

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

October 26, 2020

Glenn Broughton, PE
Bohannon Huston, Inc.
7500 Jefferson St NE
Albuquerque, NM 87109

**RE: Kaseman Hospital SE Parking Lot
8324 Constitution Pl. NE
Grading and Drainage Plan
Engineer's Stamp Date: 07/27/20
Hydrology File: J19D088**

Dear Mr. Broughton:

PO Box 1293

Based upon the information provided in your submittal received 10/05/20, the Grading & Drainage Plan is approved for Grading Permit, Paving Permit, and SO-19 Permit. Once the grading and paving of the project is complete, an engineering certification will be required.

Albuquerque

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

NM 87103

www.cabq.gov

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: _____ Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Applicant: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF DEVELOPMENT: _____ PLAT _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

Check all that Apply:

DEPARTMENT:

_____ HYDROLOGY/ DRAINAGE
_____ TRAFFIC/ TRANSPORTATION

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

_____ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY

TYPE OF SUBMITTAL:

_____ ENGINEER/ARCHITECT CERTIFICATION
_____ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
_____ GRADING PLAN
_____ DRAINAGE REPORT
_____ DRAINAGE MASTER PLAN
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ STREET LIGHT LAYOUT
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL

_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

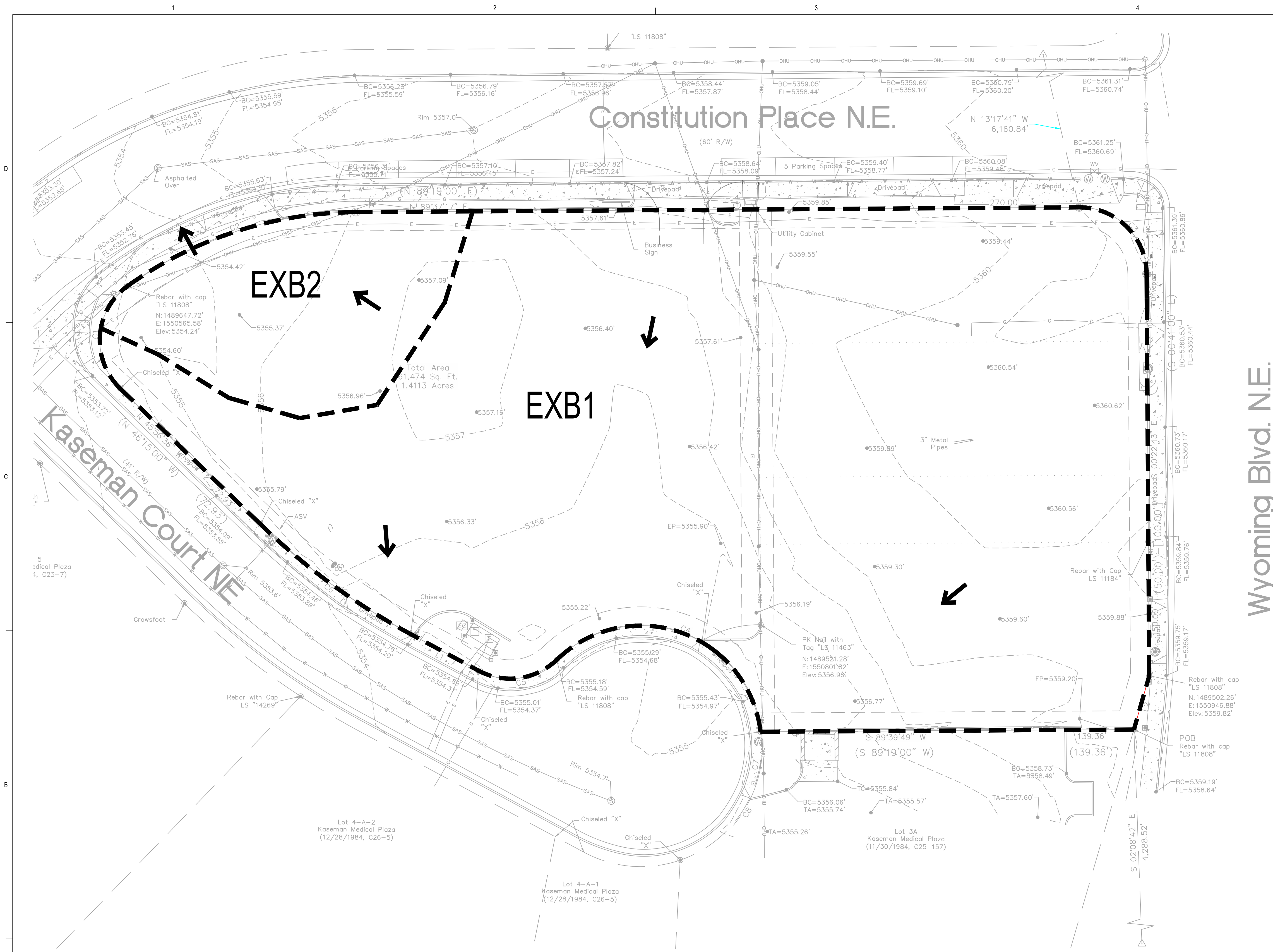
IS THIS A RESUBMITTAL?: _____ Yes _____ No

