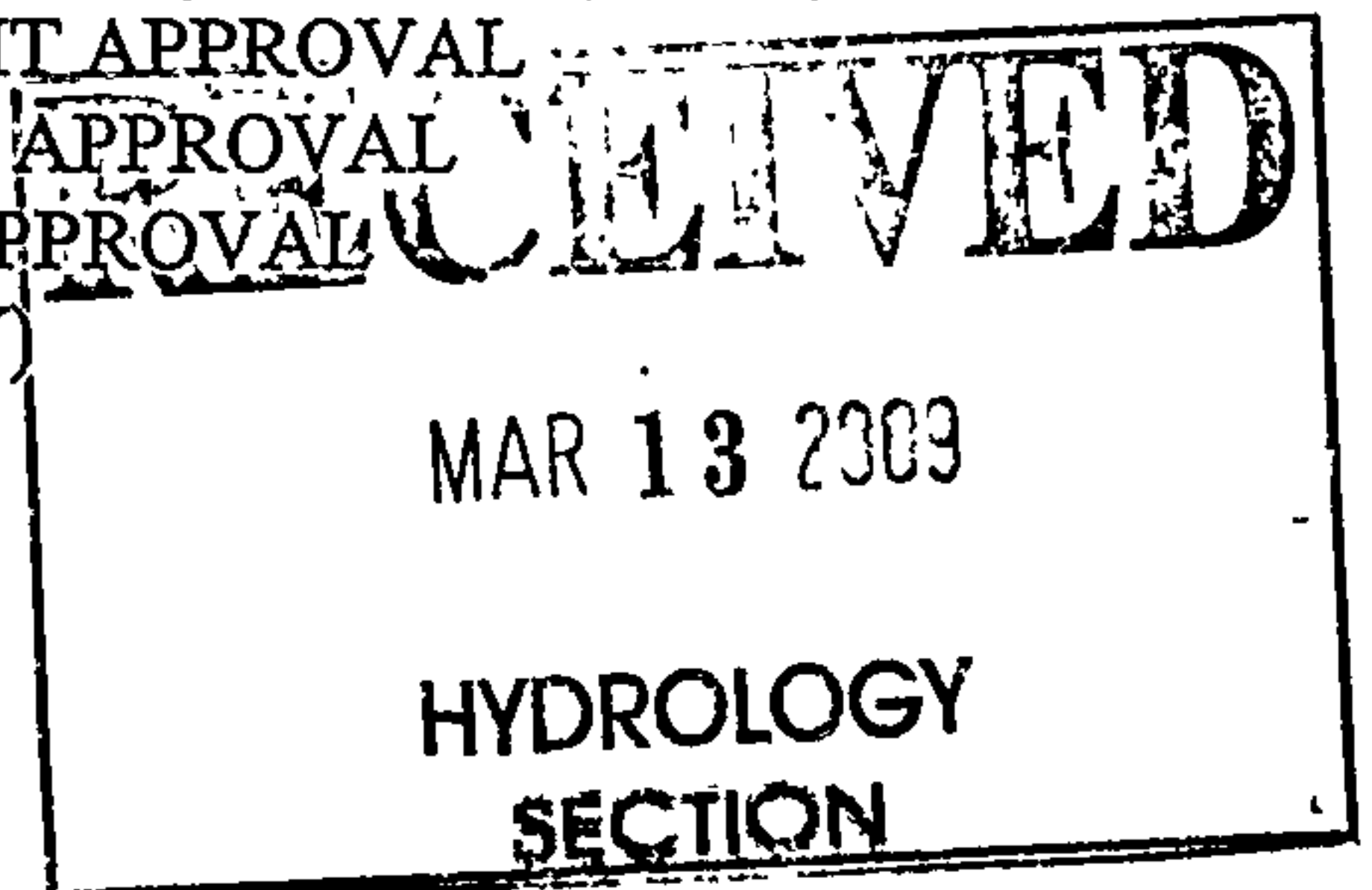
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES

☐ NO

☐ COPY PROVIDED



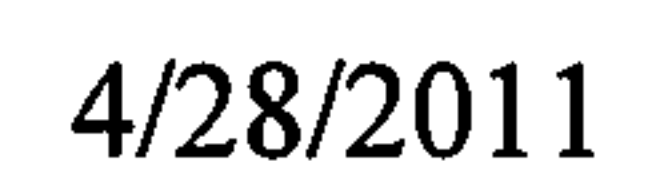
DATE SUBMITTED: \_\_\_\_\_

BY: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.







