

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

January 13, 2025

Christopher Whyman, Design Manager
Dekker/Perich/Sabatini Architects
7601 Jefferson NE, Suite 100
Albuquerque, NM, 87109

christopherw@dekkerdesign.org

**Re: Lofts at Winrock
7500 Indian School NE
Conceptual Traffic Circulation Layout for DFT Approval
Engineer's Stamp 1-9-25 (J19D089)**

Dear Mr. Whyman,

The conceptual TCL submittal received 1-10-2025 is approved for DHO and/or DFT submittal. When submitting this project through the building permit process, a full Traffic Circulation Layout will need to be submitted and approved prior to building permit. **When submitting TCL for building permit approval, please ensure:**

- 1- that both site access details are provided and updated to meet the current ADA city standard.**
- 2- A signed copy of TSF included**
- 3- Fire and solid waste approvals are included**

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services

C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: Lofts at Winrock **Building Permit #** 2022-03083 **Hydrology File #** _____

DRB# PR-2018-001579 , SI-2020-01477 **EPC#** _____

Legal Description: PARCEL E-1-A REPLAT OF PARCEL A-1-City Address OR Parcel 7500 INDIAN SCHOOL RD NE. PARCEL E-1A WINROCK CENTER ADDITION CONT. 3,3847 AC.

Applicant/Agent: Dekker/Perich/Sabatini Architects **Contact:** Anthony Santi

Address: 7601 Jefferson St. NE, Ste. 100 **Phone:** 505-761-9700

Email: anthonys@dpsdesign.org

Applicant/Owner: Goodman Realty Group **Contact:** Darin Sand

Address: 100 Sun Avenue NE, Suite 210 **Phone:** 505-881.0100

Email: sand@goodmanrealty.com

TYPE OF DEVELOPMENT: PLAT (#of lots) RESIDENCE X DRB SITE ADMIN SITE:

RE-SUBMITTAL: YES X NO

DEPARTMENT: X TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply:

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G&D PLAN
- GRADING PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- FLOOD PLAN DEVELOPMENT PERMIT APP.
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- X TRAFFIC CIRCULATION LAYOUT (TCL)
- ADMINISTRATIVE
- TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY)
- PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- CONCEPTUAL TCL DRB APPROVAL
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- X SITE PLAN FOR BLDG PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOOD PLAN DEVELOPMENT PERMIT
- OTHER (SPECIFY) _____

DATE SUBMITTED: 01/09/2025

GENERAL SHEET NOTES

A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

D. SITE PLAN SHALL COMPLY WITH LOCAL, STATE AND FEDERAL ADA STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.

E. CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.

F. LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO); SECTION 14-16-5-8 OUTDOOR LIGHTING.

G. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.

H. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.

I. PUBLIC IMPROVEMENTS SHALL BE BUILT PER SEPARATE WORK ORDER DRAWINGS.

J. ACCESS TO VEHICULAR GATES WILL BE PROVIDED TO THE FIRE DEPARTMENT, ABCWUA, AND SOLID WASTE VIA FOB ACCESS/KEYED CODE ENTRY.

DEVIATIONS

REQUESTED VARIANCE TO PEDESTRIAN WALKWAY WIDTHS THROUGH ZHE APPLICATION SUBMITTED ON 11/03/2020

INDIAN SCHOOL ROAD - DEVIATION OF 7'-0" TO THE REQUIRED 15'-0"

WINROCK LOOP - DEVIATION OF 8'-0" TO THE REQUIRED 15'-0"

PENNSYLVANIA STREET - DEVIATION OF 4'-0" TO THE REQUIRED 10'-0"

PROJECT DATA

ZONING: IDO MX-M & URBAN CENTER (UC), PART OF WINROCK MASTER PLAN

LEGAL DESCRIPTION: PARCEL E-1-A REPLAT OF PARCEL A-1-A-1-A-1 & PARCEL E-1-A WINROCK CENTER ADDITION CONT 3.3847 AC

SITE AREA: 3.3847 ACRES

IDO ZONE ATLAS: J-19-Z (MAY 2018)