DATE SUBMITTED: _____ By: _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



EXISTING DRAINAGE MANAGEMENT PLAN

Kaseman Hospital SE Parking Lot											
Existing Developed Conditions Basin Data Table											
This table is based on the DPM Article6-2, Zone: 3											
Basin ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100yr) (cfs/ac.)	Q(100yr) (CFS)	V(100yr) (inches)	V(100yr-6hr) (CF)	V(100yr-24hr) (CF)
			A	B	C	D					
ONSITE BASINS											
EX BASIN-1	54320	1.25	0.0%	0.0%	7.2%	92.8%	4.91	6.12	2.28	10331	12431
EX BASIN-2	7154	0.16	0.0%	0.0%	11.0%	89.0%	4.85	0.80	2.24	1337	1602
TOTAL	61474	1.41	-	-	-	-	-	6.91	-	11668	14033

BACKGROUND:
PRESBYTERIAN KASEMAN HOSPITAL IS IN NEED OF ADDITIONAL PARKING. THIS PROJECT CONSISTS OF DEMOLISHING TWO EXISTING BUILDINGS ON THE SOUTHEAST AREA OF THE CAMPUS AND CONSTRUCTING A NEW SURFACE PARKING LOT. THE NEW PARKING LOT IS LOCATED SOUTH OF CONSTITUTION PLACE, WEST OF WYOMING BLVD AND NORTH OF KASEMAN CT.

METHODOLOGY:
THE SITE IS LOCATED IN THE CITY OF ALBUQUERQUE AND CHAPTER 6 OF THE DEVELOPMENT PROCESS MANUAL (DPM) WAS USED TO ANALYZE THE EXISTING AND PROPOSED DRAINAGE. THE PROJECT IS LOCATED BETWEEN THE SAN MATEO AND EUBANK AND IS WITHIN PRECIPITATION ZONE 3.

EXISTING CONDITIONS:
THIS AREA OF THE SITE IS FULLY DEVELOPED WITH TWO EXISTING BUILDINGS, PARKING AND LANDSCAPING. THE EXISTING BUILDINGS AND SURFACE PARKING WERE RECENTLY DEMOLISHED TO PREPARE THE SITE FOR THE NEW PARKING LOT. THE SITE DRAINS TO THE SOUTH AND FREE DISCHARGES TO KASEMAN CT (BASIN EXB1) FOR THE MOST PART. EXB2 FREE DISCHARGES TO CONSTITUTION PL. THERE IS NO PUBLIC STORM DRAIN IN THE IMMEDIATE AREA. THE TOTAL DISCHARGE FROM THE SITE IS 6.91 CFS.

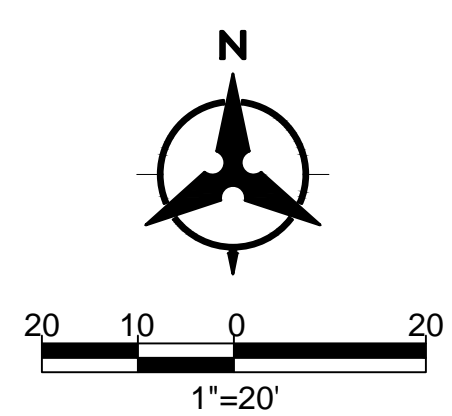
THE SITE IS NOT LOCATED WITHIN A DESIGNATED FEMA FLOOD ZONE (FEMA FIRM # 35001C0358H).

