Planning Department
Suzanne Lubar, Director



Mayor Richard J. Berry

October 26, 2016

Fred C. Arfman, P.E. Isaacson & Arfman, PA 128 Monroe St NE Albuquerque, NM 87108

Re:

Alice King Charter School Request Permanent C.O. - Accepted Engineer's Stamp dated: 8-5-16 (J19D085)

Certification dated: 10-25-16

PO Box 1293

Sincerely,

Dear Mr. Arfman,

Albuquerque

Based upon the information provided in your submittal received 10/25/2016, the above referenced Certification received is acceptable for the release of permanent Certificate of Occupancy by

New Mexico 87103 Hydrology.

If you have any questions, you can contact me at 924-3686 or Totten Elliott at 924-3982.

www.cabq.gov

Abiel Carrillo, P.E.,

Principal Engineer, Planning Department

Development and Review Services

TE/AC

C: email, Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker, Lois



COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: ____

City of Albuquerque

Planning Department

Development & Building Services Division

Project Title: Alice King Charter School DRB#: EPC#:	ding Permit #:	City Drainage #: J19D085 Work Order#:
Legal Description: Lot 1, Mesa Del Norte Heights Addition Unit 11		WOIR OIGCIT.
City Address: 8100 Mountain Road Place NE - Albuqerque, NM 87110		
Engineering Firm: Isaacson & Arfman, P.A.		Contact: Fred C. Arfman
Address: 128 Monroe Street NE - Albuquerque, NM 87108		- ·· f., d. O
Phone#: (505) 268-8828 Fax#:		E-mail: freda@iacivil.com
Owner:		Contact:
Address:		
Phone#: Fax#:		E-mail:
Architect:		Contact
Arcintect: Address:		Contact:
Phone#:		E-mail:
rax#.		E-man.
Other Contact: Wayjohn Surveying, Inc.		Contact: Thomas D. Johnston
Address: 330 Louisiana Blvd. NE - Albuquerque, NM 87108		
Phone#: (505) 255-2052 Fax#:		E-mail:
TRAFFIC CIRCULATION LAYOUT (TCL) TRAFFIC IMPACT STUDY (TIS) ENGINEER A SEDIMENT CONTROL X HYDROLOGY/ DRAINAGE TRAFFIC/TRANSPORTATION X X ENGINEER ARCHITECT CERTIFICATION CONCEPTUAL G & D PLAN	BUILDING PECERTIFICATION PRELIMINAR SITE PLAN FOR SITE PLAN FOR PLAN FINAL PLAT SIA/ RELEAS FOUNDATION GRADING PECERTIFICATION SO-19 APPROPRING PERE	E OF FINANCIAL GUARANTEE N PERMIT APPROVAL ERMIT APPROVAL OVAL MIT APPROVAL AD CERTIFICATION R APPROVAL
	_ PRE-DESIGN N _ OTHER (SPE	MEETING CIFY)
IS THIS A RESUBMITTAL?: Yes X No		
DATE SUBMITTED: October 25, 2016 By: Fred C. Arfi	man	



Consulting Engineering Associates

Alice King Elementary School - As-built Engineer's Certification of Substantial Compliance

1 message

Bryan Bobrick

 bryanb@iacivil.com>

Tue, Oct 25, 2016 at 11:20 AM

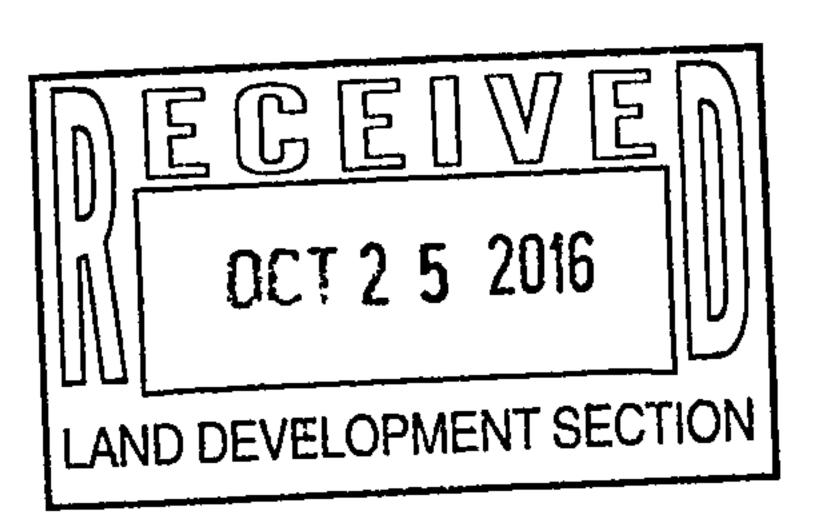
To: COA Planning Development Review Services <PLNDRS@cabq.gov>