# CITY OF ALBUQUERQUE



April 7, 2009

Eufracio Sabay, P.E.  
c/o Bernie J. Montoya  
**BJM CONSULTANT**  
8624 Casa Verde Ave. NW  
Albuquerque, NM 87120

**Re: Melloy Nissian Paint Booth Addition, 815 Pennsylvania NE,  
(J-19/D083)  
Approval of Permanent Certificate of Occupancy,  
Engineer's Stamp Dated: 03-30-09  
Engineer's Certification Date: 5-26-09**

PO Box 1293

Dear Mr. Montoya,

Albuquerque

Based upon the information provided by our visual inspection on 5/28/09, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

NM 87103

If you have any questions, you can contact me at 924-3982.

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Timothy E. Sims  
Plan Checker-Hydrology, Planning Dept  
Development and Building Services

C: CO Clerk—Katrina Sigala  
file



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 06/22/2005)

PROJECT TITLE: MELLOY NISSAN PAINT BOOTH ADDITION  
DRB #:

PC#:

ZONE MAP/DRG. FILE # J19-D83  
WORK ORDER#:

LEGAL DESCRIPTION: N 160' OF BLOCK G MESA DEL NORTE HEIGHTS ADDITION #2  
CITY ADDRESS: 815 PENNSYLVANIA N.E.

ENGINEERING FIRM: BJM CONSULTING  
ADDRESS: 8624 CASA VERDE AVE. N.E.  
PHONE: 250-7719  
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: BERNIE J. MONTOYA C.E.

ZIP CODE: 87120

OWNER:  
ADDRESS:  
CITY, STATE:

CONTACT:  
PHONE:  
ZIP CODE:

ARCHITECT: JIM MILLER & ASSOCIATES  
ADDRESS:  
CITY, STATE:

CONTACT: JIM MILLER  
PHONE:  
ZIP CODE:

SURVEYOR:  
ADDRESS:  
CITY, STATE:

CONTACT:  
PHONE:  
ZIP CODE:

CONTRACTOR:  
ADDRESS:  
CITY, STATE:

CONTACT  
PHONE:  
ZIP CODE:

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>ST</sup> SUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ PAVING PLAN  
☐ TCL  
☐ RESUBMITTAL  
WAS A PRE-DESIGN CONFERENCE ATTENDED:  
☐ YES  
☐ NO  
☐ COPY PROVIDED

