

# CITY OF ALBUQUERQUE

*Planning Department*  
Suzanne Lubar, Director



*Mayor Richard J. Berry*

October 26, 2016

Fred C. Arfman, P.E.  
Isaacson & Arfman, PA  
128 Monroe St NE  
Albuquerque, NM 87108

**Re:**

**Alice King Charter School**  
**Request Permanent C.O. - Accepted**  
**Engineer's Stamp dated: 8-5-16 (J19D085)**  
**Certification dated: 10-25-16**

PO Box 1293

Albuquerque

Dear Mr. Arfman,

Based upon the information provided in your submittal received 10/25/2016, the above referenced Certification received is acceptable for the release of permanent Certificate of Occupancy by Hydrology.

New Mexico 87103

If you have any questions, you can contact me at 924-3686 or Totten Elliott at 924-3982.

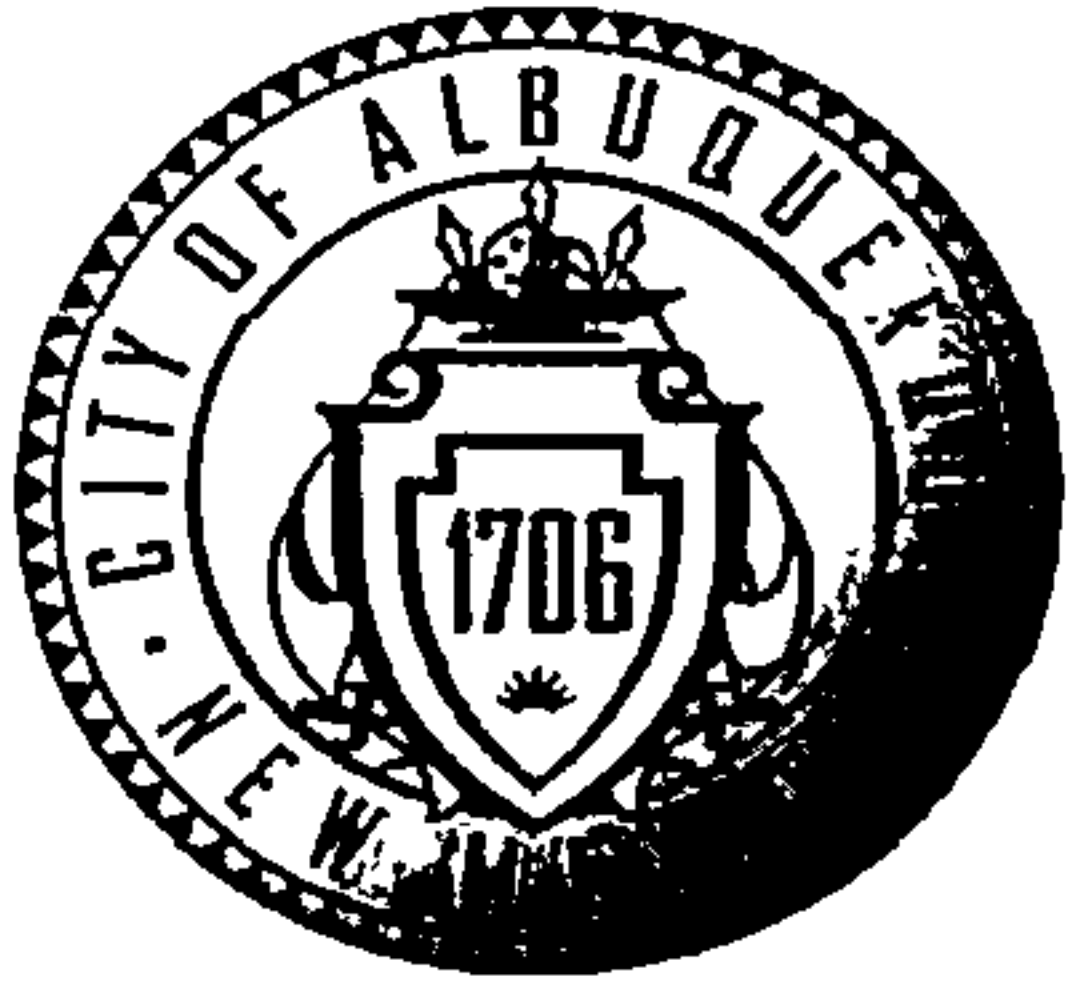
[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Abiel Carrillo, P.E.,  
Principal Engineer, Planning Department  
Development and Review Services

TE/AC

C: email, Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker, Lois



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Alice King Charter School Building Permit #: \_\_\_\_\_ City Drainage #: J19D085

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Lot 1, Mesa Del Norte Heights Addition Unit 11

City Address: 8100 Mountain Road Place NE - Albuquerque, NM 87110

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred C. Arfman

Address: 128 Monroe Street NE - Albuquerque, NM 87108

Phone#: (505) 268-8828 Fax#: \_\_\_\_\_ E-mail: freda@iacivil.com

Owner: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Other Contact: Wayjohn Surveying, Inc. Contact: Thomas D. Johnston

Address: 330 Louisiana Blvd. NE - Albuquerque, NM 87108

Phone#: (505) 255-2052 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY

### TYPE OF SUBMITTAL:

- ☒ ENGINEER ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN

☒ GRADING PLAN

☐ DRAINAGE MASTER PLAN

☐ DRAINAGE REPORT

☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) \_\_\_\_\_

☐ PRELIMINARY PLAT APPROVAL

☐ SITE PLAN FOR SUB'D APPROVAL

☐ SITE PLAN FOR BLDG. PERMIT APPROVAL

☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE

☐ FOUNDATION PERMIT APPROVAL

☐ GRADING PERMIT APPROVAL

☐ SO-19 APPROVAL

☐ PAVING PERMIT APPROVAL

☐ GRADING/ PAD CERTIFICATION

☐ WORK ORDER APPROVAL

☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING

☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: October 25, 2016 By: Fred C. Arfman

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

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## Alice King Elementary School - As-built Engineer's Certification of Substantial Compliance

1 message

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**Bryan Bobrick** <bryanb@iacivil.com>  
To: COA Planning Development Review Services <PLNDRS@cabq.gov>

Tue, Oct 25, 2016 at 11:20 AM

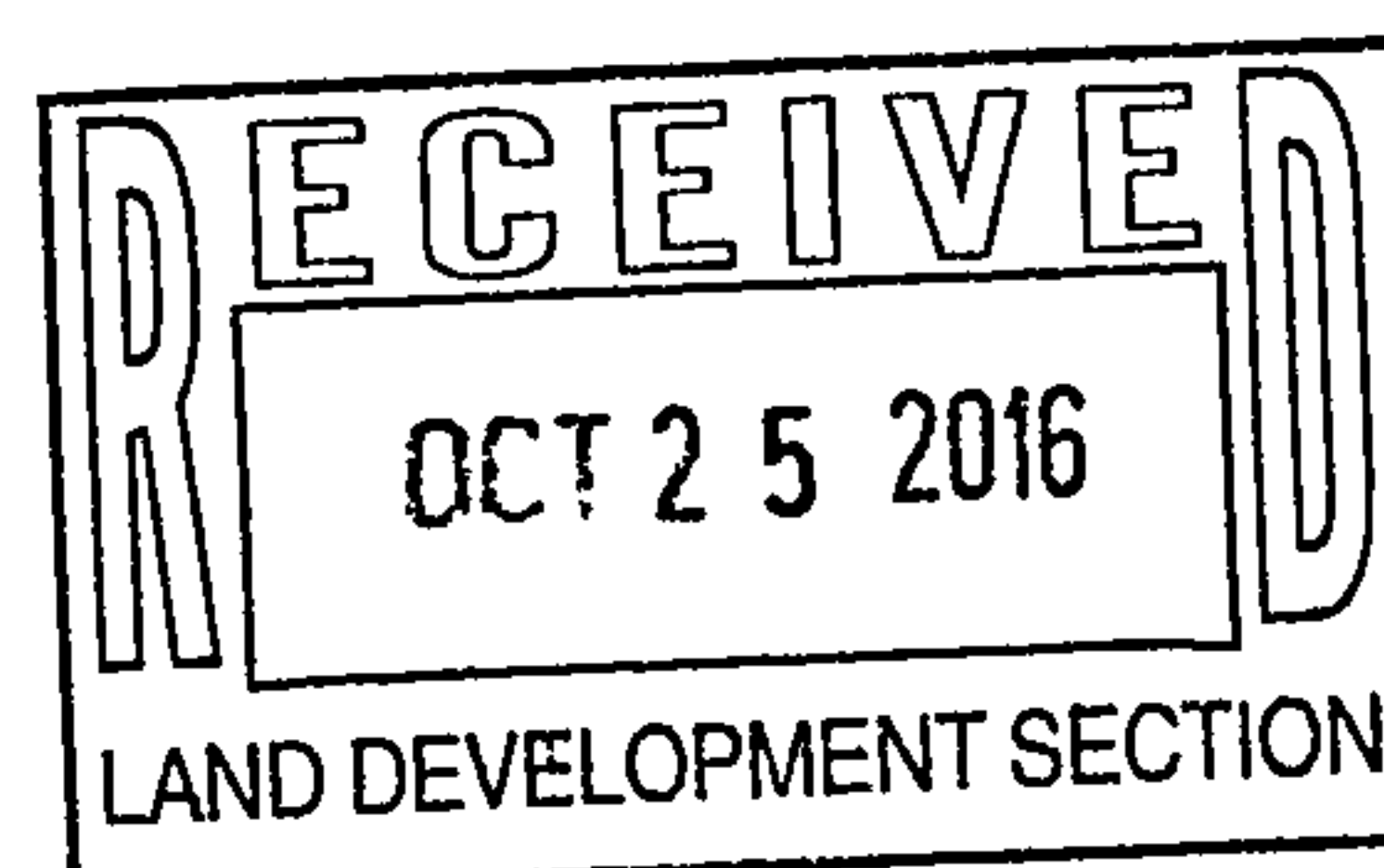
**Bryan Bobrick**  
**Isaacson & Arfman, P.A.**  
128 Monroe N.E.  
Albuquerque, NM 87108  
(505) 268-8828