Bryan Bobrick Isaacson & Arfman, P.A. 128 Monroe N.E. Albuquerque, NM 87108 (505) 268-8828

2 attachments



2157 AS-BUILT SHEET CG-501.pdf 1332K





September 22, 2016

Richard J. Berry, Mayor

Fred C. Arfman
Isaacson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM, 87108

RE: Alice King Charter School

Grading and Drainage Plan

Engineer's Stamp Date 4-19-2016 (File: J19D085)

Updated Plan Stamp Date 8-3-2016

Dear Mr. Arfman:

Based upon the information provided in your submittal received 8-4-2016, the above-referenced plan is re-approved for SO-19 Permit and Building Permit.

PO Box 1293

Please attach a copy of this approved plan in the construction sets when submitting for a building permit, if a new one is needed. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

If you have any questions, you can contact me at 924-3986.

New Mexico 87103

www.cabq.gov

Abiel Carrillo, P.E.

Sincerely,

Principal Engineer, Planning Dept.

Development Review Services

Orig: Drainage file



COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: ____

City of Albuquerque

Planning Department

Development & Building Services Division

Project Title: Alice King Charter School	Building Permit #:	City Drainage #: J-19
DRB#:		Work Order#:
Legal Description: Lot 1, Mesa Del Norte Heights Addition Unit 11		
City Address: 8100 Mountain Road Place NE - Albuqerque, NM 87	110	
Engineering Firm: Isaacson & Arfman, P.A.	<u> </u>	Contact: Fred C. Arfman
Address: 128 Monroe Street NE - Albuquerque, NM 87108		
Phone#: (505) 268-8828 Fax#:	· · · · · · · · · · · · · · · · · · ·	E-mail: <u>freda@iacivil.com</u>
Owner:		Contact:
Address:		
Phone#: Fax#:		E-mail:
Architect:	<u> </u>	Contact:
Address:		
Phone#: Fax#:		E-mail:
Other Contact: Wayjohn Surveying, Inc.		Contact: Thomas D. Johnston
Address: 330 Louisiana Blvd. NE - Albuquerque, NM 87108		
Phone#: (505) 255-2052 Fax#:		E-mail:
Check all that Apply: DEPARTMENT: X HYDROLOGY/ DRAINAGE TRAFFIC/ TRANSPORTATION MS4/ EROSION & SEDIMENT CONTROL TYPE OF SUBMITTAL: ENGINEER ARCHITECT CERTIFICATION CONCEPTUAL G & D PLAN X GRADING PLAN DRAINAGE MASTER PLAN DRAINAGE REPORT CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT (TCL) TRAFFIC IMPACT STUDY (TIS) EROSION & SEDIMENT CONTROL PLAN (ESC) OTHER (SPECIFY)	BUILDING PI CERTIFICATI PRELIMINAR SITE PLAN F SITE PLAN F SIA/ RELEAS FOUNDATIO GRADING PI X SO-19 APPRO PAVING PER GRADING/ PAVING PER GRADING/ PAVING PER CLOMR/LOM PRE-DESIGN N	SE OF FINANCIAL GUARANTEE IN PERMIT APPROVAL ERMIT APPROVAL OVAL UPDATED RMIT APPROVAL AD CERTIFICATION R APPROVAL IR
IS THIS A RESUBMITTAL?: X Yes No		
DATE SUBMITTED: August 4, 2016 By: Fred C.	Arfman	



June 6, 2016

Richard J. Berry, Mayor

Fred C. Arfman
Isaacson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM, 87108

RE: Alice King Charter School

Grading and Drainage Plan

Engineer's Stamp Date 4-19-2016 (File: J19D085)

Dear Mr. Arfman:

Based upon the information provided in your submittal received 10-23-2015, the above-referenced plan is approved for SO-19 Permit and Building Permit

PO Box 1293

Please attach a copy of this approved plan in the construction sets when submitting for a building permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

If you have any questions, you can contact me at 924-3986.