PROPOSED CONDITIONS:
THE HOSPITAL PARKING LOT ADDITION INCLUDES 8 PROPOSED DRAINAGE BASINS. THE PARKING AREA WAS DIVIDED INTO 4 BASINS. BASIN 4 HAS A WATER HARVESTING AREA AND THE REMAINING OF THE FLOW DISCHARGES TO POND 3. SINCE POND 3 DOES NOT HAVE ENOUGH CAPACITY, THE BYPASSING FLOW GOES TO BASIN 1. BASIN 1 CONTAINS A RETENTION POND IN THE MIDDLE OF THE PARKING AREA AND THE REMAINING FLOW DISCHARGES TO KASEMAN CT THROUGH A CONCRETE RIBBON CHANNEL. BASIN 3 DISCHARGES TO POND 2. BASIN 2 HAS A HARVESTING AREA THAT HOLDS SOME OF THE FLOW. THE REMAINING FLOW FREE DISCHARGES TO KASEMAN CT. BASIN 5 DISCHARGES FREELY TO WYOMING BLVD. THE FLOW FROM BASIN 6 GOES TO CONSTITUTION PL. BASIN 7 HAS TWO PONDS THAT HOLD RUNOFF FROM THE PARKING LOT. THE REMAINING FLOW FREE DISCHARGES TO KASEMAN CT. RUNOFF FROM BASIN 8 FREE DISCHARGES TO KASEMAN CT.

STORM WATER POLLUTION CONTROL - WATER QUALITY RUNOFF VOLUME:
SOME RETENTION VOLUME WILL BE PROVIDED WITH THESE SITE MODIFICATIONS. THREE SMALL PONDS AND TWO WATER HARVESTING AREAS WERE ADDED BUT DO NOT PROVIDE THE REQUIRED STORM WATER QUALITY VOLUME. THE TOTAL CALCULATED STORM WATER QUALITY VOLUME FOR THIS PROJECT WAS CALCULATED TO BE 1267 CUBIC FEET. THIS IS BASED ON A PRECIPITATION DEPTH OF 0.26 INCHES FOR REDEVELOPED SITES. THE TOTAL STORM WATER QUALITY VOLUME PROVIDED WAS CALCULATED TO BE 571 CUBIC FEET.

CONCLUSION:
THE AREA THAT IS PROPOSED FOR REDEVELOPMENT CURRENTLY FREE DISCHARGES TO KASEMAN CT AND A SMALL PORTION TO CONSTITUTION PL AND WYOMING BLVD. WITH THE REDEVELOPMENT OF THIS SITE, THE EXISTING DRAINAGE PATTERNS WILL NOT CHANGE SIGNIFICANTLY. PEAK DISCHARGE FLOW RATE DECREASED SLIGHTLY FROM THE PREVIOUSLY DEVELOPED SITE. DUE TO SITE CONSTRAINTS THERE IS LIMITED AREA FOR ONSITE RETENTION PONDS. THE OWNER HAS ELECTED TO PAY THE PAYMENT IN LIEU FOR THE SHORTAGE OF THE REQUIRED STORMWATER QUALITY VOLUME. THE PAYMENT IN LIEU AMOUNT = 696 CF (SOW VOLUME SHORTAGE) X \$9/CF = \$6,568. THE FEES WILL BE PAID PRIOR TO PAVING PERMIT APPROVAL. THIS DRAINAGE MANAGEMENT PLAN IS BEING SUBMITTED IN SUPPORT OF HYDROLOGY APPROVAL FOR PAVING PERMIT.

Wyoming Blvd. N.E.