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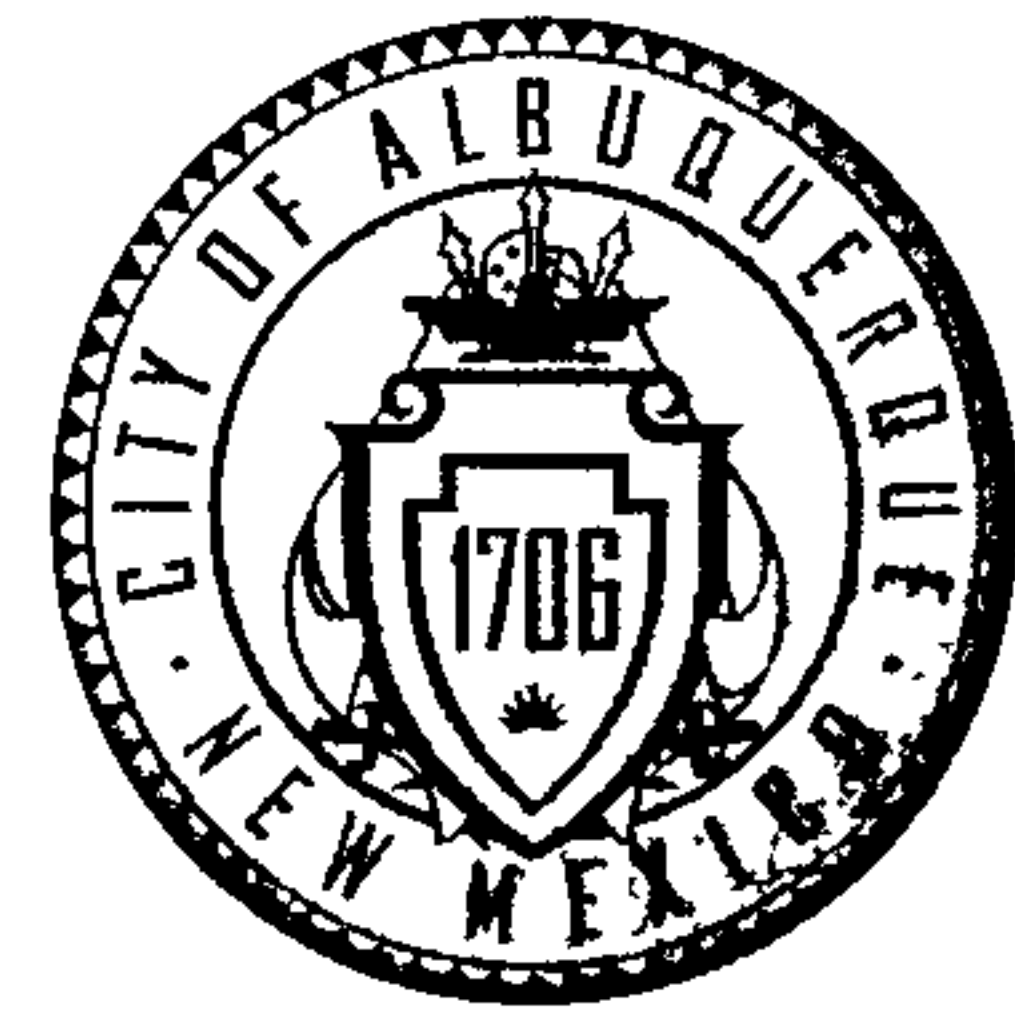
### 2 attachments

 **2157 AS-BUILT SHEET CG-101.pdf**  
2096K

 **2157 AS-BUILT SHEET CG-501.pdf**  
1332K



# CITY OF ALBUQUERQUE



September 22, 2016

Richard J. Berry, Mayor

Fred C. Arfman  
Isaacson & Arfman, P.A.  
128 Monroe Street NE  
Albuquerque, NM, 87108

**RE: Alice King Charter School  
Grading and Drainage Plan  
Engineer's Stamp Date 4-19-2016 (File: J19D085)  
Updated Plan Stamp Date 8-3-2016**

Dear Mr. Arfman:

Based upon the information provided in your submittal received 8-4-2016, the above-referenced plan is re-approved for SO-19 Permit and Building Permit.

PO Box 1293

Please attach a copy of this approved plan in the construction sets when submitting for a building permit, if a new one is needed. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

If you have any questions, you can contact me at 924-3986.

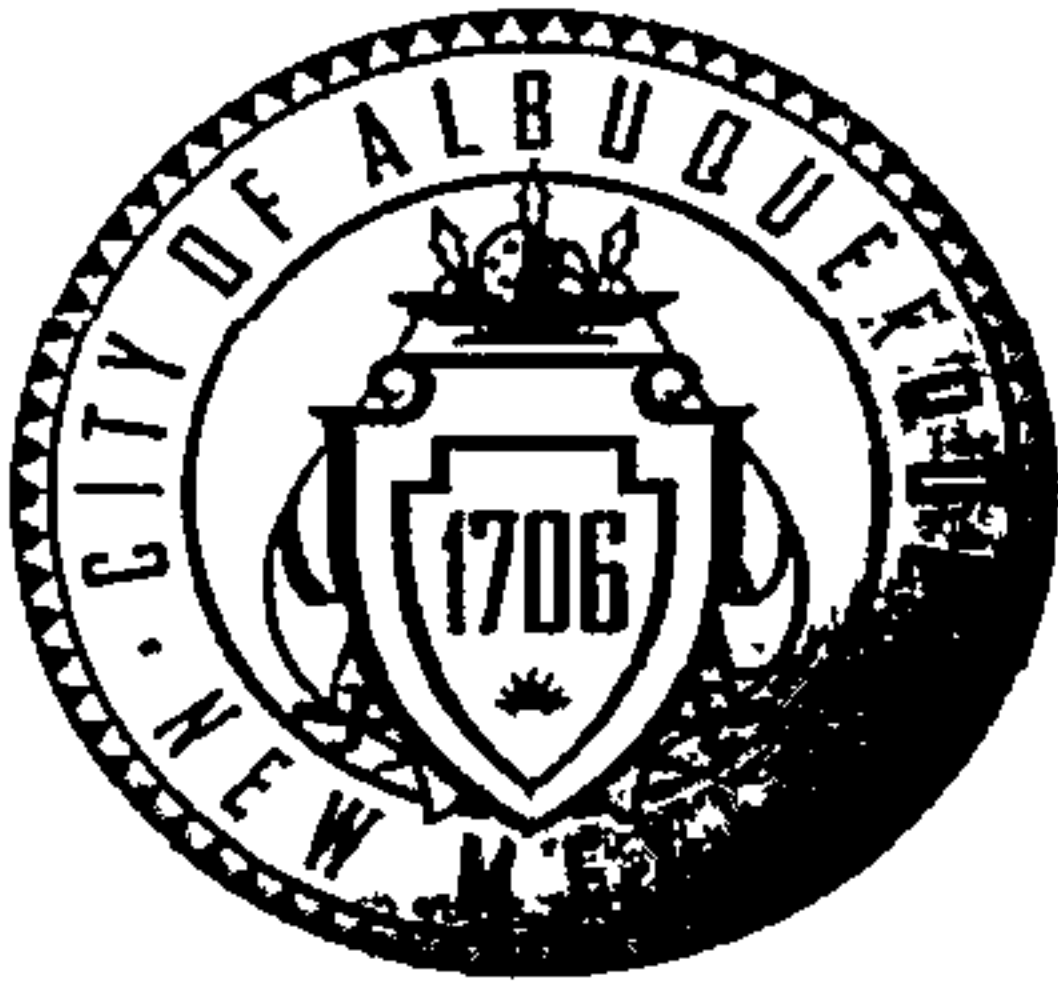
New Mexico 87103

Sincerely,

www.cabq.gov

Abiel Carrillo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

Orig: Drainage file



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

J19D 085

Project Title: Alice King Charter School Building Permit #: \_\_\_\_\_ City Drainage #: J-19