New Mexico 87103

www.cabq.gov

Abiel Carrillo, P.E.

Sincerely,

Principal Engineer, Planning Dept. Development Review Services

Orig: Drainage file



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Alice King Charter School	Building Permit #: City Drainage #: J-19D08
DRB#:	Work Order#:
Legal Description: Lot 1, Mesa Del Norte Heights	Addition Unit 11
City Address: 8100 Mountain Road Place NE - All	ougerque, NM 87110
Engineering Firm: Isaacson & Arfman, P.A.	Contact: Fred C. Arfman
Address: 128 Monroe Street NE - Albuquerque,	
Phone#: (505) 268-8828 Fax#:	E-mail: freda@iacivil.com
Owner:	Contact:
Address:	
Phone#: Fax#:	E-mail:
Architect:	Contact:
Address:	
Phone#: Fax#:	E-mail:
Other Contact: Wayjohn Surveying, Inc.	Contact: Thomas D. Johnston
Address: 330 Louisiana Blvd. NE - Albuquerque	, NM 87108
Phone#: (505) 255-2052 Fax#:	E-mail:
Check all that Apply: DEPARTMENT: _X HYDROLOGY/ DRAINAGE TRAFFIC/ TRANSPORTATION MS4/ EROSION & SEDIMENT CONTROL	CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT: X BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY
TYPE OF SUBMITTAL:	PRELIMINARY PLAT APPROVAL
ENGINEER ARCHITECT CERTIFICATION	SITE PLAN FOR SUB'D APPROVAL
CONCEPTUAL G & D PLAN X GRADING PLAN DRAINAGE MASTER PLAN DRAINAGE REPORT CLOMR/LOMR	SITE PLAN FOR BLDG. PERMIT APPROVAL — FINAL PLAT APPROVAL — SIA/ RELEASE OF FINANCIAL GUARANTEE — FOUNDATION PERMIT APPROVAL — GRADING PERMIT APPROVAL X SO-19 APPROVAL
TRAFFIC CIRCULATION LAYOUT (TCL)	PAVING PERMIT APPROVAL GRADING/ PAD CERTIFICATION
TRAFFIC IMPACT STUDY (TIS)	WORK ORDER PAPPROVALE I TV/ E
EROSION & SEDIMENT CONTROL PLAN (ESC	
OTHER (SPECIFY)	PRE-DES GWMEETINGR 2 1 2016 OTHER SPECIFY)
IS THIS A RESUBMITTAL?: X Yes No	LAND DEVELOPMENT SECTION
DATE SUBMITTED: April 20, 2016	By: Fred C. Arfman
,	

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: ____

Abiel X. Carrillo

From:

Abiel X. Carrillo

Sent:

Monday, April 04, 2016 11:57 AM

To:

Fred Arfman

Cc:

Michel, Racquel M.

Subject:

J19D085 - Alice King Charter School

Received 3/3/2014

Fred,

Based on information proposed in the Conceptual Grading Plan for the above-referenced project, the proposed improvements are conceptually approved. Prior to approval for Building Permit, the following comments will need to be addressed:

- Coordinate the possible need for a TCL and a NIA with Transportation Development.
- Ensure that the new dumpster enclosure area is connected to an SAS if possible.
- The site generally drains to the Northwest, so an overflow sidewalk culvert spillway would be needed for the north westernmost first flush pond (through SO-19 Permit).
- The Drainage Plan needs to include a comparison of existing vs proposed hydrologic conditions.
- 5. Please stamp and date the 'Final' plan.

Any question just let me know.

Abiel Carrillo, P.E.

