

CITY OF ALBUQUERQUE



October 26, 2016

Michelle Negrette R.A.
Strata Design
711 Amherst SE
Albuquerque, NM 87106

Re: Alice King Community Charter School - 8100 Mountain Rd NE
Request for Certificate of Occupancy- Transportation Development
Architect's Stamp dated 6-27-16 (J19D085)
Certification dated 10-23-16

Dear Ms. Negrette,

Based upon the information provided in your submittal received 10-24-16, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505) 924-3981.

Sincerely,



Monica Ortiz
Plan Checker, Transportation & Hydrology
Development Review Services

mao via: email
C: CO Clerk, File



I, Michelle Allison, NMRA of the firm Strata Design, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved plan dated 6.27.2016. The record information edited onto the original design document has been edited onto the original design document has been obtained by Michelle Allison of the firm Strata Design. I further certify that I have personally visited the project site on October 21, 2016 and have determined by visual inspection that the survey date provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Sincerely,

Michelle Negrette
Strata Design, LLC
505.710.4221



10.23.2016



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: ALICE KING COMMUNITY SCHOOL Building Permit #: T 2016 91123 Drainage #: _____
DRB#: 1 EPC#: _____ Work Order#: _____
Legal Description: LOTS numbered (1) of the plat of Mesade Inbrite Heights no(11)
City Address: 8100 MOUNTAIN RD NE

Engineering Firm: Isaacson + Arfman Engineering Contact: _____
Address: 128 Monroe Ave
Phone#: 505.268.8828 Fax#: _____ E-mail: _____

Owner: Alice King Community School Foundation Contact: Josh Allison
Address: 8009 Mountain RD NE
Phone#: 505.259.2129 Fax#: _____ E-mail: allisojo@gmail.com

Architect: Strata Design LLC Contact: ~~805.210.4422~~ Michelle Allison
Address: 711 Amherst SE A168. 10M 87106
Phone#: 505.710.4221 Fax#: _____ E-mail: mmegreth@mac.com

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☒ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: Oct. 23, 2016 By: Michelle Allison

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL

☒ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING

☐ OTHER (SPECIFY) _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

VICINTY MAP - NOT TO SCALE
8100 MOUNTAIN ROAD N.E.



LEGAL DESCRIPTION:

A certain parcel of land situate within the Southeast One-Quarter (S.E. 1/4) of Section 18, Township 10 North, Range 3 East, New Mexico Principal Meridian, within the City Limits of the City of Albuquerque, Bernalillo County, New Mexico, being identified as Lot numbered One (1) of the Plat of Mesa Del Norte Heights No. Eleven (11), comprising a Replat of an Easterly portion of Block "A", Mesa Del Norte Heights No. Ten (10), a Subdivision to the City of Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County New Mexico, on January 19, 1972, in Plat Book C8, Page 81

ZONING: O-1

GENERAL NOTES

1. TYPE OF DEVELOPMENT: PUBLIC CHARTER SCHOOL
2. PARKING REQUIREMENTS: PER SECTION 14-16-3-1 (A)(28) SCHOOL ELEMENTARY AND MIDDLE: ONE SPACE PER EACH EMPLOYEE
 - 40 TEACHERS AND STAFF: 40 SPACES REQUIRED, 42 SPACES PROVIDED
3. 3 (THREE) ADA SPACES REQUIRED FOR UP TO 50 REQUIRED SPACES (SECTION 14-16-3-1 F(9)(a))
4. BICYCLE SPACES REQUIRED: PER SECTION 14-16-3-1(B)(3)(b) SCHOOL ELEMENTARY AND MIDDLE SCHOOL, 1 BICYCLE SPACE PER EACH 20 STUDENTS. CHARTER LIMITED TO 500 = 25 BIKES.
5. MOTORCYCLE SPACE REQUIRED: PER SECTION 14-16-3-1(C)(1), 2 MOTORCYCLE SPACES REQUIRED FOR UP TO 50 SPACES.
6. PARKING LOT SLOPE IS BETWEEN 2% AND 5% FOR ALL NON-HANDICAP PARKING.
7. HANDICAP PARKING SLOPE IS 2%.
8. ALL IMPROVEMENTS LOCATED IN THE PUBLIC ROW MUST BE INCLUDED ON THE WORK ORDER.
9. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER CITY STANDARD DRAWING.
10. ALL DRIVE PADS SHALL MEET COA STANDARD DRAWING 2425.
11. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
12. DUMPSTER ACCESS CAN NOT BE INTERNAL TO SITE DUE TO EXISTING CONSTRAINTS WHICH LIMIT TURNING RADIUS FOR TRUCKS. PROPOSED DUMPSTER LOCATION IS THE HISTORICAL LOCATION AND APPROVED BY SOLID WASTE.