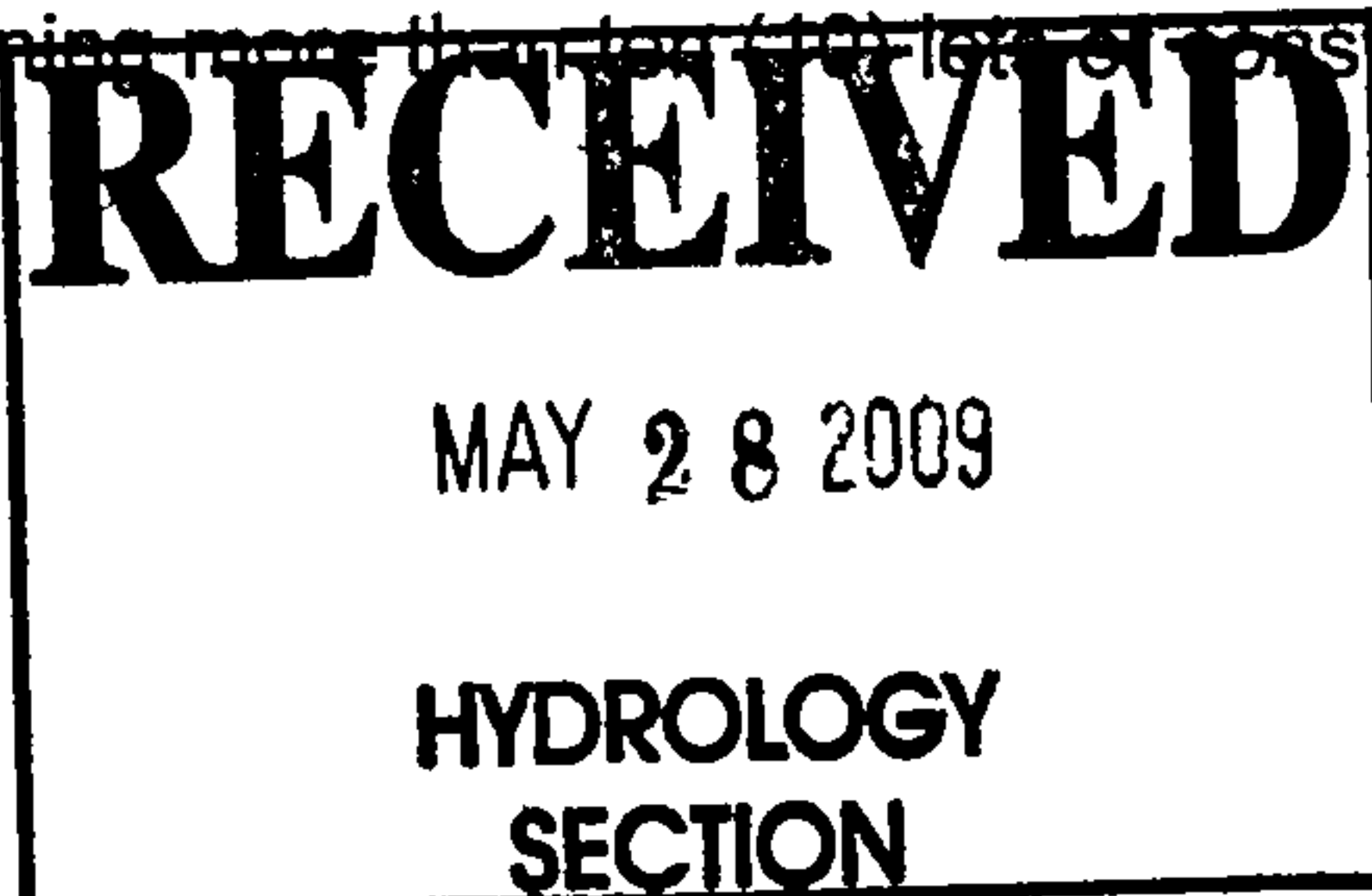
## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY APPROVAL  
☐ GRADING PERMITS APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