Principal Engineer - Hydrology **Planning Department Development Review Services Division** City of Albuquerque 505-924-3986 acarrillo@cabq.gov 600 2nd Street NW Albuquerque, NM 87102

· Review Meeting Requested



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Alice King Charter S	School	_ Building Permit #:	City Drainage #: J-19
DRB#:	EPC#:		Work Order#:
	el Norte Heights Addition Unit 11		
City Address: 8100 Mountain Ro	ad Place NE - Albuqerque, NM 8	7110	······································
Engineering Firm: Isaacson & A	Arfman, P.A.		Contact: Fred C. Arfman
Address: 128 Monroe Street NE	E - Albuquerque, NM 87108		
Phone#: (505) 268-8828	Fax#:		E-mail: freda@iacivil.com
Owner:			Contact:
Address:	······································		
Phone#:	Fax#:		E-mail:
Architect:			Contact:
Address:			
Phone#:	Fax#:		E-mail:
Other Contact: Wayjohn Surveyin	g, Inc.		Contact: Thomas D. Johnston
	E - Albuquerque, NM 87108		
Phone#: (505) 255-2052	Fax#:		E-mail:
DEPARTMENT: X HYDROLOGY/ DRAINAGE	NI		APPROVAL/ACCEPTANCE SOUGHT: ERMIT APPROVAL
Check all that Apply: DEPARTMENT: X HYDROLOGY/ DRAINAGE TRAFFIC/ TRANSPORTATIO MS4/ EROSION & SEDIMENT		X BUILDING P	
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COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: ____



October 26, 2016

Michelle Negrette R.A. Strata Design 711 Amherst SE Albuquerque, NM 87106

Re:

Alice King Community Charter School - 8100 Mountain Rd NE Request for Certificate of Occupancy- Transportation Development

Architect's Stamp dated 6-27-16 (J19D085)

Certification dated 10-23-16

Dear Ms. Negrette,

Based upon the information provided in your submittal received 10-24-16, Transportation Development has no objection to the issuance of a <u>Permanent Certificate of Occupancy</u>. This letter serves as a "green tag" from Transportation Development for a <u>Permanent Certificate of Occupancy</u> to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact me at (505) 924-3981.

Albuquerque

Sincerely,

New Mexico 87103

Monica Ortiz

Plan Checker, Transportation & Hydrology

Development Review Services

www.cabq.gov

mao

via: email

C:

CO Clerk, File



I, Michelle Allison, NMRA of the firm Strata Design, herby certify that this project is in substantial compliance with and in accordance with the design intent of the approved plan dated 6.27.2016. The record information edited onto the original design document has been edited onto the original design document has been obtained by Michelle Allison of the firm Strata Design. I further certify that I have personally visited the project site on October 21, 2016 and have determined by visual inspection that the survey date provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Sincerely,

Michelle Negrette Strata Design, LLC 505.710.4221







City of Albuquerque

Planning Department

Development & Building Services Division

Project Title: ALICE KING-COMMUNITY SCHOOL. DRB#: 4 EPC#:	Building Permit #: <u>T20/69//2</u> ily Drainage #: <u>J1900</u>
ORB#: Q EPC#: $\frac{1}{\sqrt{2}} = \frac{1}{\sqrt{2}} = $	Work Order#:
Legal Description: OTS NUMBERCA (1) OF THE PLAT OF City Address: 8100 MOUNTAIN 20 NE	Thesa delicate Height 110(11)
Ingineering Firm: ISOCCSON + Orfmin Englanders: 1998 MONTO Att	<u>1000 100</u> Contact:
hone#: 505, 268, 8828 Fax#:	E-mail:
wner: Alicelling Community School Founda address: 8009 MOUNTAIN 2D NE	And Contact: JOSh Allson
hone#: 505,259,2124 Fax#:	E-mail: Cl/150j0(0)9mail/com
Architect: Strata Design UC Address: FII Amhorstist Albor 11M &	Contact: BERANDEA Michelle
hone#: 505.7/0.422/ Fax#:	E-mail: Mnogretto Mac.ca
Other Contact:	Contact:
Address: hone#:	E-mail:
EPARTMENT: HYDROLOGY/ DRAINAGE TRAFFIC/ TRANSPORTATION	CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT: BUILDING PERMIT APPROVAL
	BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY
DEPARTMENT: HYDROLOGY/ DRAINAGE TRAFFIC/ TRANSPORTATION MS4/ EROSION & SEDIMENT CONTROL	BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY PRELIMINARY PLAT APPROVAL
DEPARTMENT: HYDROLOGY/ DRAINAGE TRAFFIC/ TRANSPORTATION MS4/ EROSION & SEDIMENT CONTROL TYPE OF SUBMITTAL:	BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY
DEPARTMENT: HYDROLOGY/ DRAINAGE TRAFFIC/ TRANSPORTATION MS4/ EROSION & SEDIMENT CONTROL TYPE OF SUBMITTAL: ENGINEER/ ARCHITECT CERTIFICATION CONCEPTUAL G & D PLAN	BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY PRELIMINARY PLAT APPROVAL SITE PLAN FOR SUB'D APPROVAL
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July 5, 2016