TRAFFIC CIRCULATION LAYOUT APPROVED

Signed _____ Date _____

AUG 08 2016

strata design llc

7000 University Blvd. NE, Suite 1000, Albuquerque, NM 87113

6.27.2016

DATE: 6.29.2016

SHEET NAME
TRAFFIC LAYOUT PLAN

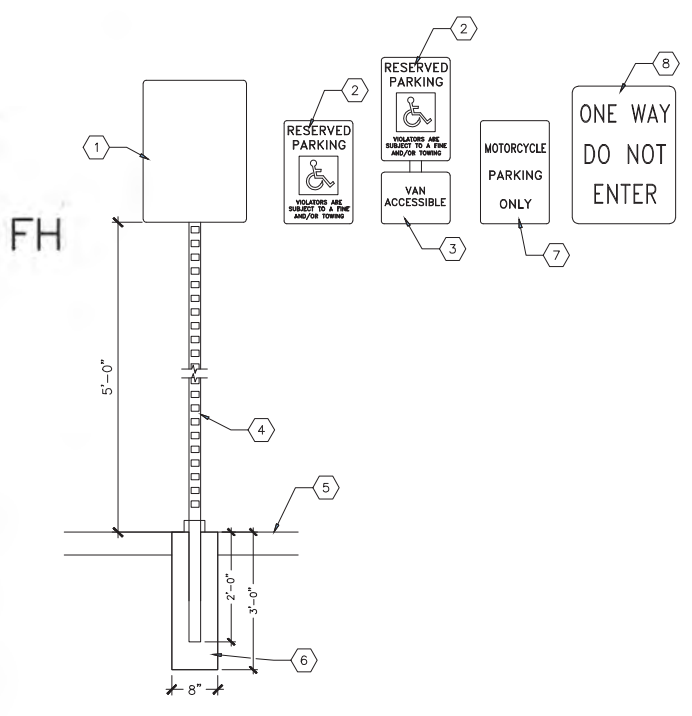
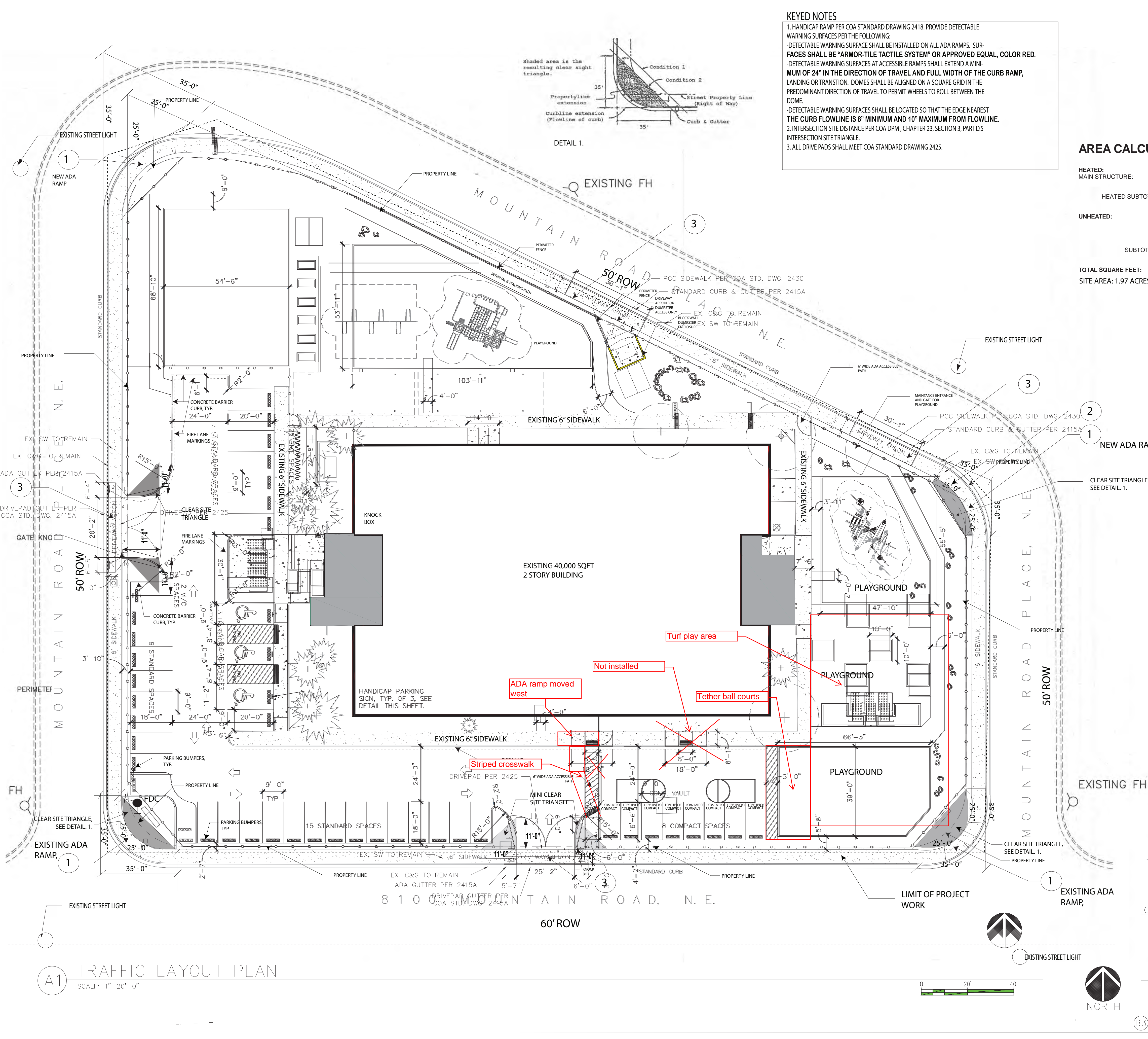
DRAWING SHEET
TLC 101

