

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

April 20, 2023

Anthony Santi
Dekker Perich Sabatini
7601 Jefferson St. NE
Albuquerque, NM 87109

Re: PKH Parking Lot Addition
8300 Constitution Ave. NE
Traffic Circulation Layout
Architect's Stamp 05-13-22 (J19-D088)

Dear Mr. Santi,

The TCL submittal received 04-04-2023 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

REVISIONS	
△	4/3/2023 PERMIT COMMENTS
△	
△	
△	
△	
△	

DRAWN BY	A. SANTI
REVIEWED BY	
DATE	5/13/2022
PROJECT NO.	20-0045.001
DRAWING NAME	

ARCHITECTURAL
SITE PLAN

GENERAL SHEET NOTES

- ALL PARKING AREAS DRIVE AISLES AND AUTOMOTIVE CIRCULATION PATHS TO BE ASPHALT PAVING.
- ALL SIDEWALKS AND RAMPS TO BE CONCRETE.
- CONTRACTOR TO VERIFY ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
- CONTRACTOR TO COORDINATE WITH OWNER FOR ALLOWABLE STAGING AREAS DURING CONSTRUCTION.
- UTILITIES AND ASSOCIATED EQUIPMENT SHOWN FOR REFERENCE ONLY. CONTRACTOR TO COORDINATE LOCATION AND INSTALLATION. SEE CIVIL AND ELECTRICAL DRAWINGS.
- REFER TO CIVIL HORIZONTAL CONTROL PLAN FOR DIMENSIONS NOT SHOWN ON THIS SHEET. ALL SITE PLAN DIMENSIONS ARE IN DECIMAL UNITS.
- ALL IMPROVEMENTS LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY MUST BE INCLUDED ON THE WORK ORDER.
- ALL BROKEN OR CRACKED SIDEWALK, CURB & GUTTER MUST BE REPLACED PER CITY STANDARD DETAIL 2441.