DATE SUBMITTED: \_\_\_\_\_ BY: \_\_\_\_\_

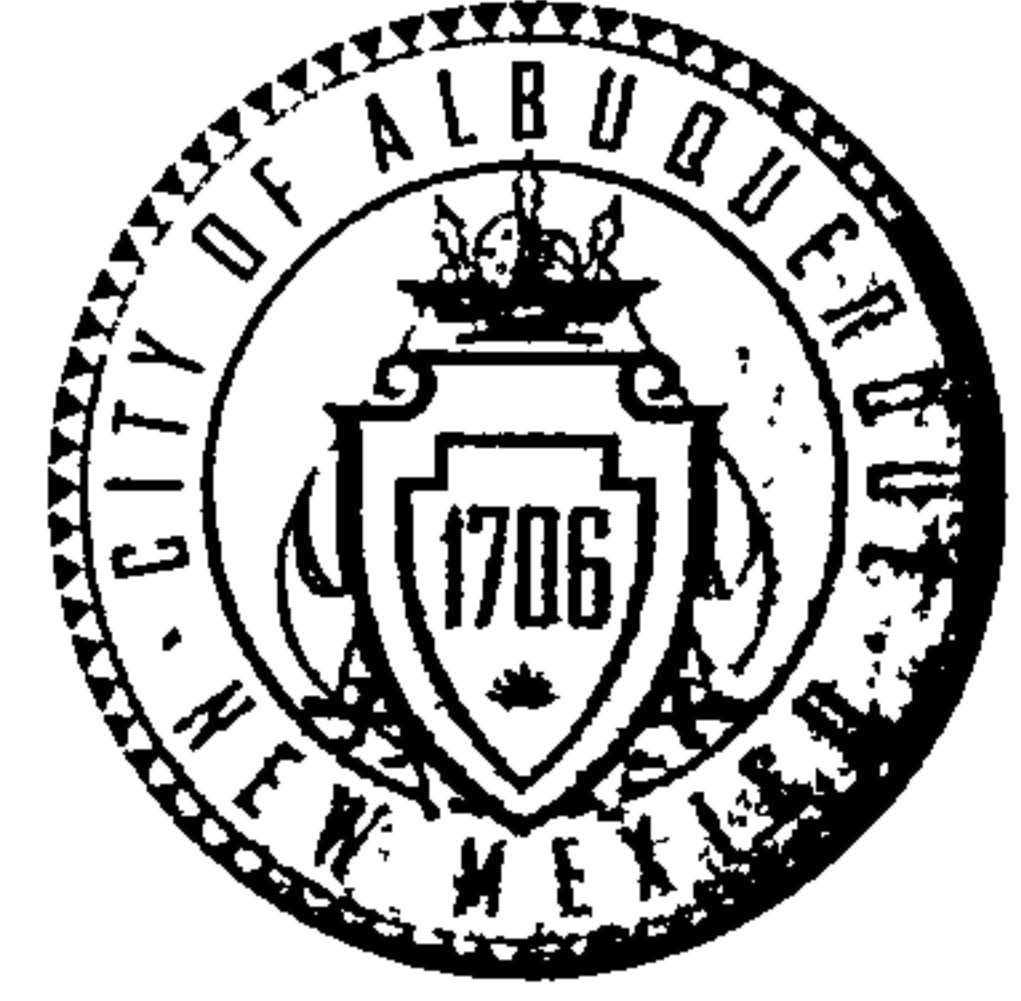
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) Acres and Sector Plans.
- 2. Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.





# CITY OF ALBUQUERQUE



April 7, 2009

*Fax 839-0451*

Eufracio Sabay, P.E.  
BJM Consulting  
8624 Casa Verde Ave. N.W.  
Albuquerque, NM 87120

**Re: Melloy Nissan Collision Repair, 815 Pennsylvania NE**  
**Grading and Drainage Plan**  
**Engineer's Stamp dated 3-30-09 (J19/D083)**

Dear Mr. Sabay,

Based upon the information provided in your submittal received 3-31-09, the above referenced plan is approved for Building Permit and SO 19 Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

PO Box 1293

A separate permit (SO 19) is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit.

Albuquerque

To obtain a temporary or permanent CO, Engineer Certification of the Grading Plan per the DPM is required and the storm drain work in the City ROW must be inspected and accepted. Please contact Duane Schmitz, 235-8016, to schedule an inspection.

NM 87103

If you have any questions, you can contact me at 924-3695.

Sincerely,

*Curtis A. Cherne*

Curtis A. Cherne, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

www.cabq.gov

C: file  
Antoinette Baldonado, Excavation and Barricading  
Duane Schmitz, Street/Storm Drain Maintenance



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 06/22/2005)

PROJECT TITLE: MELLOY NISSAN PAINT BOOTH ADDITION  
DRB #:

PC#:

ZONE MAP/DRG. FILE # J19-D83  
WORK ORDER#:

LEGAL DESCRIPTION: N 160' OF BLOCK G MESA DEL NORTE HEIGHTS ADDITION #2  
CITY ADDRESS: 815 PENNSYLVANIA N.E.

ENGINEERING FIRM: BJM CONSULTING  
ADDRESS: 8624 CASA VERDE AVE. N.E.  
PHONE: 250-7719  
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: BERNIE J. MONTOYA C.E.