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Lot 1, Mesa Del Norte Heights Addition Unit 11

City Address: 8100 Mountain Road Place NE - Albuquerque, NM 87110

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred C. Arfman

Address: 128 Monroe Street NE - Albuquerque, NM 87108

Phone#: (505) 268-8828 Fax#: \_\_\_\_\_ E-mail: freda@iacivil.com

Owner: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Other Contact: Wayjohn Surveying, Inc. Contact: Thomas D. Johnston

Address: 330 Louisiana Blvd. NE - Albuquerque, NM 87108

Phone#: (505) 255-2052 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

- ☐ ENGINEER ARCHITECT CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

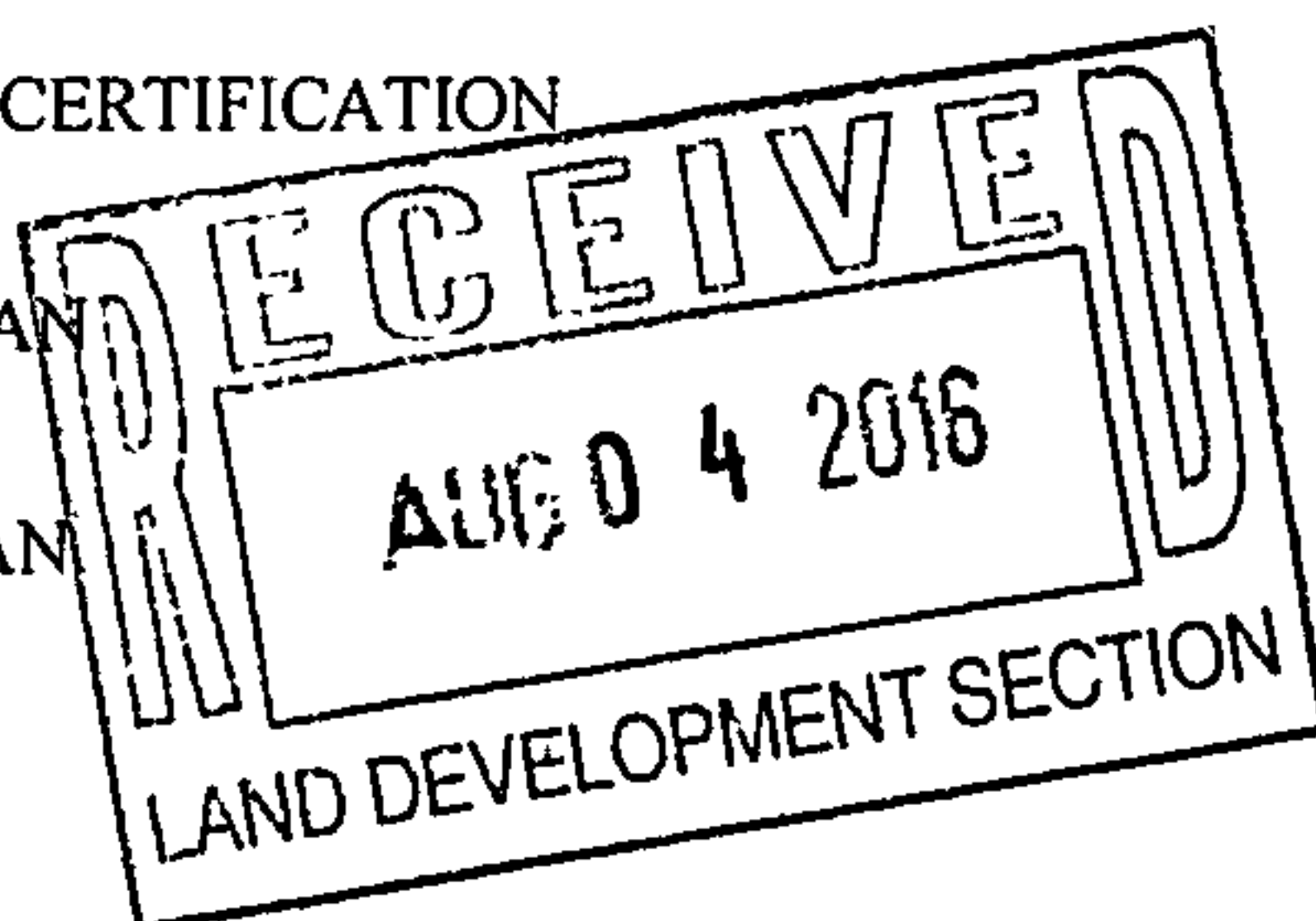
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: August 4, 2016 By: Fred C. Arfman

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

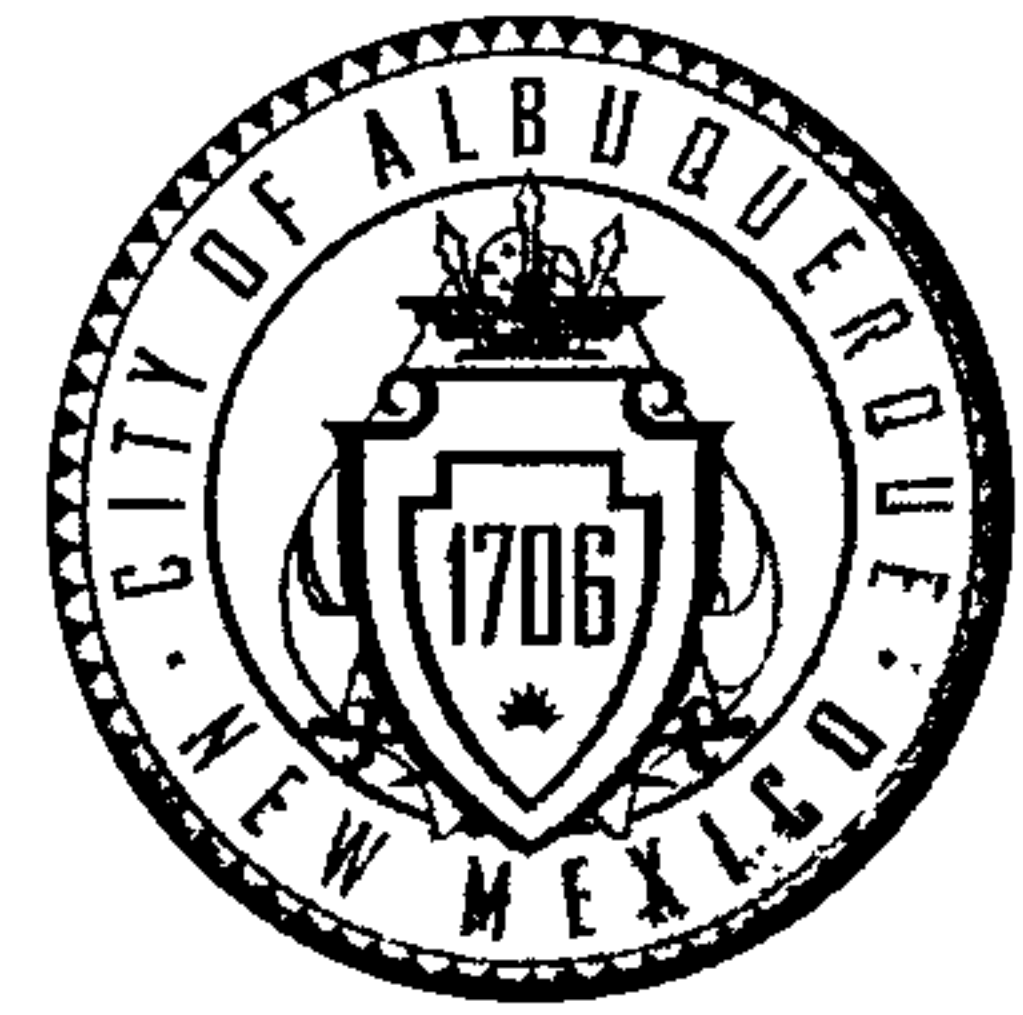
- ☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☒ SO-19 APPROVAL UPDATED  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_



COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



# CITY OF ALBUQUERQUE



June 6, 2016

Richard J. Berry, Mayor

Fred C. Arfman  
Isaacson & Arfman, P.A.  
128 Monroe Street NE  
Albuquerque, NM, 87108

**RE: Alice King Charter School  
Grading and Drainage Plan  
Engineer's Stamp Date 4-19-2016 (File: J19D085)**

Dear Mr. Arfman:

Based upon the information provided in your submittal received 10-23-2015, the above-referenced plan is approved for SO-19 Permit and Building Permit

PO Box 1293 Please attach a copy of this approved plan in the construction sets when submitting for a building permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque If you have any questions, you can contact me at 924-3986.