PROJECT DATA

LOT SIZE: 1.41 ACRES
ZONE: MX-M MIXED USE MODERATE INTENSITY

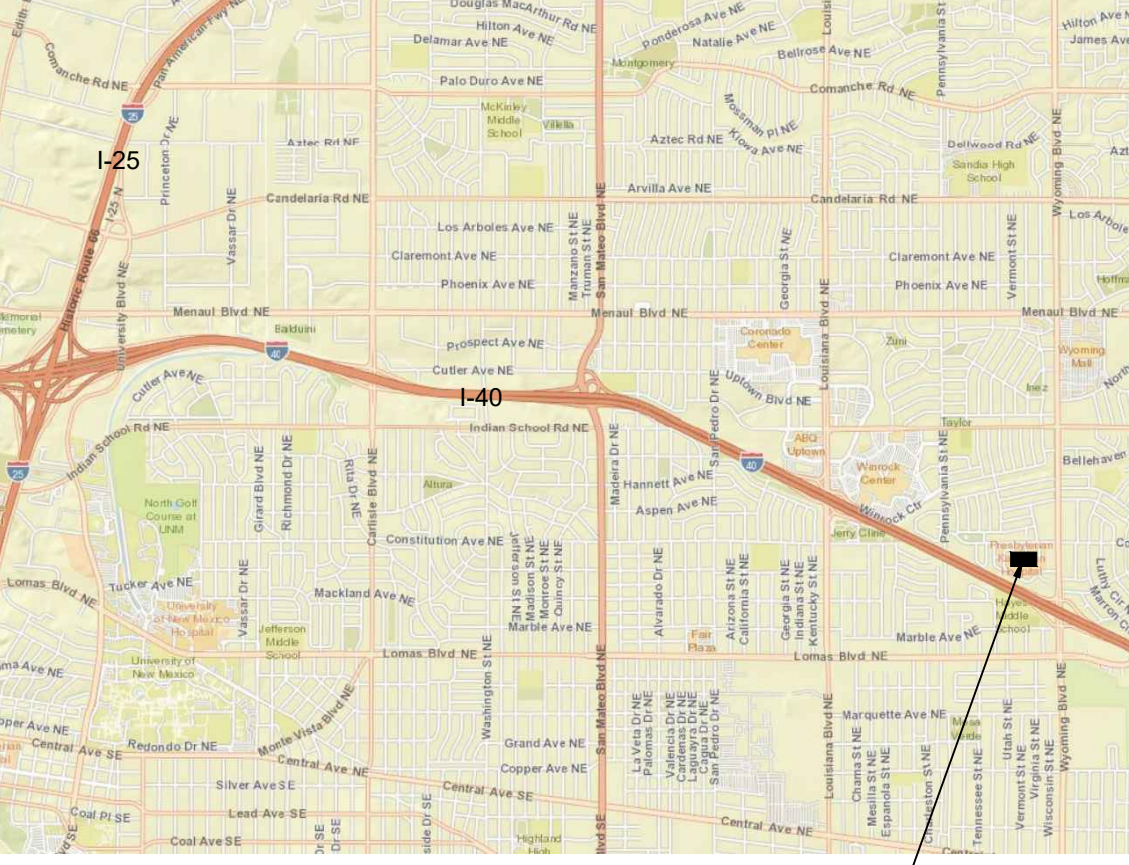
PARKING CALCULATIONS

HOSPITAL = 256,310 S.F.
MEDICAL OFFICE = 148,058 S.F.
256,310 @ 411,000 = 1,026 SPACES
148,058 @ 511,000 = 740 SPACES
TOTAL = 1,766 SPACES
PROXIMITY TO TRANSIT REDUCTION = 1,766 * .30 = 529 SPACES
TOTAL REQUIRED = 1,237 SPACES
PROVIDED PARKING = 1,192 (EXISTING) + 117 (NEW)
TOTAL PROVIDED = 1,309 SPACES (INCLUDING 68 ADA)
ACCESSIBLE PARKING 1,001 AND OVER REQUIRED 24 PROVIDED 68
63 ACCESSIBLE, 5 VAN ACCESSIBLE
MOTORCYCLE SPACES NO CHANGE TO EXISTING
BICYCLE PARKING NO CHANGE TO EXISTING

SHEET KEYED NOTES

- PARKING LOT STRIPING, 4" WIDE TYPICAL, COLOR: WHITE
- 6" WIDE CONCRETE SIDEWALK, SEE C6/A5501
- CONCRETE SIDEWALK, CURB AND GUTTER TO BE CONSTRUCTED PER CITY STANDARD DETAIL 2415A AND 2430
- CONCRETE CURB AND GUTTER, SEE B6/A5501
- CONCRETE HEADER CURB, SEE A/A5501
- ROLLING GATE, SEE ELECTRICAL AND SPECIFICATIONS.
- CARD READER ACCESS CONTROL, SEE ELECTRICAL.
- EMERGENCY PHONE, SEE ELECTRICAL.
- 3' WIDE PEDESTRIAN GATE, SEE A5/A5501 AND SPECIFICATIONS.
- MONUMENT SIGN BASE
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALL, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE CONSTRUCTED IN THESE AREAS.
- ACCESSIBLE RAMP CONSTRUCTED PER CITY STANDARD DETAIL 2443.
- "ONE WAY"/"DO NOT ENTER" SIGNAGE, SEE B6/A5501
- REMOVE AND REPLACE EXISTING CORNER RAMP PER CITY STANDARD DETAIL 2441.
- PAVEMENT MARKINGS, "ONE WAY" AND "DO NOT ENTER" SHALL BE CAPITAL LETTERS, 12" TALL BY 2" WIDE TEXT MINIMUM. SEE ALSO, D5/A5501