ZIP CODE: 87120

OWNER:  
ADDRESS:  
CITY, STATE:

CONTACT:  
PHONE:  
ZIP CODE:

ARCHITECT: JIM MILLER & ASSOCIATES  
ADDRESS:  
CITY, STATE:

CONTACT: JIM MILLER  
PHONE:  
ZIP CODE:

SURVEYOR:  
ADDRESS:  
CITY, STATE:

CONTACT:  
PHONE:  
ZIP CODE:

CONTRACTOR:  
ADDRESS:  
CITY, STATE:

CONTACT  
PHONE:  
ZIP CODE:

FAX  
839-0451

## TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT **RE**  
☒ DRAINAGE PLAN **RE** SUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ PAVING PLAN  
☐ TCL  
☒ RESUBMITTAL  
WAS A PRE-DESIGN CONFERENCE ATTENDED:  
☐ YES  
☐ NO  
☐ COPY PROVIDED

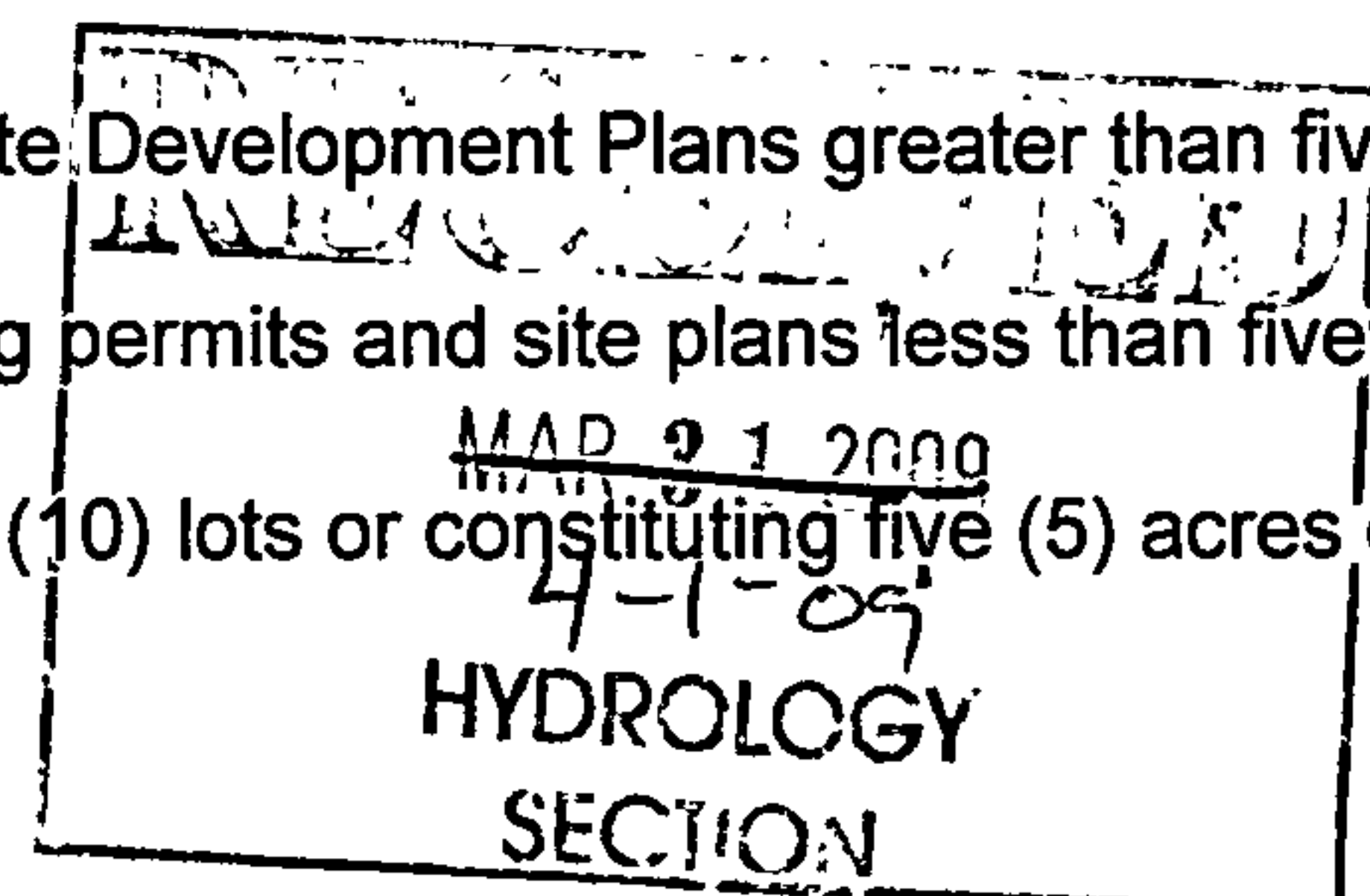
## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY APPROVAL  
☐ GRADING PERMITS APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☒ OTHER (SPECIFY)