SETBACKS (MIN/MAX): FRONT 0'11", SIDE= 0'11", REAR= 15' MIN

BUILDING HEIGHT 75'-0" MAX ALLOWED:

BUILDING 1: 50'-6"

BUILDING 2: 50'-6"

TOWNHOUSES: 48'-0"

FIRE FLOW: 4,500 GPM

HYDRANTS REQUIRED: 4 TOTAL

BUILDING OCCUPANCY: R-2 (APARTMENTS) + A (COMMONS)

CONSTRUCTION TYPE: VA, FULLY SPRINKLED

AREA OF LOT COVERED BY BUILDINGS

BUILDING 1: 38,985 SF

BUILDING 2: 17,698 SF

TOWNHOUSES: 3,731 SF

TOTAL: 60,414 SF this number is used to calculate net lot

GROSS AREA OF BUILDINGS

BUILDING 1 (4 LEVELS): 153,359 GSF

BUILDING 2 (4 LEVELS): 66,610 GSF

TOWNHOUSES (2 LEVELS): 7,399 GSF

TOTAL: 227,368 GSF

USABLE OPEN SPACE

1 BR: 200 SF/UNIT, 2 BR: 250 SF/UNIT, 3 BR: 300SF/UNIT

STUDIO + 1 BR = 151' * 200 SF = 30,200 SF

2 BR = 56' * 250 SF = 14,000 SF

USABLE OPEN SPACE REQUIRED: 22,100 SF WITH 50% REDUCTION FOR UC

USABLE OPEN SPACE PROVIDED: 35,500 SF

(courtyard area including pool, landscape areas, private walkways)

PARKING CALCULATION (IDO Table 5-5-1):

7 SPACE/DWELLING UNIT = 207 PARKING SPACES REQUIRED

PARKING REDUCTION:

PROXIMITY TO TRANSIT 30% REDUCTION (62)

(Winrock MP located within 1/2 mile of Uptown Transit Center)

PARKING CREDITS IDO 5-5(C)(6):

2 ELECTRIC VEHICLE CHARGING STATION WITH 2 PORTS (2 CREDITS APPLIED)

1 DESIGNATED SHARED CARPOOL SPACE (3 CREDITS APPLIED)

PARKING SPACES REQUIRED WITH CREDITS/REDUCTIONS = 140

PARKING SPACES PROVIDED = 161

(80 parking spaces are provided off-site via existing shared parking agreement associated with the declaration of property between property owner and land leases)

MOTORCYCLE PARKING REQUIRED = 4

MOTORCYCLE PARKING PROVIDED = 4

BICYCLE PARKING REQUIRED = 3 PER 5 DU = 124

BICYCLE PARKING PROVIDED = 126 (100 interior bike storage, 26 exterior bicycle racks)