DEKKER
PERICH
SABATINI

ARCHITECTURE
DESIGN
INSPIRATION

ARCHITECT

ENGINEER



PROJECT

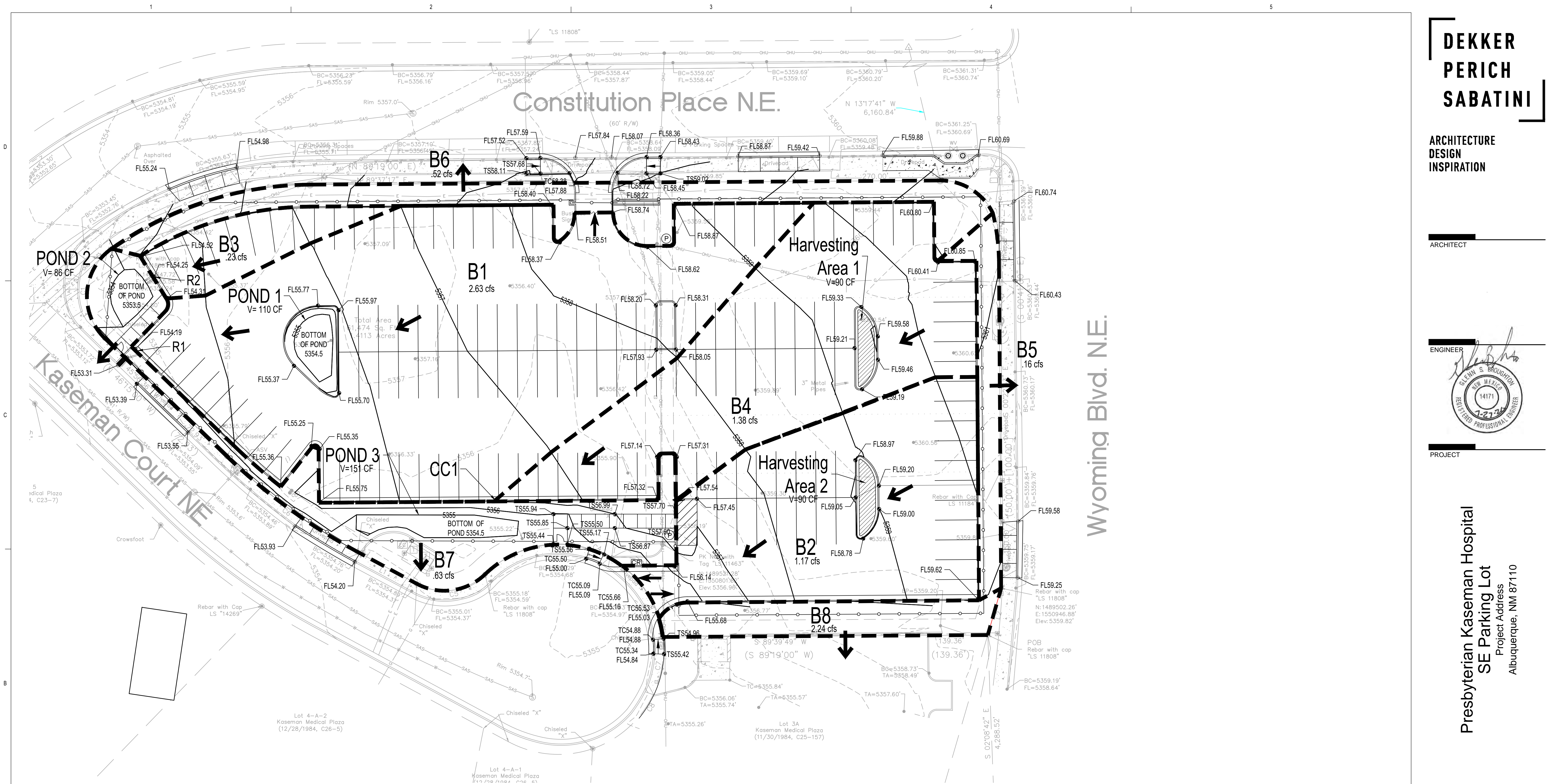
Presbyterian Kaseman Hospital
SE Parking Lot
Project Address
Albuquerque, NM 87110

REVISIONS	
△	
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DRAWN BY	RV
REVIEWED BY	GSB
DATE	07/20/2020
PROJECT NO.	20-0045.001
DRAWING NAME	

EXISTING
DRAINAGE
MANAGEMENT PLAN

SHEET NO.



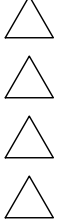
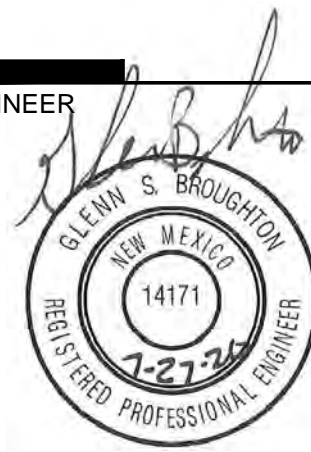
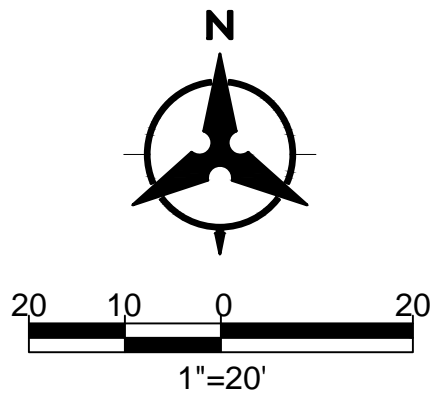
PROPOSED DRAINAGE MANAGEMENT PLAN