DATE SUBMITTED: 4/1/2009 BY: Bernie Montoya

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) Acres and Sector Plans.
- 2. Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.





# CITY OF ALBUQUERQUE



March 25, 2009

Eufracio Sabay, P.E.  
BJM Consulting  
8624 Casa Verde Ave. N.W.  
Albuquerque, NM 87120

**Re: Melloy Nissan Collision Repair, 815 Pennsylvania NE**  
**Grading and Drainage Plan**  
**Engineer's Stamp dated 3-16-09 (J19/D083)**

Dear Mr. Sabay,

Based upon the information provided in your submittal received 3-17-09, the above referenced plan cannot be approved for Building Permit or SO 19 Permit until the following comments are addressed:

PO Box 1293

Albuquerque

NM 87103

- The pipe penetration note should be changed so it is clearer. Something like "4" pipe thru curb per COA STD DWG 2235."
- Update the SO 19 Notes on the plan to the ones provided with this letter.
- Even though the building is built, the next letter will approve the plan for Building Permit, since the building was built west of the proposed location and this next plan will be used for CO.

If you have any questions, you can contact me at 924-3695.

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Curtis A. Cherne, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: file



# CITY OF ALBUQUERQUE



## Drainage Facilities within City Right-of-Way Notice to Contractor

1. An excavation permit will be required before beginning any work within City Right-Of-Way.
2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact the line locating service, New Mexico One Call 260-1990, (NM one call "811") for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
7. Work on arterial streets shall be performed on a 24-hour basis.