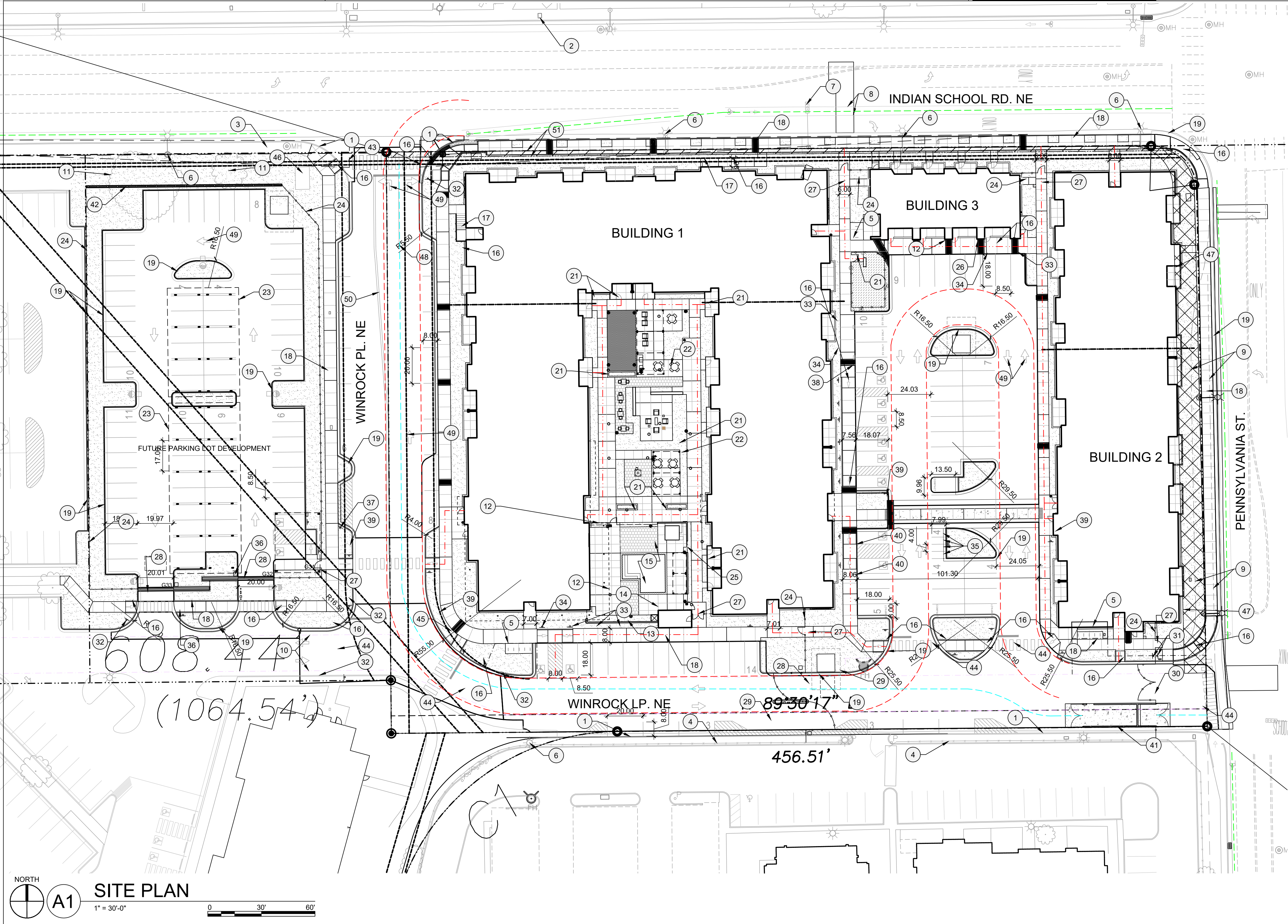
UNIT DATA

BUILDING 1									
UNIT TYPE	GROSS HEATED SQUARE FOOTAGE (GHSF)	BUILDING 1 FLOOR 1	BUILDING 1 FLOOR 2	BUILDING 1 FLOOR 3	BUILDING 1 FLOOR 4	BUILDING 1 TOTAL QUANTITY	BUILDING 1 TOTAL AREA (GHSF)		
STUDIO	535	7	8	8	8	31	16,588		
ONE BEDROOMONE BATH	708	8	8	10	10	36	25,488		
ONE BEDROOMONE BATH PLUS	811	6	8	8	8	30	24,330		
TWO BEDROOMTWO BATH TOWNHOUSE UNIT	1,089	9	9	9	9	36	39,204		
TOTAL	30	35	35	35	35	135	107,630		
TOTAL GHSF PER FLOOR	26,076	27,649	27,649	27,649	27,649	GHSF PER FLOOR	117,072		
TOTAL GSF PER FLOOR	26,928	28,496	28,496	28,496	28,496	PER FLOOR	117,072		

BUILDING 2									
UNIT TYPE	GROSS HEATED SQUARE FOOTAGE (GHSF)	BUILDING 2 FLOOR 1	BUILDING 2 FLOOR 2	BUILDING 2 FLOOR 3	BUILDING 2 FLOOR 4	BUILDING 2 TOTAL QUANTITY	BUILDING 2 TOTAL AREA (GHSF)		
STUDIO	535	3	3	3	4	13	6,955		
ONE BEDROOMONE BATH	708	5	5	5	5	20	14,160		
ONE BEDROOMONE BATH PLUS	811	4	4	4	4	16	12,976		
TWO BEDROOMTWO BATH TOWNHOUSE UNIT	1,089	4	4	4	3	15	16,335		
TOTAL	16	16	16	16	16	64	50,426		
TOTAL GHSF PER FLOOR	12,748	12,748	12,748	12,748	12,191	GHSF PER FLOOR	50,426		
TOTAL GSF PER FLOOR	13,326	13,326	13,326	13,326	12,735	PER FLOOR	50,426		