New Mexico 87103

Sincerely,

[www.cabq.gov](http://www.cabq.gov)

Abiel Carrillo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

Orig: Drainage file



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Alice King Charter School Building Permit #: \_\_\_\_\_ City Drainage #: J-19 D085

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Lot 1, Mesa Del Norte Heights Addition Unit 11

City Address: 8100 Mountain Road Place NE - Albuquerque, NM 87110

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred C. Arfman

Address: 128 Monroe Street NE - Albuquerque, NM 87108

Phone#: (505) 268-8828 Fax#: \_\_\_\_\_ E-mail: freda@iacivil.com

Owner: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Other Contact: Wayjohn Surveying, Inc. Contact: Thomas D. Johnston

Address: 330 Louisiana Blvd. NE - Albuquerque, NM 87108

Phone#: (505) 255-2052 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

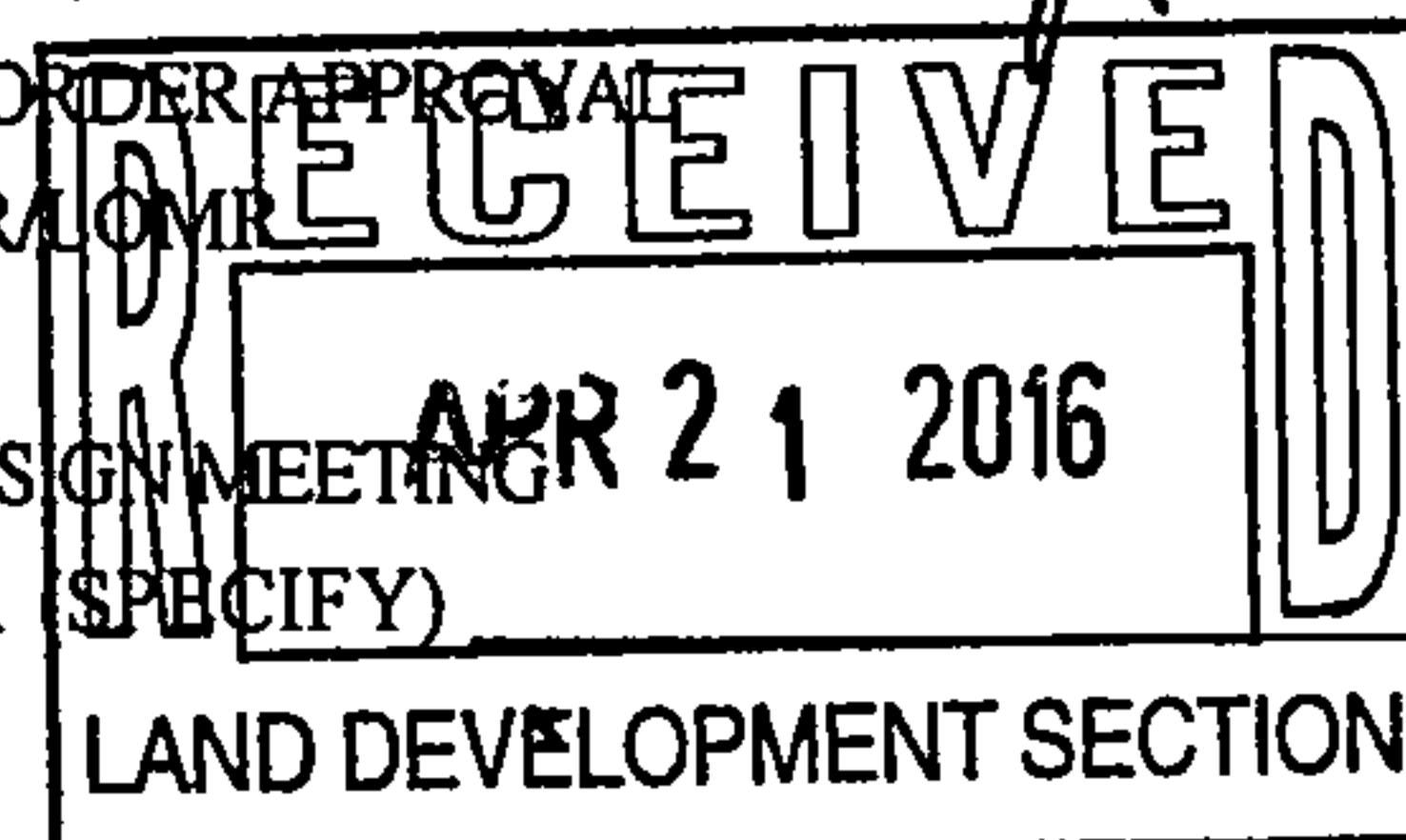
### TYPE OF SUBMITTAL:

- ☐ ENGINEER ARCHITECT CERTIFICATION  
  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☒ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
  
☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_



DATE SUBMITTED: April 20, 2016 By: Fred C. Arfman

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

## Abiel X. Carrillo

---

**From:** Abiel X. Carrillo  
**Sent:** Monday, April 04, 2016 11:57 AM  
**To:** Fred Arfman  
**Cc:** Michel, Racquel M.  
**Subject:** J19D085 - Alice King Charter School

*Received 3/3/2014*

Fred,

Based on information proposed in the Conceptual Grading Plan for the above-referenced project, the proposed improvements are conceptually approved. Prior to approval for Building Permit, the following comments will need to be addressed:

1. Coordinate the possible need for a TCL and a NIA with Transportation Development.
2. Ensure that the new dumpster enclosure area is connected to an SAS if possible.
3. The site generally drains to the Northwest, so an overflow sidewalk culvert spillway would be needed for the north westernmost first flush pond (through SO-19 Permit).
4. The Drainage Plan needs to include a comparison of existing vs proposed hydrologic conditions.
5. Please stamp and date the 'Final' plan.

Any question just let me know.

### Abiel Carrillo, P.E.

Principal Engineer - Hydrology  
Planning Department  
Development Review Services Division  
City of Albuquerque  
505-924-3986  
[acarrillo@cabq.gov](mailto:acarrillo@cabq.gov)  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102



Review Meeting Requested



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

J190085

Project Title: Alice King Charter School Building Permit #: \_\_\_\_\_ City Drainage #: J-19

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Lot 1, Mesa Del Norte Heights Addition Unit 11

City Address: 8100 Mountain Road Place NE - Albuquerque, NM 87110

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred C. Arfman

Address: 128 Monroe Street NE - Albuquerque, NM 87108

Phone#: (505) 268-8828 Fax#: \_\_\_\_\_ E-mail: freda@iacivil.com

Owner: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Other Contact: Wayjohn Surveying, Inc. Contact: Thomas D. Johnston

Address: 330 Louisiana Blvd. NE - Albuquerque, NM 87108

Phone#: (505) 255-2052 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

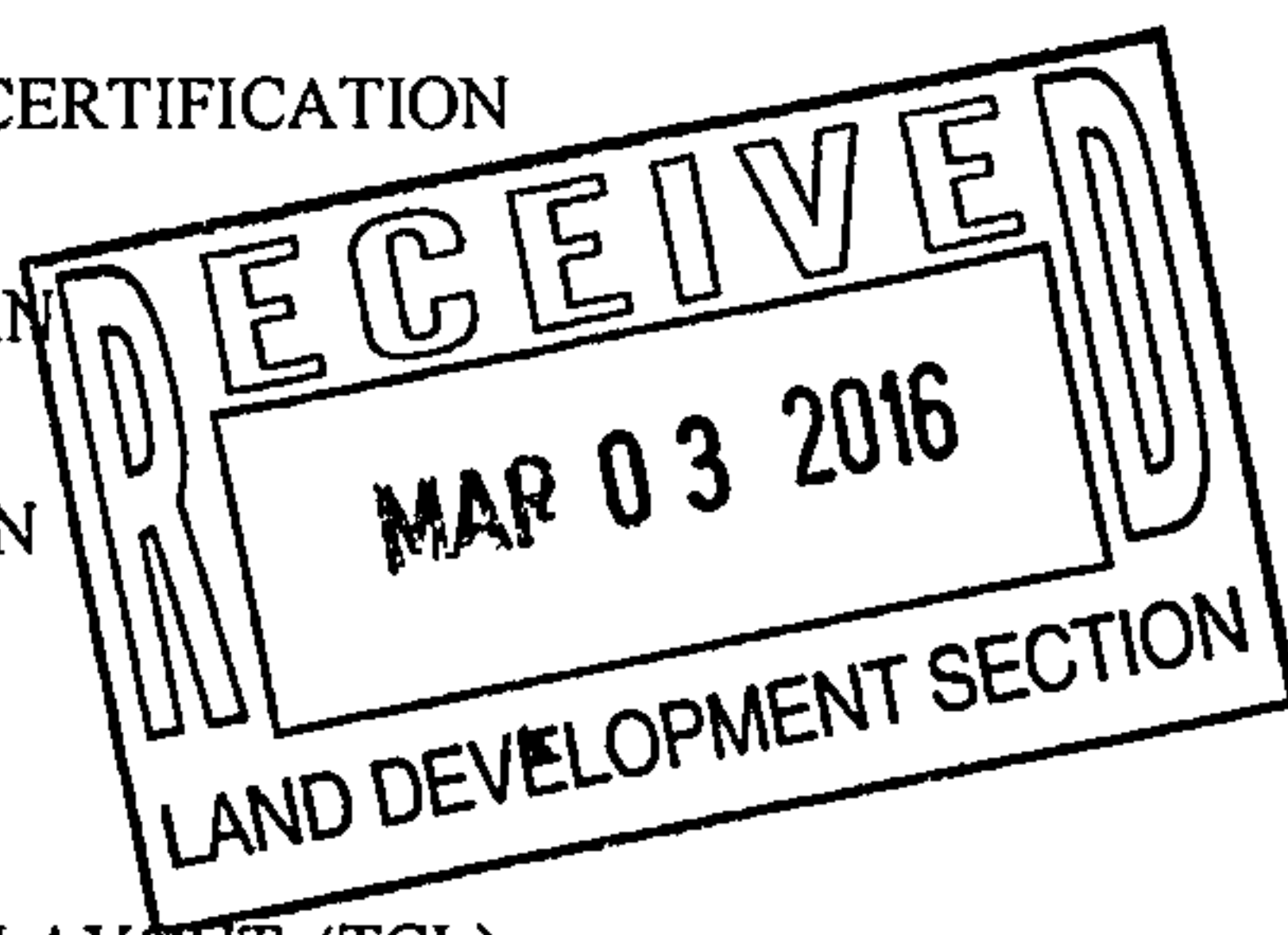
- ☐ ENGINEER ARCHITECT CERTIFICATION  
☒ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