Michelle Negrette Strata Design 711 Amherst SE Albuquerque, NM

Re: Alice King Community School

8100 Mountain Rd NE Traffic Circulation Layout

Engineer's/Architect's Stamp dated 6-27-16 (J19-D085)

Dear Ms. Negrette,

The TCL submittal received 7-5-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed <u>Drainage and Transportation Information Sheet</u> to

front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

New Mexico 87103 Building Safety at 924-3690

Sincerely,

www.cabq.gov

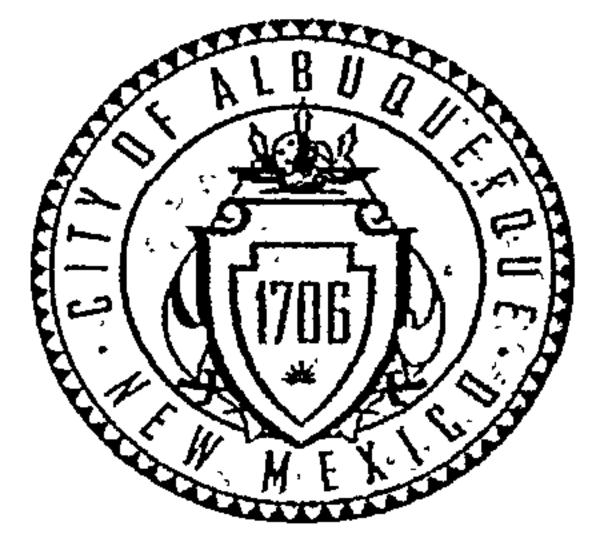
PO Box 1293

Albuquerque

Racquel M. Michel, P.E.

Traffic Engineer, Planning Dept. Development Review Services

\gs via: email C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

Project Title: ACICE YNG COUNT	CANTUS CHOCL Building Permit	#: T201691123 City Drainage #: JA	1008
DRB#: EPC#:	Cotton Ismanig Fermit	Work Order#:	<u>, </u>
Legal Description: LOT WESA DELINOTE	HOIGHTS, NO 11 BLOC		
Legal Description: LOT MESA DEL'INOTE City Address: 8100 MOUNTAIN	DIDE		
Engineering Firm:		Contact:	
Address:			 ,
Phone#: Fax#:		E-mail:	
Owner: Alica KING COMMUNITY	Mr man mi	Contact: 508h Allison	
Address: PXXXIVIXIVIXIVIXIVIXIVIXIVIXIVIXIVIXIVIX	DUCKE NE	Lesson Joseph Hiller	
Phone#: 259.2124 Fax#:		E-mail:	
Architect: Di SHOLE DOSIGO		Contact: Michallo 118	
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Phone#: 70.472 Fax#:	<u> </u>	E-mail:	
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IS THIS A RESUBMITTAL?: Yes No		SPECIFI)	
DATE SUBMITTED: Duly 5,2016	By: Micheller	exitle	<u>,</u>
OA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _			

Michel, Racquel M.

From: Michelle Allison <mnegrett@mac.com>

Sent: Tuesday, July 05, 2016 11:18 AM

To: Michel, Racquel M.

Subject: Alice King Community School

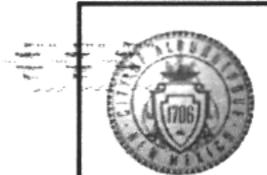
Dear Raquel Michel,

We understand that the location of the dumpster at Alice King Community School requires the trash truck to back up into Mountain Road Place, which could pose safety issues. The dumpster location is the historic dumpster location, and has been approved by Solid Waste for trash pick up. Due to site constraints which limit the ability of the trash vehicle to maneuver on site, we have no alternative but to continue to locate the dumpster at its historic location.