BUILDING 3									
UNIT TYPE	GROSS HEATED SQUARE FOOTAGE (GHSF)	BUILDING 3 FLOOR 1	BUILDING 3 FLOOR 2	BUILDING 3 FLOOR 3	BUILDING 3 FLOOR 4	BUILDING 3 TOTAL QUANTITY	BUILDING 3 TOTAL AREA (GHSF)		
STUDIO	535	1	1	1	1	4	2,140		
ONE BEDROOMONE BATH	708	1	1	1	1	4	2,832		
ONE BEDROOMONE BATH PLUS	811	1	1	1	1	4	3,244		
TWO BEDROOMTWO BATH TOWNHOUSE UNIT	1,089	1	1	1	1	4	4,356		
TOTAL	4	4	4	4	4	16	12,572		
TOTAL GHSF PER FLOOR	3,632	3,632	3,632	3,632	3,632	GHSF PER FLOOR	14,528		
TOTAL GSF PER FLOOR	4,028	4,028	4,028	4,028	4,028	PER FLOOR	14,528		

- SHEET KEYNOTES
- | CODE | DESCRIPTION |
|------|--|
| 1 | EXISTING CONCRETE CURB |
| 2 | EXISTING BUS STOP |
| 3 | EXISTING SIDEWALK |
| 4 | EXISTING FENCE |
| 5 | BICYCLE RACK |
| 6 | EXISTING LIGHT POLE |
| 7 | EXISTING TRAFFIC LIGHT |
| 8 | EXISTING BIKE LANE |
| 9 | EXISTING LANE TO BE REMOVED |
| 10 | EXISTING EASEMENT |
| 11 | EXISTING TREE |
| 12 | BUILDING OVERHANG |
| 13 | BUILDING POOL WALL |
| 14 | POOL FACILITIES |
| 15 | POOL |
| 16 | CONCRETE ACCESSIBLE RAMP, SEE SDP1.2 |
| 17 | CONCRETE STAIRS WITH HANDRAILS |
| 18 | CONCRETE SIDEWALK/WALKWAY, SEE SDP1.2 |
| 19 | CONCRETE CURB, SEE SDP1.2 |
| 20 | CONCRETE CURB: DRIVABLE |
| 21 | RAISED PLANTER |
| 22 | SHADE STRUCTURE |
| 23 | FUTURE CARPORT |
| 24 | FENCE: 6'-0" HEIGHT, ORNAMENTAL, SEE SDP1.2 |
| 25 | FENCE: 6'-0" HEIGHT AT POOL |
| 26 | FENCE: 9'-0" HEIGHT, ORNAMENTAL |
| 27 | GATE, PEDESTRIAN 6'-0" HEIGHT, 3'-0" WIDTH, ORNAMENTAL, SEE SDP1.2 |
| 28 | GATE, VEHICULAR, 6'-0" HEIGHT |
| 29 | GATE: KEY PEDESTAL |
| 30 | GATE: VEHICULAR SERVICE ACCESS ONLY, 6'-0" HEIGHT |
| 31 | SITE SIGNAGE: EMERGENCY ACCESS ONLY, SEE SDP1.2 |
| 32 | SITE SIGNAGE: STOP SIGN, SEE SDP1.2 |
| 33 | SITE SIGNAGE: ACCESSIBLE PARKING, SEE SDP1.2 |
| 34 | SITE SIGNAGE: VAN ACCESSIBLE PARKING, SEE SDP1.2 |
| 35 | SITE SIGNAGE: MOTORCYCLE PARKING ONLY, SEE SDP1.2 |
| 36 | SITE SIGNAGE: DO NOT ENTER, SEE SDP1.2 |
| 37 | SITE SIGNAGE: NO PARKING SERVICE VEHICLES ONLY, SEE SDP1.2 |
| 38 | SITE SIGNAGE: SHARED CARPOOL ONLY, SEE SDP1.2 |
| 39 | SITE SIGNAGE: YIELD TO PEDESTRIANS, SEE SDP1.2 |
| 40 | EV CHARGING STATION |
| 41 | TRASH COMPACTOR IN ENCLOSURE TO COMPLY WITH IDO/SOLID WASTE REQUIREMENTS, SEE SDP1.2 |
| 42 | FUTURE SCREEN WALL 4'-0" HEIGHT MAX, MATERIAL MATCH BUILDING |
| 43 | CLEAR SIGHT TRIANGLE |
| 44 | PEDESTRIAN CROSSWALK |
| 45 | ELECTRIC TRANSFORMER |
| 46 | MONUMENT SIGN PER APPROVED AA #13-10262 |
| 47 | PUBLIC R.O.W. TO BE VACATED, SEE DRB VACATION REQUEST |
| 48 | ASPHALT STRIPING: WHITE |
| 49 | DIRECTIONAL ARROW: WHITE |
| 50 | ASPHALT STRIPING: DOUBLE YELLOW |
| 51 | NEW EASEMENT GRANTED BY RE-PLAT |