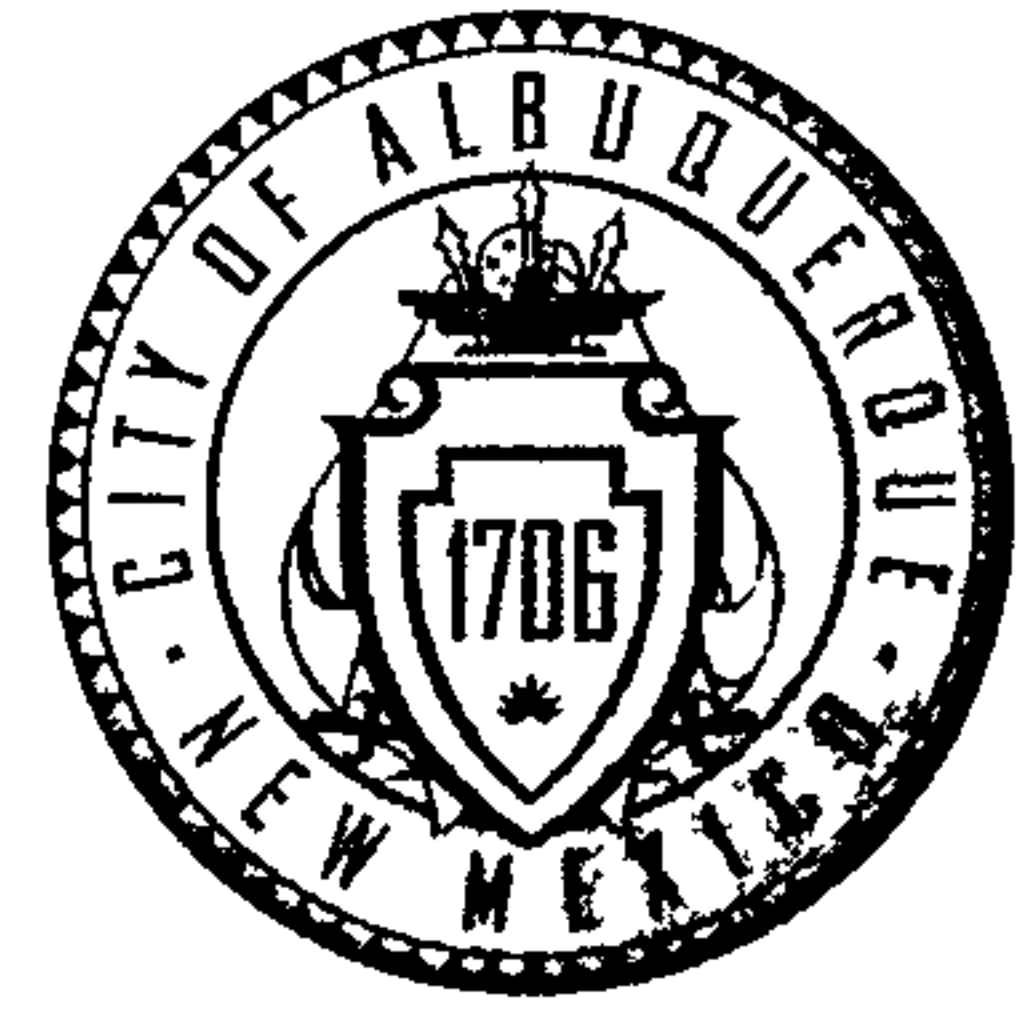
- ☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_



DATE SUBMITTED: March 3, 2016 By: Fred C. Arfman

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

# CITY OF ALBUQUERQUE



October 26, 2016

Michelle Negrette R.A.  
Strata Design  
711 Amherst SE  
Albuquerque, NM 87106

**Re: Alice King Community Charter School - 8100 Mountain Rd NE**  
**Request for Certificate of Occupancy- Transportation Development**  
Architect's Stamp dated 6-27-16 (J19D085)  
Certification dated 10-23-16

Dear Ms. Negrette,

Based upon the information provided in your submittal received 10-24-16, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505) 924-3981.

Sincerely,

Monica Ortiz  
Plan Checker, Transportation & Hydrology  
Development Review Services

PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

mao via: email  
C: CO Clerk, File



I, Michelle Allison, NMRA of the firm Strata Design, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved plan dated 6.27.2016. The record information edited onto the original design document has been edited onto the original design document has been obtained by Michelle Allison of the firm Strata Design. I further certify that I have personally visited the project site on October 21, 2016 and have determined by visual inspection that the survey date provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

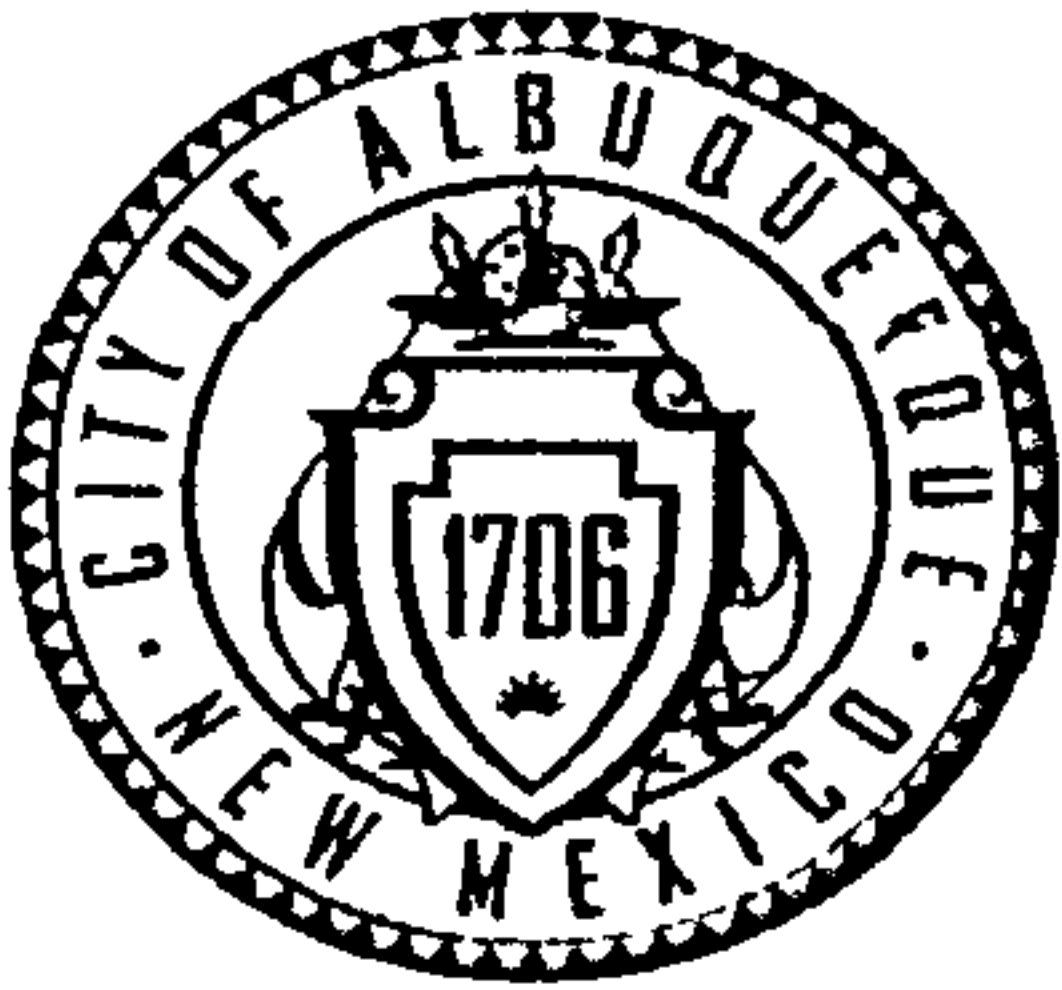
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Sincerely,