KEYED NOTES

1. HANDICAP RAMP PER COA STANDARD DRAWING 2418. PROVIDE DETECTABLE WARNING SURFACES PER THE FOLLOWING:
 - DETECTABLE WARNING SURFACE SHALL BE INSTALLED ON ALL ADA RAMP SURFACES SHALL BE "ARMOR-TILE TACTILE SYSTEM" OR APPROVED EQUAL, COLOR RED.
 - DETECTABLE WARNING SURFACES AT ACCESSIBLE RAMPS SHALL EXTEND A MINIMUM OF 24" IN THE DIRECTION OF TRAVEL AND FULL WIDTH OF THE CURB RAMP, LANDING OR TRANSITION. DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN THE DOME.
 - DETECTABLE WARNING SURFACES SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB FLOWLINE IS 8" MINIMUM AND 10" MAXIMUM FROM FLOWLINE.
2. INTERSECTION SITE DISTANCE PER COA DPM, CHAPTER 23, SECTION 3, PART D5 INTERSECTION SITE TRIANGLE.
3. ALL DRIVE PADS SHALL MEET COA STANDARD DRAWING 2425.

AREA CALCULATIONS:

HEATED:	
MAIN STRUCTURE:	41,290 SQ.FT.
HEATED SUBTOTAL:	41,290 SQ.FT.
UNHEATED:	
SUBTOTAL:	N/A
TOTAL SQUARE FEET:	41,290 SQ.FT.
SITE AREA:	1.97 ACRES



- KEYED NOTES
1. SIGN PANEL AND TUBE HEIGHT VARY - SEE SIGN TYPES.
 2. 12' x 18' METAL SIGN - WHITE BACKGROUND, GREEN LETTERS, BLUE SYMBOL.
 3. 12' x 8' METAL SIGN - GREEN LETTERS ON WHITE BACKGROUND, APPLICABLE TO VAN ACCESSIBLE PARKING SPACE ONLY.
 4. 12' x 8' METAL SIGN - GREEN LETTERS ON WHITE BACKGROUND, APPLICABLE TO VAN ACCESSIBLE PARKING SPACE ONLY.
 5. 12' x 8' METAL SIGN - GREEN LETTERS ON WHITE BACKGROUND, APPLICABLE TO VAN ACCESSIBLE PARKING SPACE ONLY.
 6. 12' x 8' METAL SIGN - GREEN LETTERS ON WHITE BACKGROUND, APPLICABLE TO VAN ACCESSIBLE PARKING SPACE ONLY.
 7. 12' x 8' METAL SIGN - GREEN LETTERS ON WHITE BACKGROUND, APPLICABLE TO VAN ACCESSIBLE PARKING SPACE ONLY.
 8. 12' x 8' METAL SIGN - GREEN LETTERS ON WHITE BACKGROUND, APPLICABLE TO VAN ACCESSIBLE PARKING SPACE ONLY.
 9. 12' x 8' METAL SIGN - GREEN LETTERS ON WHITE BACKGROUND, APPLICABLE TO VAN ACCESSIBLE PARKING SPACE ONLY.
 10. 12' x 8' METAL SIGN - GREEN LETTERS ON WHITE BACKGROUND, APPLICABLE TO VAN ACCESSIBLE PARKING SPACE ONLY.
 11. 12' x 8' METAL SIGN - GREEN LETTERS ON WHITE BACKGROUND, APPLICABLE TO VAN ACCESSIBLE PARKING SPACE ONLY.
 12. 12' x 8' METAL SIGN - GREEN LETTERS ON WHITE BACKGROUND, APPLICABLE TO VAN ACCESSIBLE PARKING SPACE ONLY.
 13. 12' x 8' METAL SIGN - GREEN LETTERS ON WHITE BACKGROUND, APPLICABLE TO VAN ACCESSIBLE PARKING SPACE ONLY.
 14. 12' x 8' METAL SIGN - GREEN LETTERS ON WHITE BACKGROUND, APPLICABLE TO VAN ACCESSIBLE PARKING SPACE ONLY.
 15. 12' x 8' METAL SIGN - GREEN LETTERS ON WHITE BACKGROUND, APPLICABLE TO VAN ACCESSIBLE PARKING SPACE ONLY.
 16. 12' x 8' METAL SIGN - GREEN LETTERS ON WHITE BACKGROUND, APPLICABLE TO VAN ACCESSIBLE PARKING SPACE ONLY.
 17. 12' x 8' METAL SIGN - GREEN LETTERS ON WHITE BACKGROUND, APPLICABLE TO VAN ACCESSIBLE PARKING SPACE ONLY.
 18. 12' x 8' METAL SIGN - GREEN LETTERS ON WHITE BACKGROUND, APPLICABLE TO VAN ACCESSIBLE PARKING SPACE ONLY.
 19. 12' x 8' METAL SIGN - GREEN LETTERS ON WHITE BACKGROUND, APPLICABLE TO VAN ACCESSIBLE PARKING SPACE ONLY.
 20. 12' x 8' METAL SIGN - GREEN LETTERS ON WHITE BACKGROUND, APPLICABLE TO VAN ACCESSIBLE PARKING SPACE ONLY.

A1 TRAFFIC LAYOUT PLAN

SCALE: 1" = 20' 0"