VICINITY MAP J-19-Z

LEGEND

- LANDSCAPE AREA
- STABILIZED CRUSHER FINES OR SYNTHETIC TURF
- ACCENT PAVING: COLORED CONCRETE OR CONCRETE PAVERS
- RAISED PEDESTRIAN CROSSING WITH DRIVABLE CURBS/RAISED PEDESTRIAN CROSSING TABLE
- ACCESSIBLE ROUTE
- FIRE LANE
- PROPERTY LINE
- REFUSE TRUCK ROUTE
- BIKE ROUTE
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION (F.D.C.)
- SITE LIGHTING TO MATCH WINROCK TOWN CENTER
- TWO-POINT LOCK BICYCLE RACK EACH SUPPORTING 2 BICYCLES PER 5-5(E)(4)
- SITE FURNITURE: TABLES AND CHAIRS, BENCHES, TRASH RECEPTACLES, POOL FURNITURE

TRAFFIC CONTROL PLAN

REVISIONS

△	
△	
△	
△	

DRAWN BY Dekker

REVIEWED BY Dekker

DATE 01/09/2025

PROJECT NO. 19-0087

DRAWING NAME

SHEET NO.

DEKKER PERICH SABATINI

ARCHITECTURE DESIGN INSPIRATION

ARCHITECT

ENGINEER

PROJECT

APARTMENTS AT INDIAN SCHOOL & PENNSYLVANIA 7500 INDIAN SCHOOL RD NE ALBUQUERQUE, NM, 87110

REVISIONS

△	
△	
△	
△	

DRAWN BY Dekker

REVIEWED BY Dekker

DATE 01/09/2025

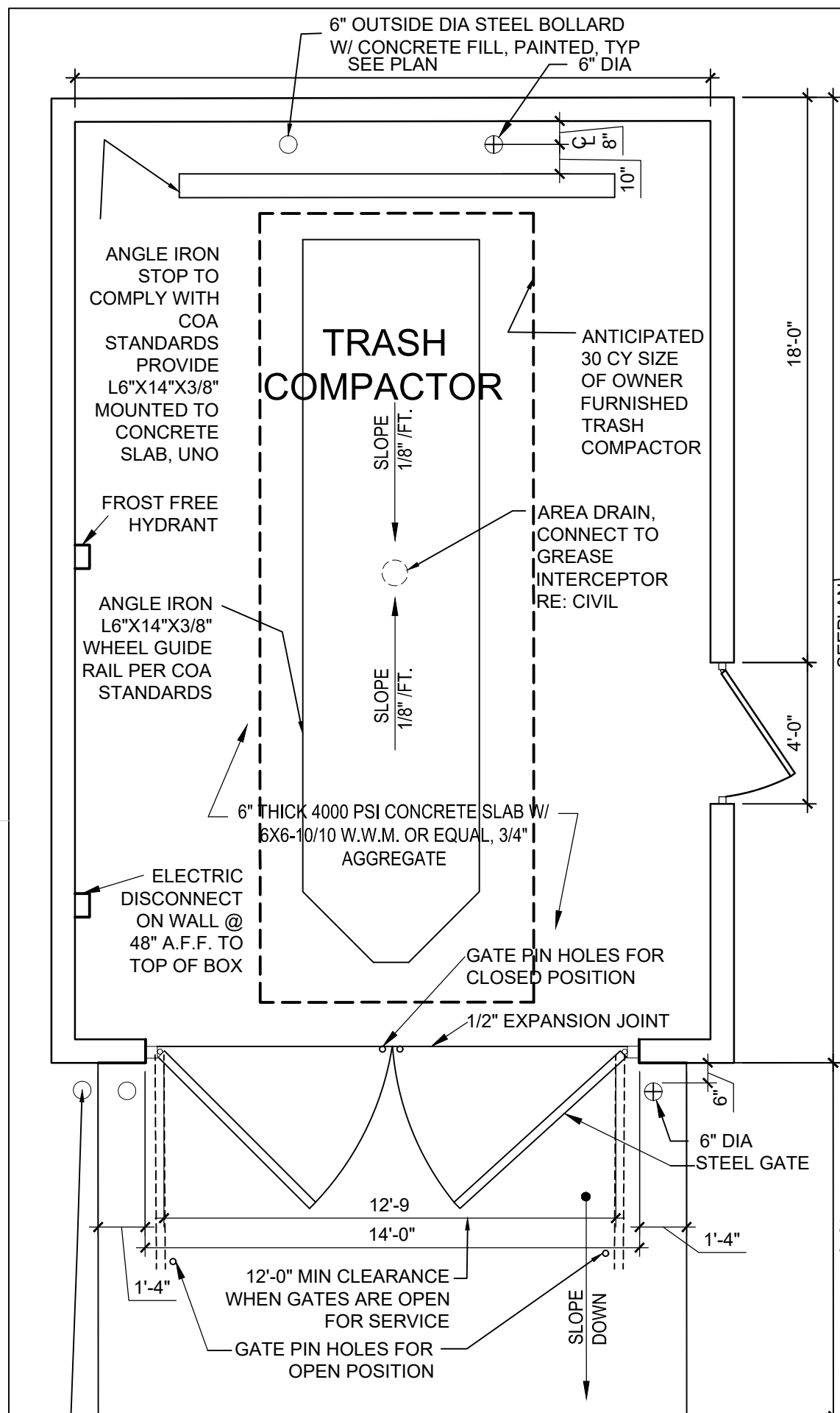
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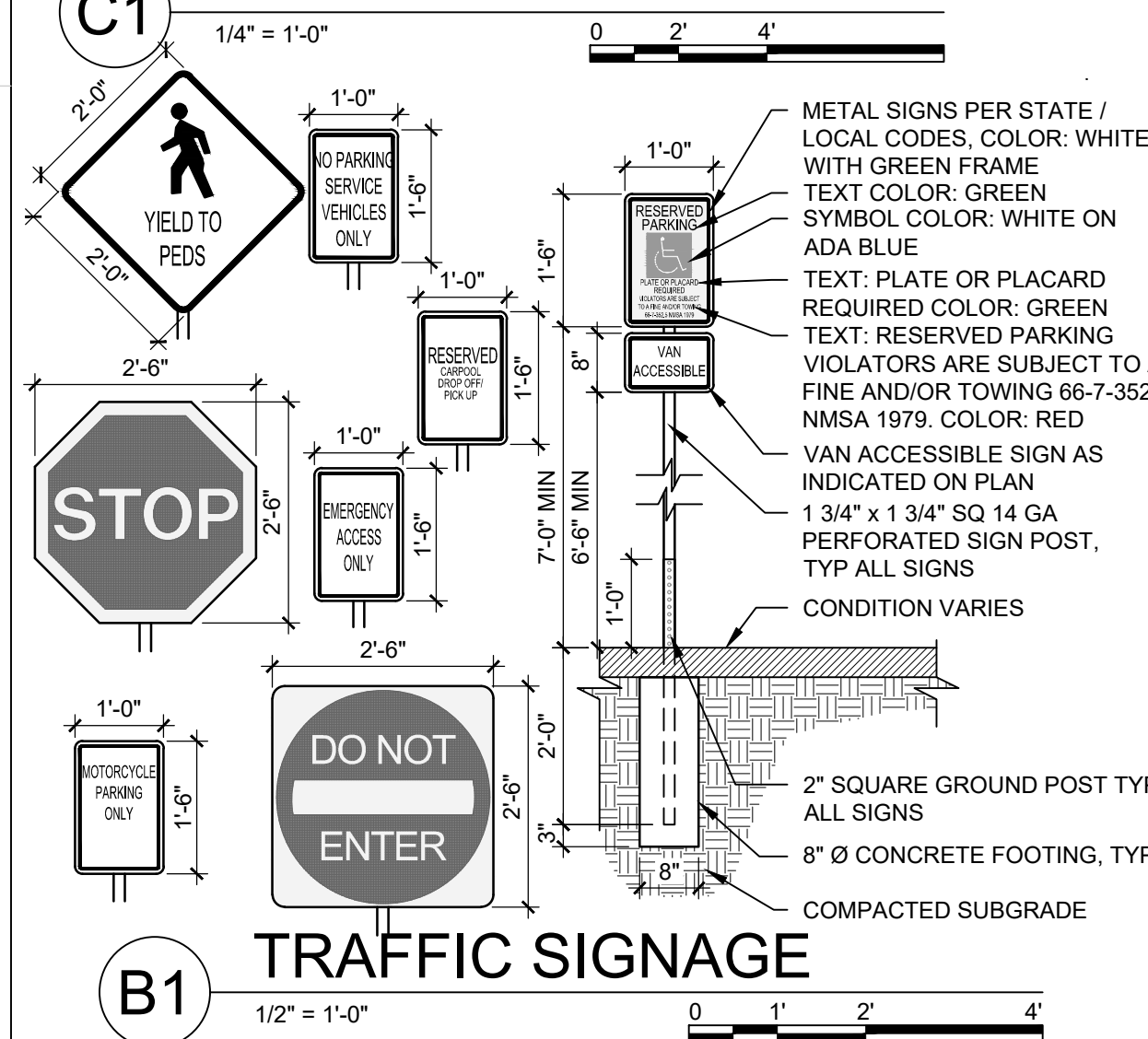
TRAFFIC CONTROL PLAN