Michelle Negrette  
Strata Design, LLC  
505.710.4221







# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: ALICE KING COMMUNITY SCHOOL Building Permit #: T201691123 City Drainage #: J190005

DRB#: 4 EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: LOTS numbered (1) of the plat of Mesa del Norte Heights no(11)

City Address: 8100 MOUNTAIN RD NE

Engineering Firm: Isaacson + Arfman Engineering Contact: \_\_\_\_\_

Address: 128 Monroe NE

Phone#: 505.268.8828 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Owner: Alice King Community School Foundation Contact: Josh Allison

Address: 8009 Mountain RD NE

Phone#: 505.259.2124 Fax#: \_\_\_\_\_ E-mail: allisojo@gmail.com

Architect: Strata Design LLC Contact: ~~Michelle Allison~~

Address: 711 Amherst SE A16g. 10M 87106

Phone#: 505.710.4221 Fax#: \_\_\_\_\_ E-mail: mdregreth@mac.com

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE  
☒ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY

### TYPE OF SUBMITTAL:

- ☒ ENGINEER/ ARCHITECT CERTIFICATION

- ☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR

- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) \_\_\_\_\_

- ☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR

- ☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

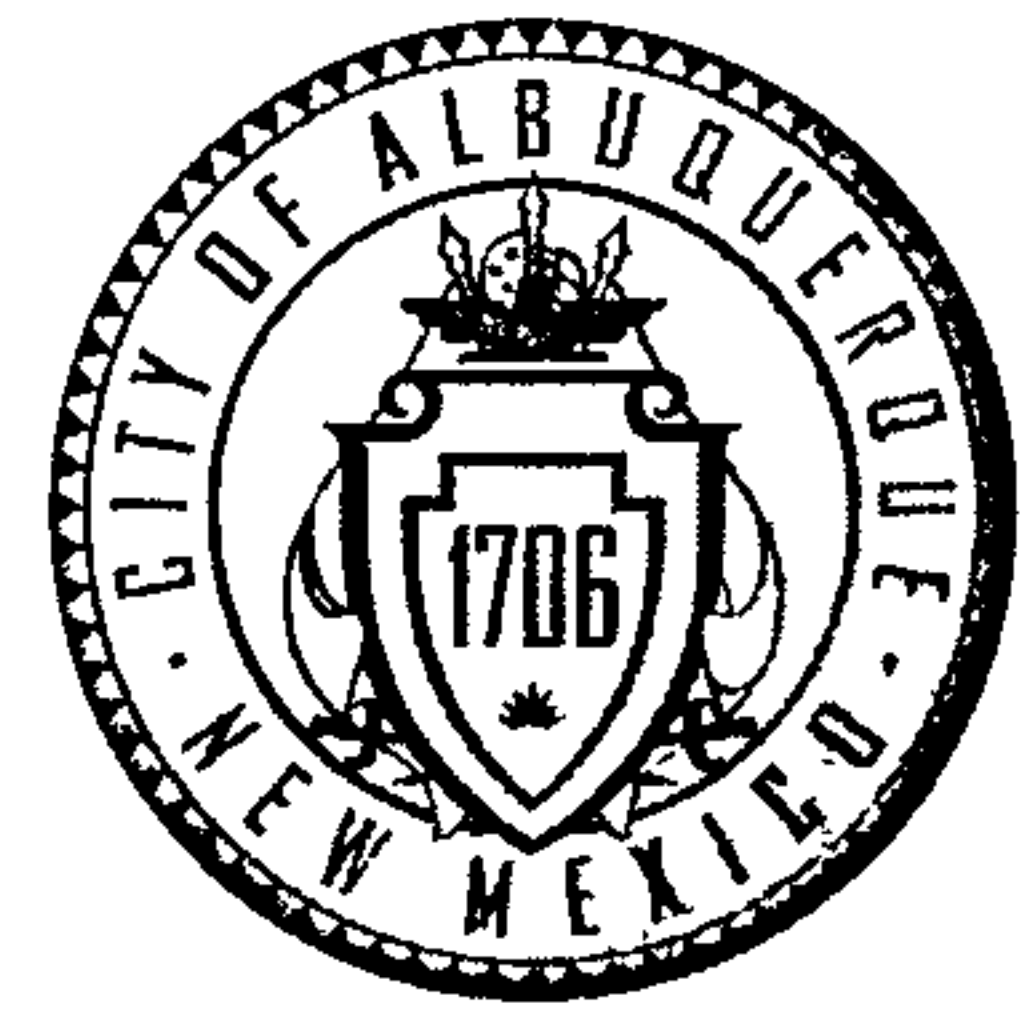
IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: Oct. 23, 2016 By: Michelle Allison

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



# CITY OF ALBUQUERQUE



July 5, 2016

Michelle Negrette  
Strata Design  
711 Amherst SE  
Albuquerque, NM

**Re: Alice King Community School**  
**8100 Mountain Rd NE**  
**Traffic Circulation Layout**  
Engineer's/Architect's Stamp dated 6-27-16 (J19-D085)

Dear Ms. Negrette,

The TCL submittal received 7-5-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

\gs via: email  
C: CO Clerk, File





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: ALICE KING COMMUNITY SCHOOL Building Permit #: T201691123 City Drainage #: JAD085  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: LOT 1 MESA DEL NORTE HEIGHTS, NO 11 BLOCK "A"  
City Address: 8100 MOUNTAIN RD NE

Engineering Firm: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Owner: ALICE KING COMMUNITY FOUNDATION Contact: JOSH ALLISON  
Address: 8009 MOUNTAIN PUEBLO NE ALBU  
Phone#: 259.2124 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: STRATE DESIGN Contact: MICHELLE NEGETTE  
Address: 711 AMHERST SE  
Phone#: 710.4221 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

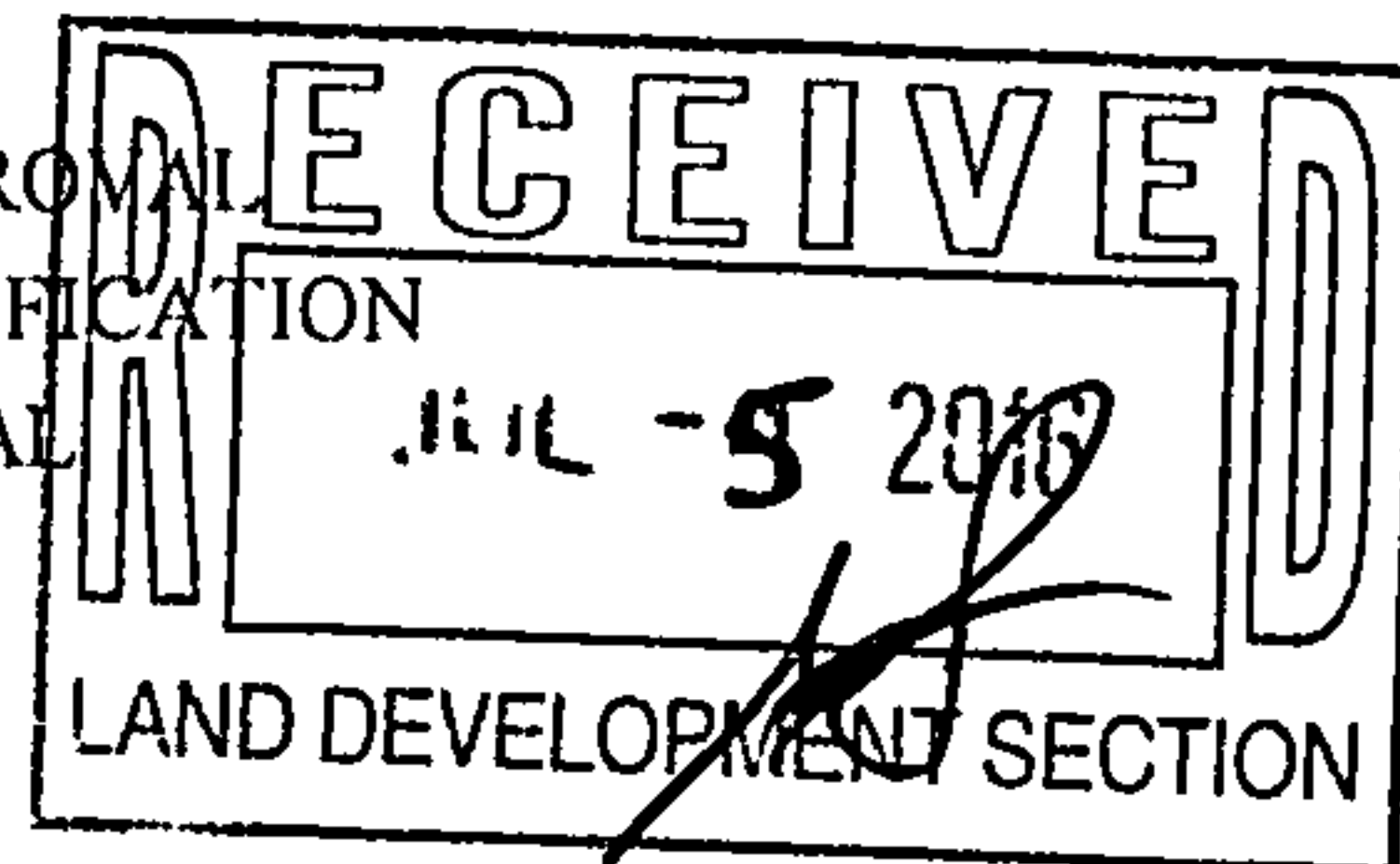
- ☐ HYDROLOGY/ DRAINAGE  
☒ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION  
  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
  
☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
  
☐ PRELIMINARY PLAT APPROVAL  
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☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
  
☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_



IS THIS A RESUBMITTAL? ☒ Yes ☐ No

DATE SUBMITTED: July 5, 2016 By: Michelle Negrette

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

**Michel, Racquel M.**

---

**From:** Michelle Allison <mnegrett@mac.com>  
**Sent:** Tuesday, July 05, 2016 11:18 AM  
**To:** Michel, Racquel M.  
**Subject:** Alice King Community School

Dear Raquel Michel,

We understand that the location of the dumpster at Alice King Community School requires the trash truck to back up into Mountain Road Place, which could pose safety issues. The dumpster location is the historic dumpster location, and has been approved by Solid Waste for trash pick up. Due to site constraints which limit the ability of the trash vehicle to maneuver on site, we have no alternative but to continue to locate the dumpster at its historic location.

Thank you for your understanding of our issue,

Michelle Negrette,

Strata Design, LLC  
505.710.4221





## Legend

- ☐ Bernalillo County Parcels
- Primary Streets**
  - Urban Principal Arterial
  - BN and SF Railroad
  - Freeway
  - Urban Minor Arterial
- Other Streets**
- Municipal Limits**
  - Corrales
  - Edgewood
  - Los Ranchos
  - Rio Rancho
  - Tijeras
  - UNINCORPORATED
- World Street Map

## Notes

0.0 0 0.02 0.0 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
7/5/2016 © City of Albuquerque

This map is a user generated static output from [www.cabq.gov/gis](http://www.cabq.gov/gis) and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR LEGAL PURPOSES



# CITY OF ALBUQUERQUE



June 28, 2016

Michelle Negrette  
Strata Design  
711 Amherst SE  
Albuquerque, NM 87106

**Re: Alice King Community Charter School  
8100 Mountain Rd NE  
Traffic Circulation Layout  
Engineer's/Architect's Stamp (Not Stamped) (J19-D085)**

Dear Ms. Negrette,

Based upon the information provided in your submittal received 6-27-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Clarify the extents of the current phase. Please detail the proposed additions to the parcel.
2. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
3. Per the Development Process Manual, Chapter 27 Drafting Standards, "Standard sheets must be 24" by 36" having a margin of 2' along the left and 1" on the top and bottom". Please submit a clear drawing upon resubmittal.
4. A scale of 1"=20' is recommended for sites less than 5 acres.
5. Please identify all existing buildings, structures, sidewalks, curbs, ADA ramps, drive pads, walls and anything that influences the parking and circulation on the site.
6. Identify all existing access easements and rights of way width dimensions.
7. Identify the right of way width, medians, curb cuts, and street widths on Mountain Rd. Place and Mountain Rd.
8. The handicap accessible spaces must be a minimum of 8.5 ft. in width.
9. The handicap accessible spaces must include an 8 ft. wide van access aisle; all other aisles should be 5 ft. in width. In review of the submitted drawing, an 8 ft. van access isle is not provided.
10. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of HC signs. Please show a detail of signage.
11. Show all drive aisle widths and radii.

PO Box 1293

Albuquerque

New Mexico 87103

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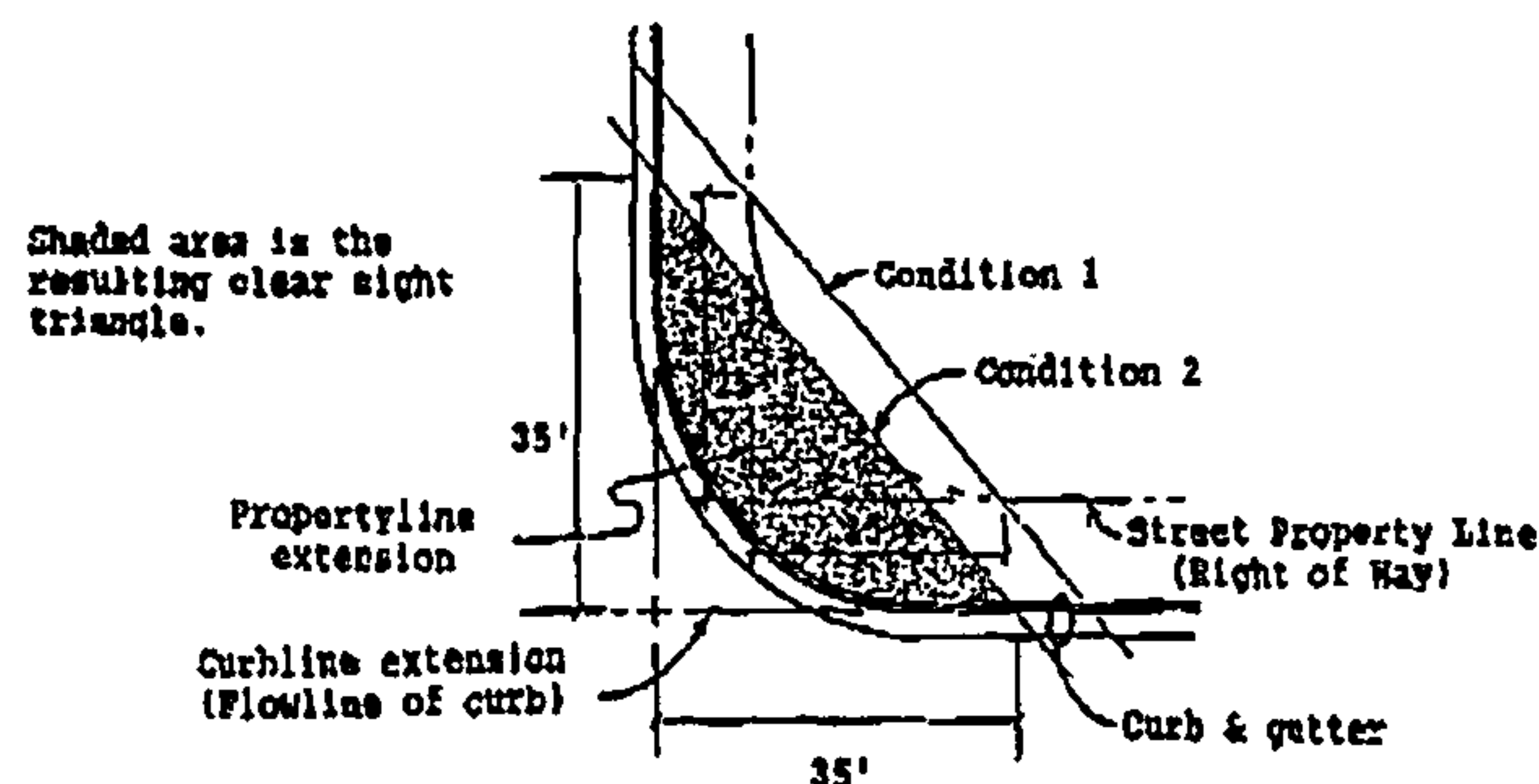
12. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details. In review of the submitted drawing, the ADA pathway cannot be accessed from the drive pad on the north side of the property off of Mountain Road Plc. This drive pad is also used for refuse pick up, posing a possible safety hazard.
13. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please call out detail and location of barrier curb.
14. Design delivery vehicle route needs to be shown.
15. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval. In review of the submitted drawing, the refuse vehicle should not have to back up into the street after pick up. Please relocate refuse container.
16. It appears that the drive pad at the north east corner of the parcel is no longer required, since there is to be structure placed in that corner. If this is the case, please remove drive pad and replace with standard curb and gutter per COA standards.
17. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance*). Please call out this detail at the north east corner of the project site, if the drive pad is to be utilized.