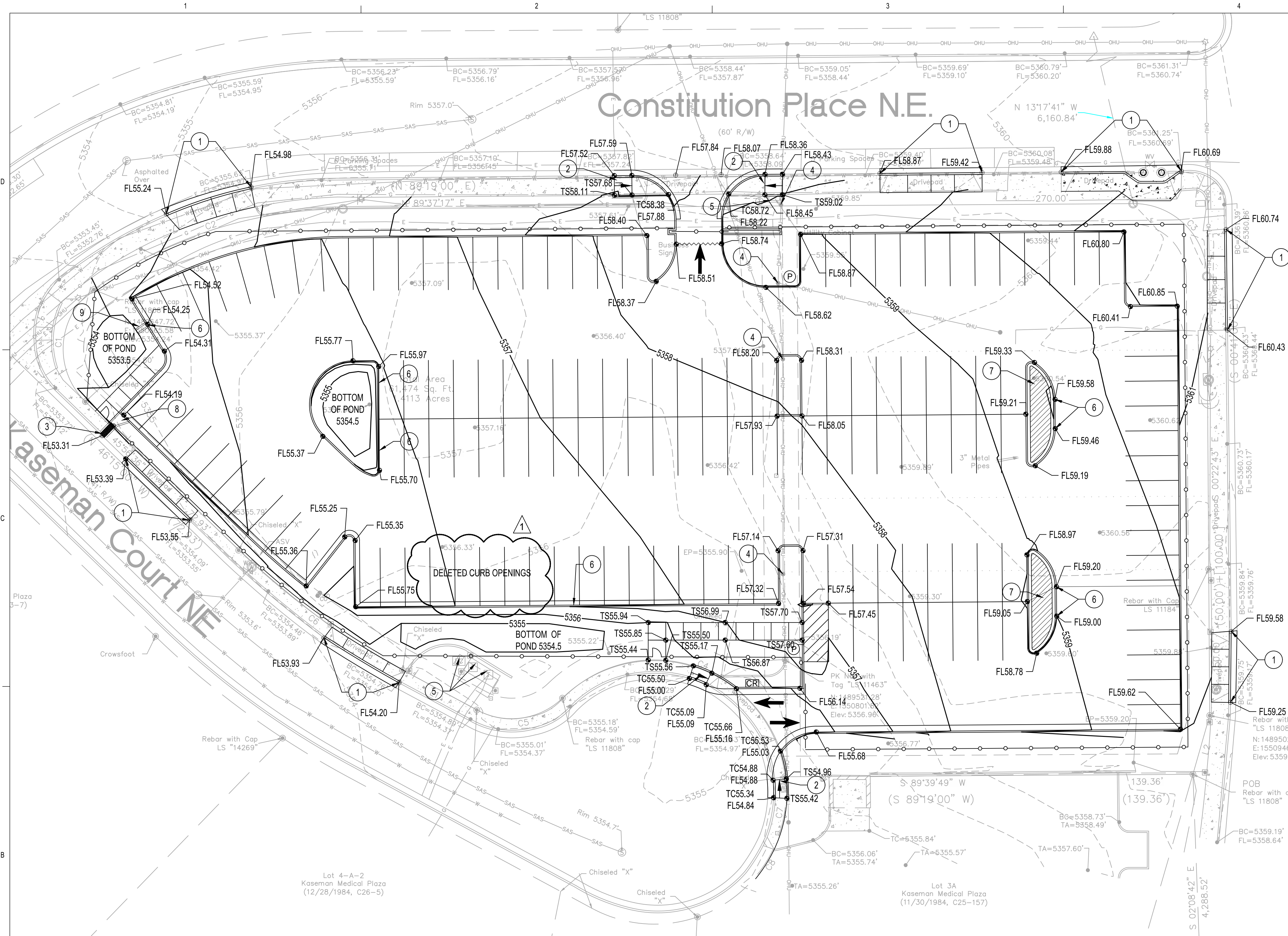
Kaseman Hospital SE Parking Lot													
Proposed Developed Conditions Basin Data Table													
This table is based on the DPM Article 6-2, Zone: 3													
Basin ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100yr) (cfs/ac.)	Q(100yr) (CFS)	V(100yr) (inches)	V _(100yr-6hr) (CF)	V _(100yr-24hr) (CF)	*SWQV Required (CF)	SWQV Provided (CF)
ONSITE BASINS													
BASIN-1	23011	0.53	0.0%	0.0%	2.9%	97.1%	4.98	2.63	2.33	4468	5399	484	110
BASIN-2	10216	0.23	0.0%	0.0%	1.9%	98.1%	4.99	1.17	2.34	1992	2409	217	112
BASIN-3	2005	0.05	0.0%	0.0%	0.0%	100.0%	5.02	0.23	2.36	394	478	43	86
BASIN-4	12024	0.28	0.0%	0.0%	2.2%	97.8%	4.99	1.38	2.34	2341	2831	255	263
BASIN-5	1373	0.03	0.0%	0.0%	5.0%	95.0%	4.94	0.16	2.31	264	318	28	0
BASIN-6	4691	0.11	0.0%	0.0%	15.0%	85.0%	4.78	0.52	2.20	860	1026	86	0
BASIN-7	6027	0.14	0.0%	0.0%	12.0%	82.0%	4.53	0.63	2.09	1050	1256	107	0
BASIN-8	2106	0.05	0.0%	0.0%	1.0%	99.0%	5.00	0.24	2.35	412	499	45	0
TOTAL	61454	1.41	-	-	-	-	-	6.70	-	11369	13718	1267	571
*SWQV is based on a redeveloped site with a precipitation depth pf .26" per article 6-12 of the DMP.													