Thank you for your understanding of our issue,

Michelle Negrette,

Strata Design, LLC 505.710.4221







Legend

Bernalillo County Parcels
Primary Streets

Urban Principal Arterial

BN and SF Railroad

Freeway

Urban Minor Arterial

Other Streets

Municipal Limits

Corrales

Edgewood

Los Ranchos

Rio Rancho

Tijeras

UNINCORPORATED

World Street Map

Notes

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0.0 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere 7/5/2016 © City of Albuquerque

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This map is a user generated static output from www.cabq.gov/gis and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR LEGAL PURPOSES



June 28, 2016

Michelle Negrette Strata Design 711 Amherst SE Albuquerque, NM **87106**

Re: Alice King Community Charter School
8100 Mountain Rd NE
Traffic Circulation Layout
Engineer's/Architect's Stamp (Not Stamped) (J19-D085)

Dear Ms. Negrette,

Based upon the information provided in your submittal received 6-27-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- Clarify the extents of the current phase. Please detail the proposed additions to the parcel.
- 2. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
- 3. Per the Development Process Manual, Chapter 27 Drafting Standards, "Standard sheets must be 24" by 36" having a margin of 2' along the left and 1" on the top and bottom". Please submit a clear drawing upon resubmittal.
- 4. A scale of 1"=20' is recommended for sites less than 5 acres.
- 5. Please identify all existing buildings, structures, sidewalks, curbs, ADA ramps, drive pads, walls and anything that influences the parking and circulation on the site.
- 6. Identify all existing access easements and rights of way width dimensions.
- 7. Identify the right of way width, medians, curb cuts, and street widths on Mountain Rd. Place and Mountain Rd.
- 8. The handicap accessible spaces must be a minimum of 8.5 ft. in width.
- 9. The handicap accessible spaces must include an 8 ft. wide van access aisle; all other aisles should be 5 ft. in width. In review of the submitted drawing, an 8 ft. van access isle is not provided.
- 10. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing." Please call out detail and location of HC signs. Please show a detail of signage.
- 11. Show all drive aisle widths and radii.

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- 12. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details. In review of the submitted drawing, the ADA pathway cannot be accessed from the drive pad on the north side of the property off of Mountain Road Plc. This drive pad is also used for refuse pick up, posing a possible safety hazard.
- 13. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please call out detail and location of barrier curb.
- 14. Design delivery vehicle route needs to be shown.
- 15. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval. In review of the submitted drawing, the refuse vehicle should not have to back up into the street after pick up. Please relocate refuse container.
- 16. It appears that the drive pad at the north east corner of the parcel is no longer required, since there is to be structure placed in that corner. If this is the case, please remove drive pad and replace with standard curb and gutter per COA standards.