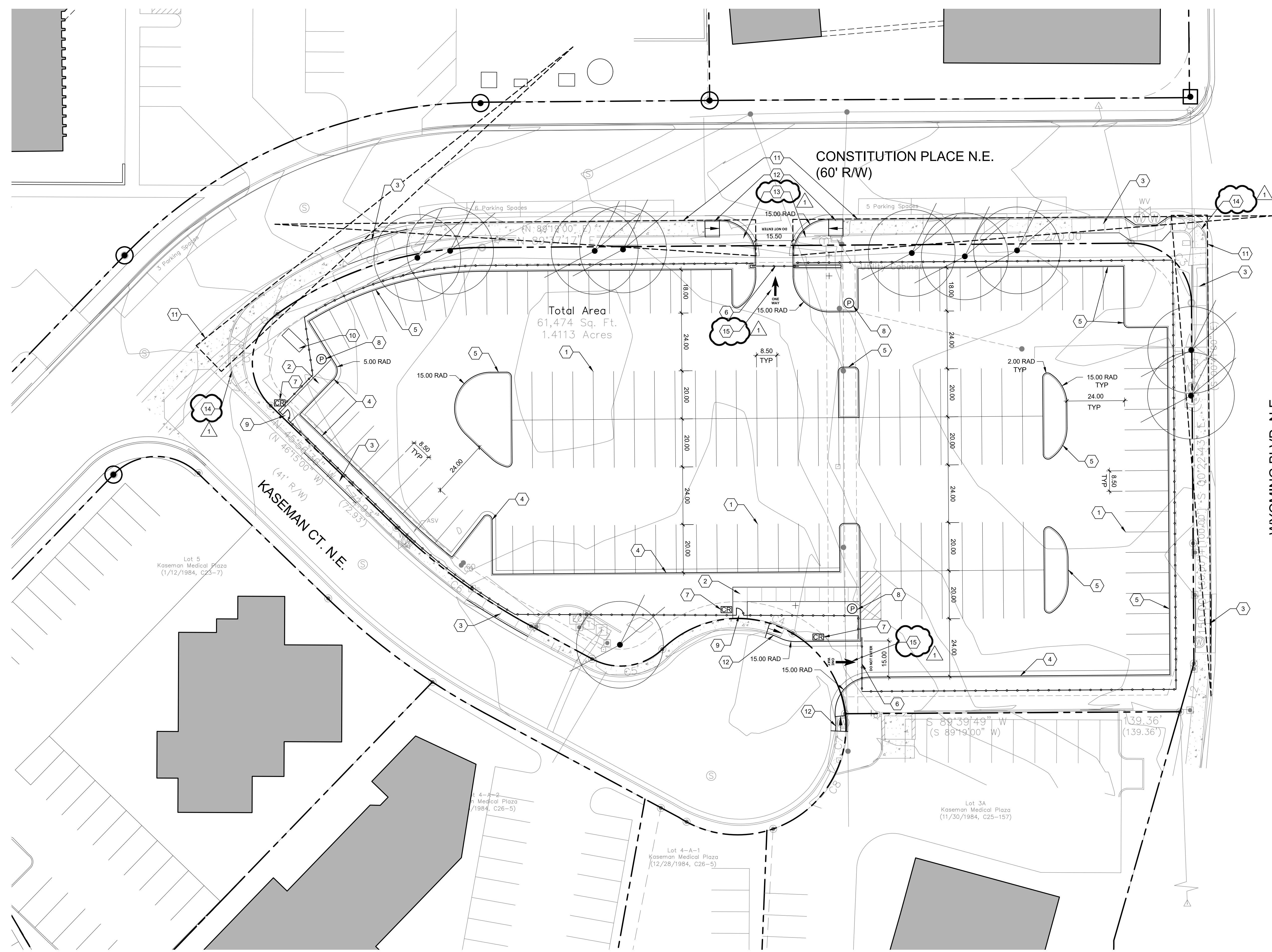
VICINITY MAP



LEGEND

- PROPERTY LINE
- DECORATIVE METAL FENCING, SEE SPECIFICATIONS
- LANDSCAPE AREA
- SIDEWALK RAMP (ARROW POINTS DOWN)
- POLE LIGHT, SEE ELECTRICAL
- EXISTING TREE TO REMAIN

TRAFFIC CIRCULATION
LAYOUT APPROVED
Ernest Arriaga 4/20/2023
Signed Date



B5 SITE PLAN
1" = 20'-0"

**TRAFFIC CIRCULATION
LAYOUT APPROVED**

Ernest Armijo 4/20/2023
Signed Date