*SWQV is based on a redeveloped site with a precipitation depth pf .26" per article 6-12 of the DMP.

Curb Cut						
Curb Cut #	Basin ID	Rundown Type	Actual Flow (Q100)	Min Weir** Width ft	Weir Height ft	Weir Capacity CFS
CC1	B8	Rectang	1.38	1.00	0.50	0.94
Weir Eq: Q=2.65L(h^1.5) - ** B8 Bypass = .44 CFS						

Concrete Rundown								
Rundown #	Basin ID	Actual Flow (Q100)	Weir Opening Height ft	Total Width ft	Weir Capacity* CFS	Channel Height ft	Channel Width ft	Channel Capacity* CFS
R1	B1 & B8 Bypass	3.07	0.50	4.00	3.75	0.50	2.00	7.77
R2	B3	0.23	0.50	1.00	0.94			
Weir Eq: Q=2.65L(h^1.5) - ** Capacity Based on Manning's Eq w/ N=0.013 - *								





LEGEND

---	PROPERTY LINE
● 95.40	PROPOSED SPOT ELEVATION TA=TOP OF ASPHALT TC=TOP OF CURB FL=FLOW LINE TOC=TOP OF CONCRETE TS=TOP OF SIDEWALK TG=TOP OF GRATE FG=FINISHED GRADE FGH=FINISHED GRADE HIGH FGL=FINISHED GRADE LOW INV=INVERT
— 4960 —	PROPOSED INDEX CONTOUR
— 4959 —	PROPOSED INTERMEDIATE CONTOUR