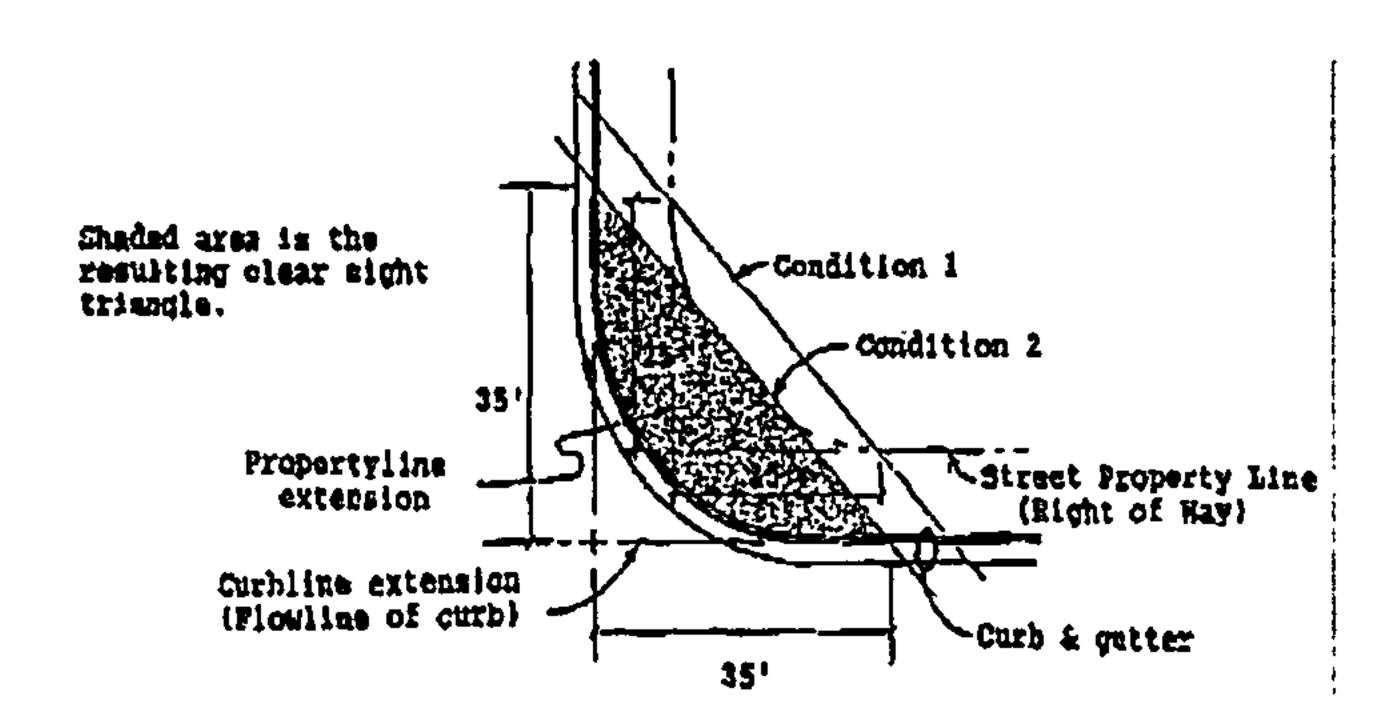
PO Box 1293

17. Please provide a sight distance exhibit (see the *Development Process Manual*, *Chapter 23, Section 3, Part D.5 Intersection Sight Distance*). Please call out this detail at the north east corner of the project site, if the drive pad is to be utilized.

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- 18. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
- 19. Please specify the City Standard Drawing Number when applicable.
- 20. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."



- 21. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
- 22. All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
- 23. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Sincerely,

Racquel M. Michel, P.E.

PO Box 1293 Traffic Engineer, Planning Dept.

Development Review Services

Albuquerque

\gs via: email

C: CO Clerk, File

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

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Project Title: Alice King Commonity Chart	Building Permit #:720169/City Drainage #: 1791
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Ingineering Firm: CL SAGESON + ALPONANCE 128 MONYOUNE ALPON,	NU 871099 Contact: Bryan BOGACIC
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TRAFFIC CIRCULATION LAYOUT (TCL)	PAVING PERMIT APPROVALGRADING/ PAD CERTIFICATION
TRAFFIC IMPACT STUDY (TIS)	WORK ORDER APPROVAL
EROSION & SEDIMENT CONTROL PLAN (ESC)	CLOMR/LOMR
OTHER (SPECIFY)	PRE-DESIGN MEETING
	OTHER (SPECIFY)
THIS A RESUBMITTAL?: Yes No	
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A STAFF: ELECTRONIC SUBMITTAL RECEIVED:	·

EXECUTIVE SUMMARY OF PROJECT

Project is located at 8100 Mountain Road NE. Site is currently an approximately 40,000 sqft, 2 story office building with approximately 80 parking spaces. The concept for the site is for a change of occupancy for a public K-8 charter school with approximately 2,000 sqft addition, which utilizes the existing building foot print. Parking requirements are based on the number of staff and will be 40 spaces. 42 parking spaces have been provided. Traffic circulation on site will be reduced as a portion of the parking area has been converted to play area. All existing drive aprons will be maintained and used – two for parking access, 1 for dumpster and 1 for landscape maintenance access. No variances are required for this project and no traffic impact studies have been performed.