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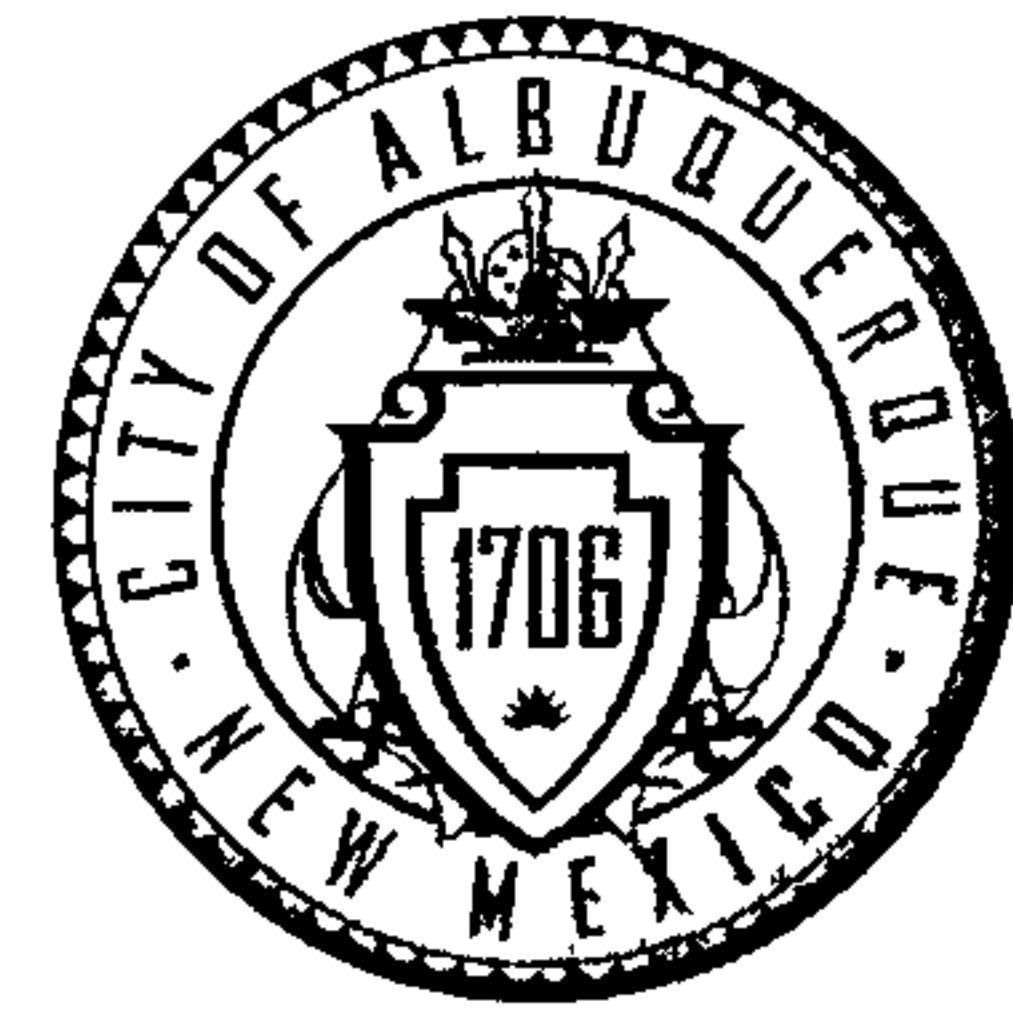
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18. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
19. Please specify the City Standard Drawing Number when applicable.
20. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."



# CITY OF ALBUQUERQUE



21. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
22. All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
23. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Sincerely,

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

PO Box 1293

Albuquerque

\gs via: email  
C: CO Clerk, File

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Alice King Community Charter School Building Permit #: 1201691123 City Drainage #: J19D0P5  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
 Legal Description: SE 1/4 SECTION 18, TOWNSHIP 10 NORTH, RANGE 3 EAST  
 City Address: 8100 Mountain RD NE ALBQ, 871  
 Engineering Firm: CL SAGGSON + Artman, P.A. Contact: Bryan Bobrick  
 Address: 128 Monroe NE ALBQ, NM 87108  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: Bryan6@icivil.com  
 Owner: Alice King Community School Foundation Contact: Josh Allison  
 Address: 8009 Mountain RD NE ALBQ, NM 871  
 Phone#: 505-710-4221 Fax#: 259-4129 E-mail: allisojo@gmail.com  
 Architect: STRATA DESIGN Contact: Michelle Negrette  
 Address: 711 Amherst SE ALBQ, NM 87106  
 Phone#: 505-710-4221 Fax#: \_\_\_\_\_ E-mail: mnegrette@mac.com  
 Other Contact: MRWM Landscape Architects Contact: Aaron Zahn  
 Address: 210 La Veta NE ALBQ, NM 87108  
 Phone#: 505-268-2266 Fax#: 505-265-9637 E-mail: azahn@mrwmla.co

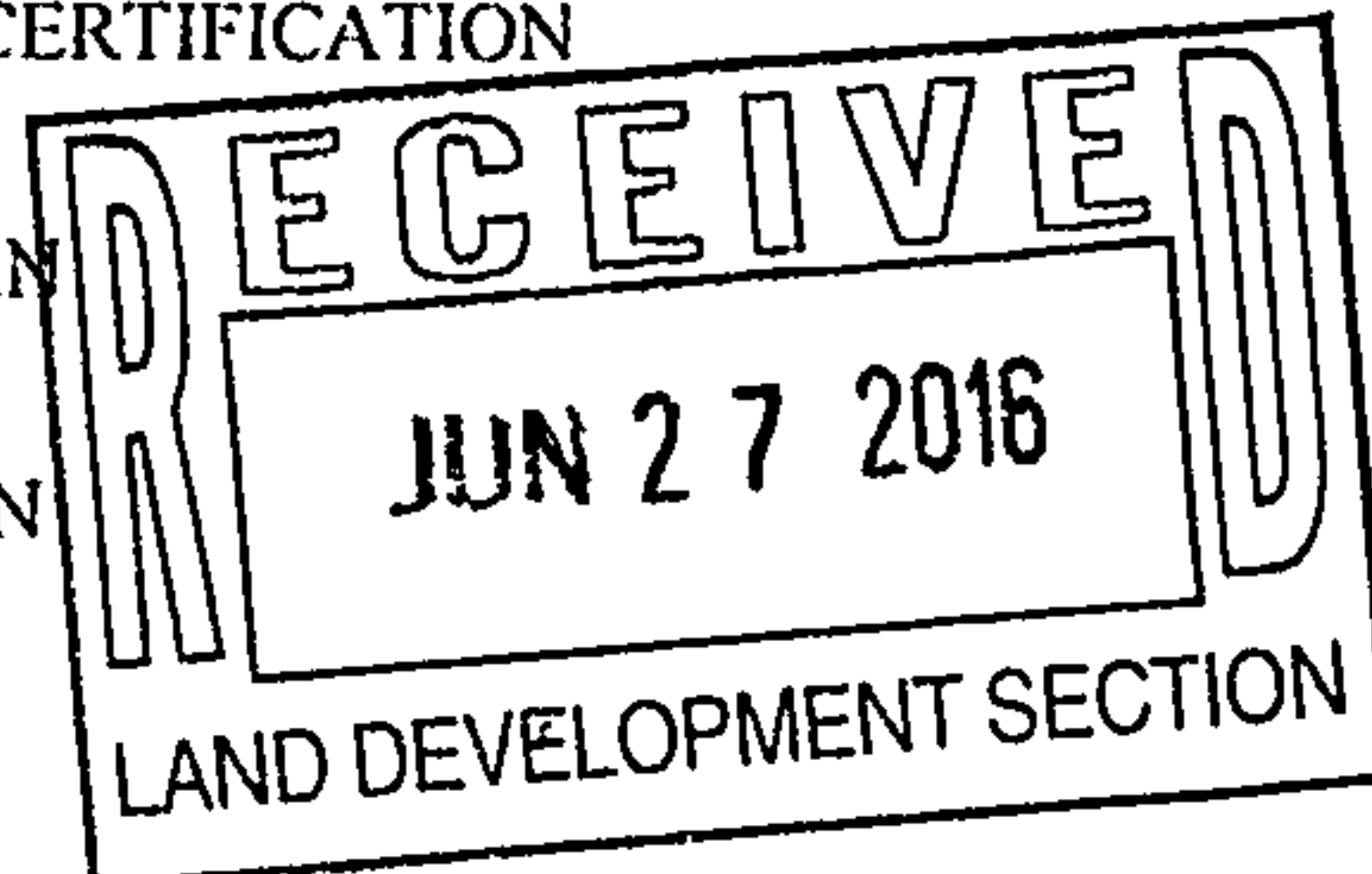
Check all that Apply:

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☐ CLOMR/LOMR  
☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: June 27, 2016 By: Michelle Allison

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

## EXECUTIVE SUMMARY OF PROJECT

Project is located at 8100 Mountain Road NE. Site is currently an approximately 40,000 sqft, 2 story office building with approximately 80 parking spaces. The concept for the site is for a change of occupancy for a public K-8 charter school with approximately 2,000 sqft addition, which utilizes the existing building foot print. Parking requirements are based on the number of staff and will be 40 spaces. 42 parking spaces have been provided. Traffic circulation on site will be reduced as a portion of the parking area has been converted to play area. All existing drive aprons will be maintained and used – two for parking access, 1 for dumpster and 1 for landscape maintenance access. No variances are required for this project and no traffic impact studies have been performed.