— 4960 - - -	EXISTING INDEX CONTOUR
— 4959 - - -	EXISTING INTERMEDIATE CONTOUR
→	DIRECTION OF FLOW
~~~~~	WATER BLOCK / GRADE BREAK
▨	DEPRESSED LANDSCAPE AREA

KEYED NOTES

- MATCH EXISTING CURB HORIZONTALLY AND VERTICALLY.
- INSTALL ADA RAMP PER ARCHITECTURAL DRAWINGS.
- INSTALL SIDEWALK CULVERT PER COA STD. DWG 2236 AND 2/C201, SECTION B.
- EXISTING WOOD POWER POLE TO REMAIN.
- EXISTING ELECTRICAL EQUIPMENT TO REMAIN.
- INSTALL 12" WIDE CURB OPENING PER DETAIL 1/C201.
- DEPRESS LANDSCAPE AREA 0.5' BELOW CURB OPENING ELEVATION.
- INSTALL 24" WIDE CONCRETE RIBBON CHANNEL PER 2/C201, SECTION A.
- INSTALL 12" WIDE CONCRETE RIBBON CHANNEL PER 2/C201.

PRIVATE DRAINAGE FACILITIES  
WITHIN CITY RIGHT-OF-WAY  
NOTICE TO CONTRACTOR  
(SPECIAL ORDER 19 - "SO-19")

- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT **NEW MEXICO ONE CALL, DIAL "811"** [(505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