PO Box 1293

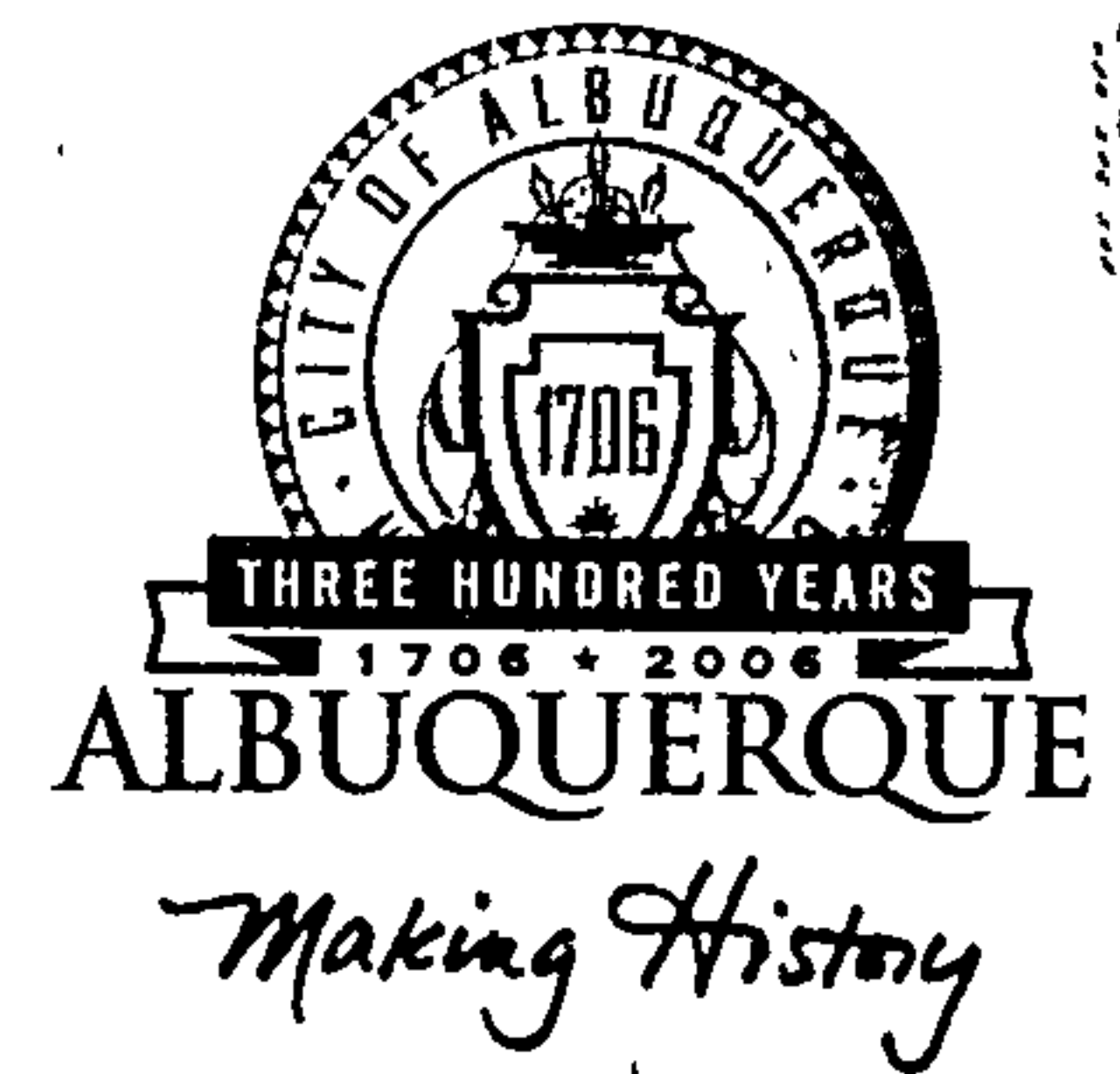
Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# CITY OF ALBUQUERQUE



September 8 , 2005

Eufracio Sabay, P.E.  
BJM Development Consultant  
8624 Casa Verde Ave NW  
Albuquerque, NM 87120

**Re: Melloy Nissan Paint Booth Addition  
Grading and Drainage Plan  
Engineer's Stamp dated 9-07-05 (J19-D83)**

Dear Mr. Sabay,

Based upon the information provided in your submittal received 9-07-05, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. **Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.**

P.O. Box 1293

Albuquerque

If you have any questions, you can contact me at 924-3695.

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Rudy E. Rael Assoc. Engineer  
Planning Department.  
Development and Building Services

RLB

C: File



## DRAINAGE INFORMATION SHEET

(B.P. already in process)  
sub

PROJECT TITLE: MELLOY NISSAN PAINT BOOTH ADDITION  
DRB #: PC#: N/A

ZONE MAP/DRG. FILE # J19-D 83  
WORK ORDER#:

LEGAL DESCRIPTION: NORTH 160' OF BLOCK G OF THE MESA DEL NORTE HEIGHTS ADDITION NO. 2  
CITY ADDRESS: 815 PENNSYLVANIA N.E.

ENGINEERING FIRM: BJM DEVELOPMENT CONSULTANT  
ADDRESS: 8624 CASA VERDE AVE. N.W.  
CITY, STATE: Albuquerque, New Mexico

CONTACT: BERNIE J. MONTOYA  
PHONE: 250-7719  
ZIP CODE: 87120

OWNER: MELLOY BROTHERS  
ADDRESS:  
CITY, STATE: Albuquerque, New Mexico

CONTACT:  
PHONE:  
ZIP CODE:

ARCHITECT JIM MILLER & ASSOCIATES

CONTACT: JIM MILLER

ADDRESS:  
CITY, STATE:

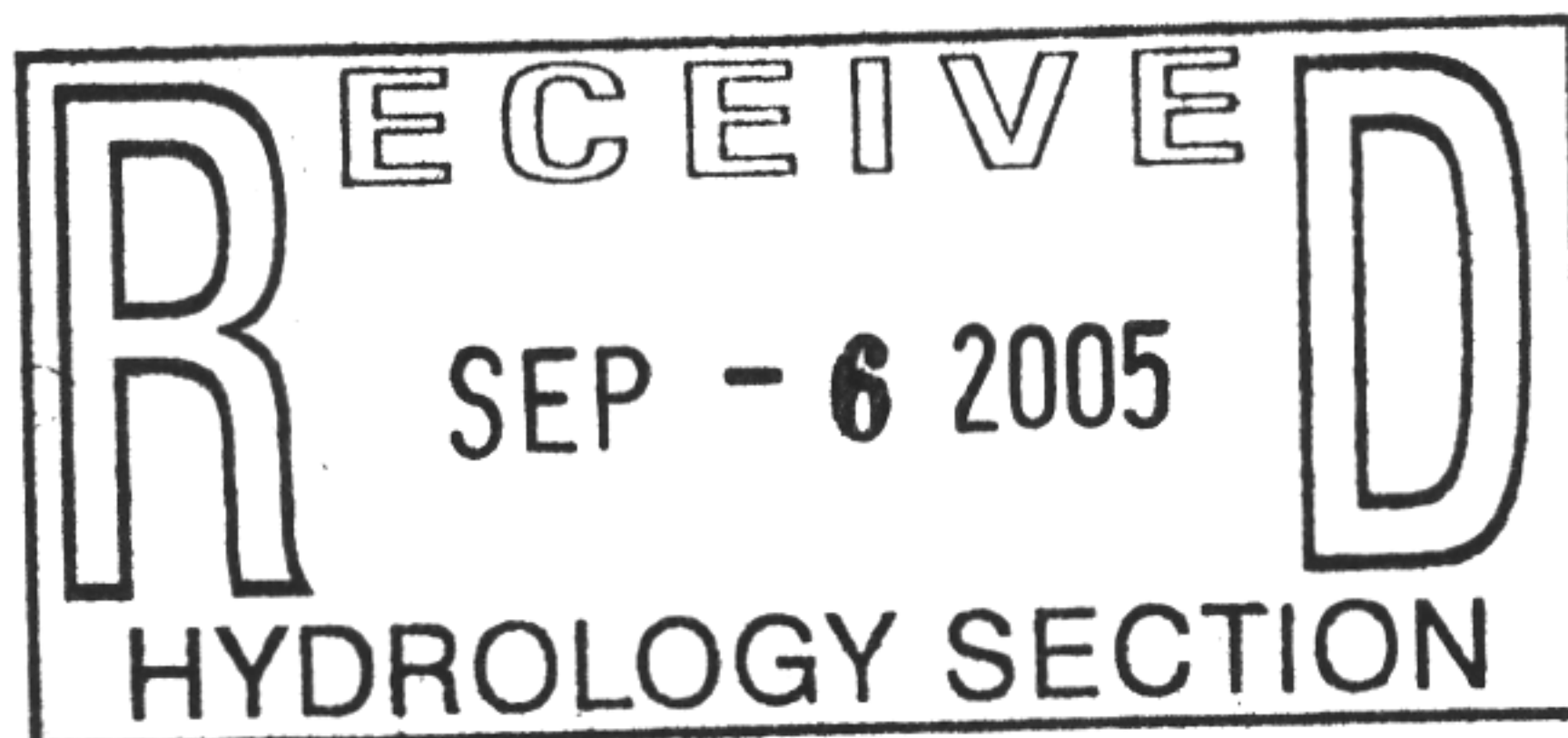
PHONE: 345-1312  
ZIP CODE:

SURVEYOR: N/A  
ADDRESS:  
CITY, STATE:

CONTACT:  
PHONE:  
ZIP CODE:

CONTRACTOR: N/A  
ADDRESS:  
CITY, STATE:

CONTACT:  
PHONE:  
ZIP CODE:



### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ CLOMR/LOMR
- ☐ OTHER

### WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

### CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

DATE SUBMITTED: 9/3/05 BY: Bernie Montoya

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

Fee paid - \$50.00