- CONTRACTOR MUST CONTACT AUGIE ARMIJO AT (505) 857-8607 AND CONSTRUCTION COORDINATION AT (505) 924-3416 TO SCHEDULE AN INSPECTION.

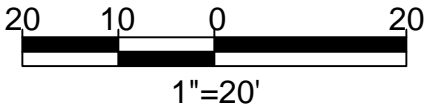
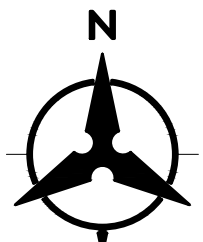
APPROVAL	NAME	DATE
INSPECTOR		

GENERAL NOTES

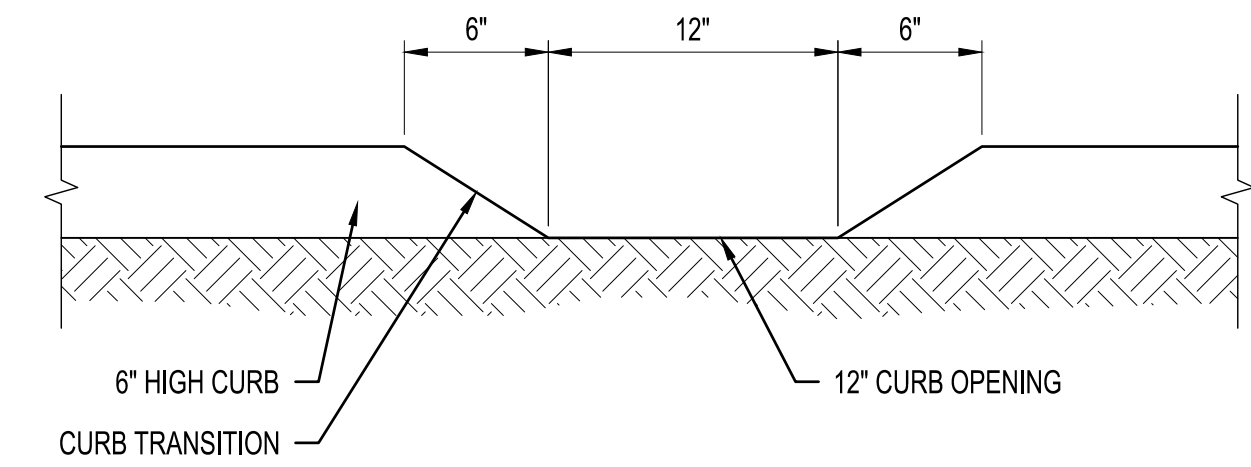
- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

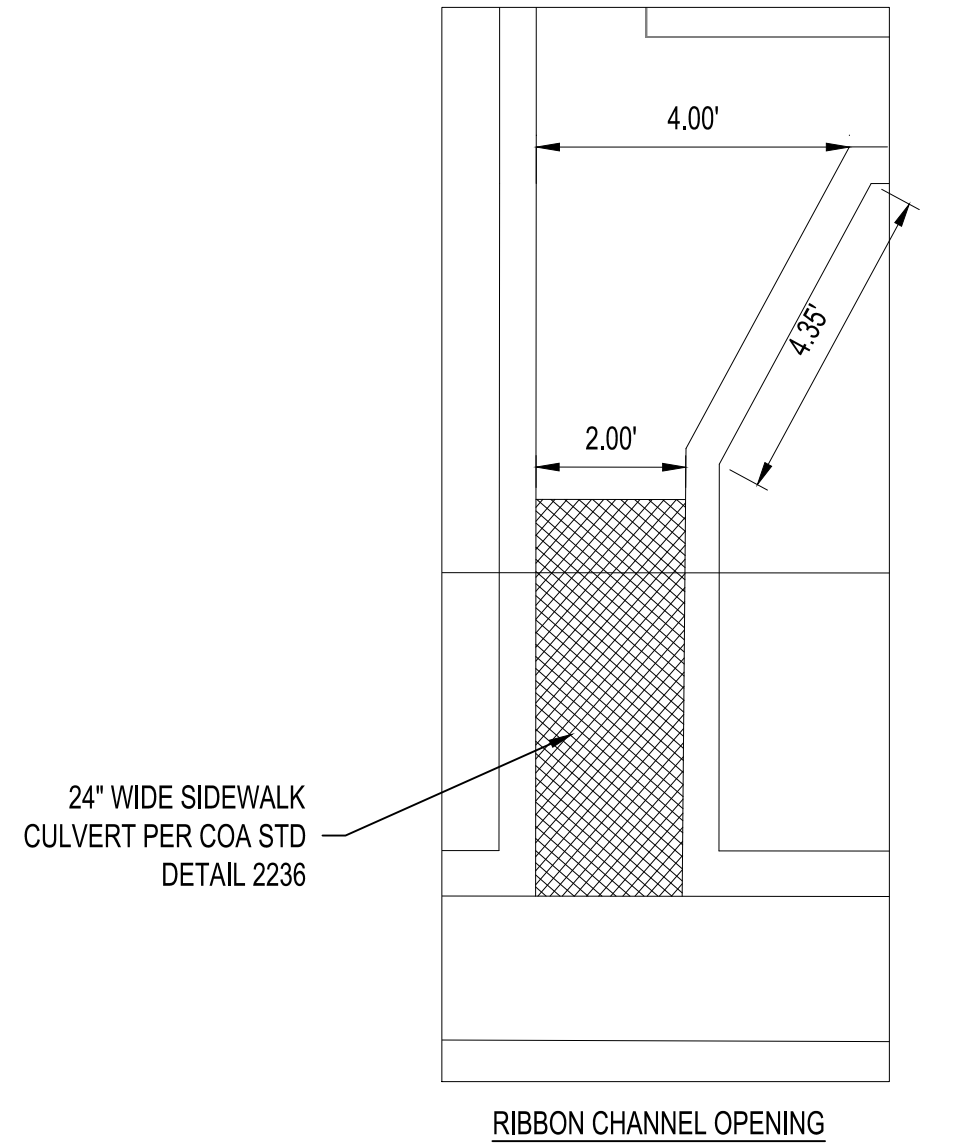
- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION". ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.



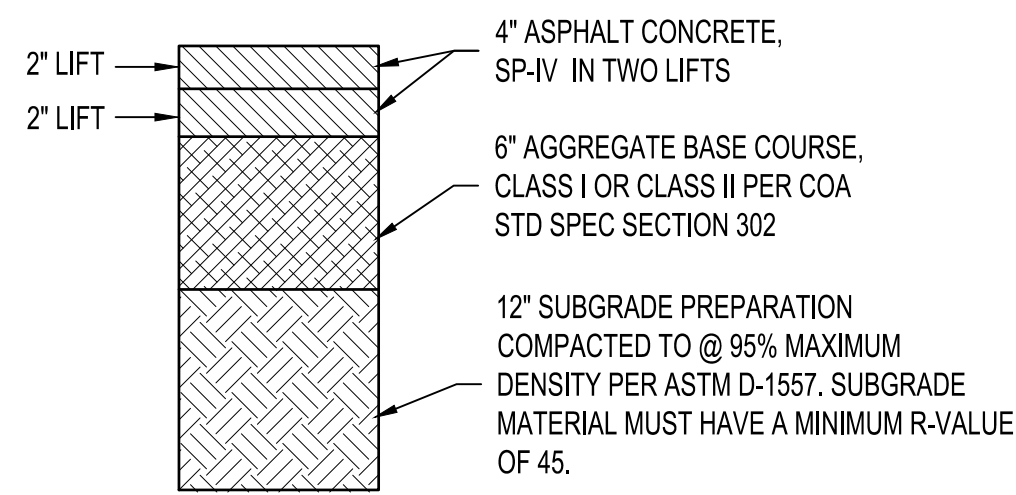




**1 CURB CUT** NTS



**2 CONCRETE RIBBON CHANNEL** NTS



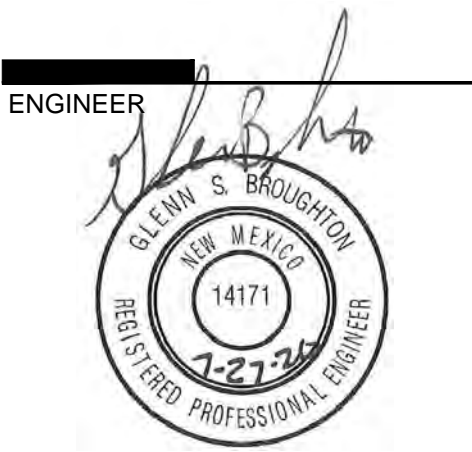
**3 HEAVY DUTY PAVEMENT SECTION** NTS

**DEKKER  
PERICH  
SABATINI**

**ARCHITECTURE  
DESIGN  
INSPIRATION**

ARCHITECT

ENGINEER



PROJECT

**Presbyterian Kaseman Hospital  
SE Parking Lot**  
Project Address  
Albuquerque, NM 87110

REVISIONS



DRAWN BY	RV
REVIEWED BY	GSB
DATE	07/20/2020
PROJECT NO.	20-0045.001
DRAWING NAME	

**CIVIL DETAILS**

SHEET NO.

**C201**  
OF