SHEET NO.

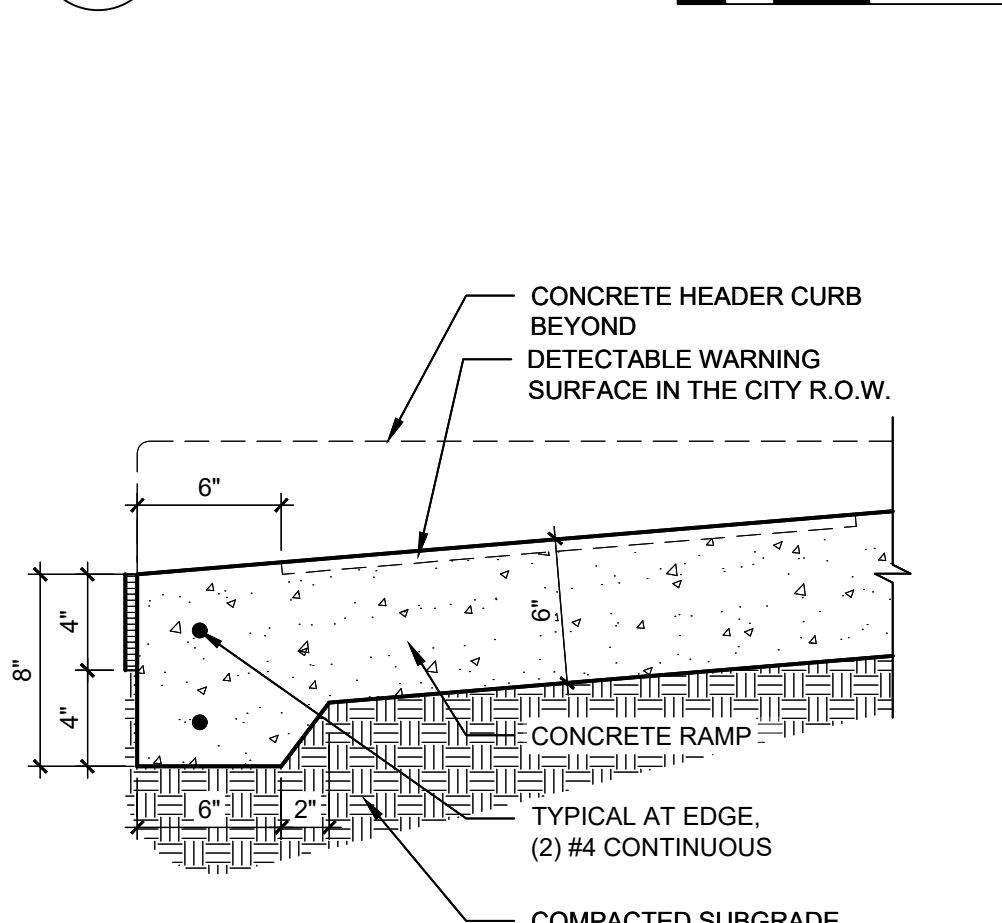
TCL OF



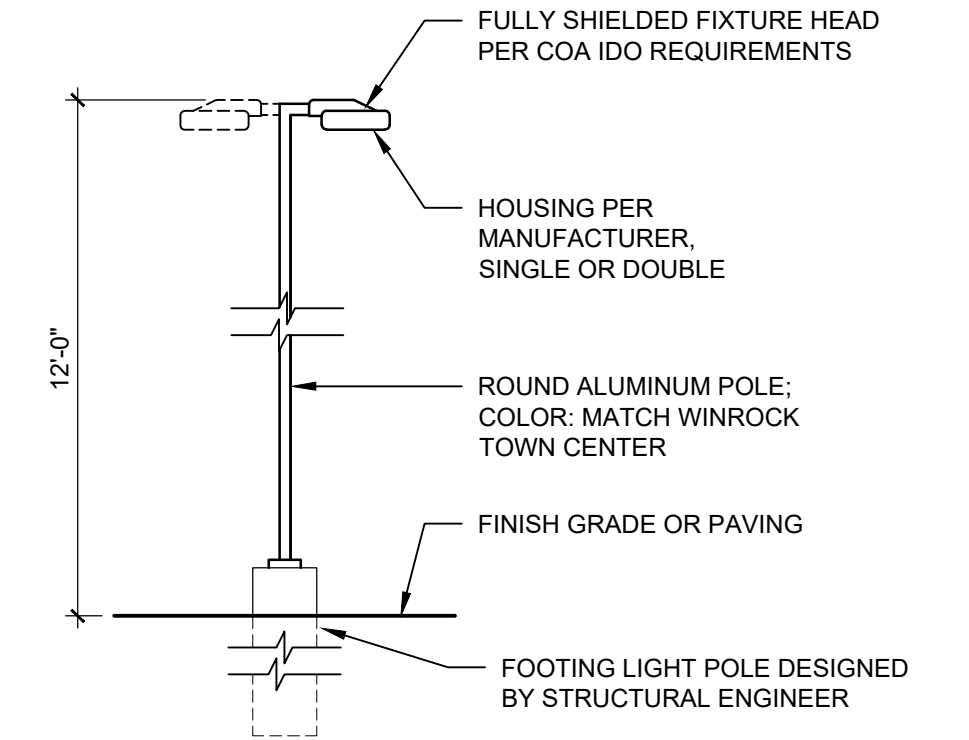
TRASH COMPACTOR ENCLOSURE



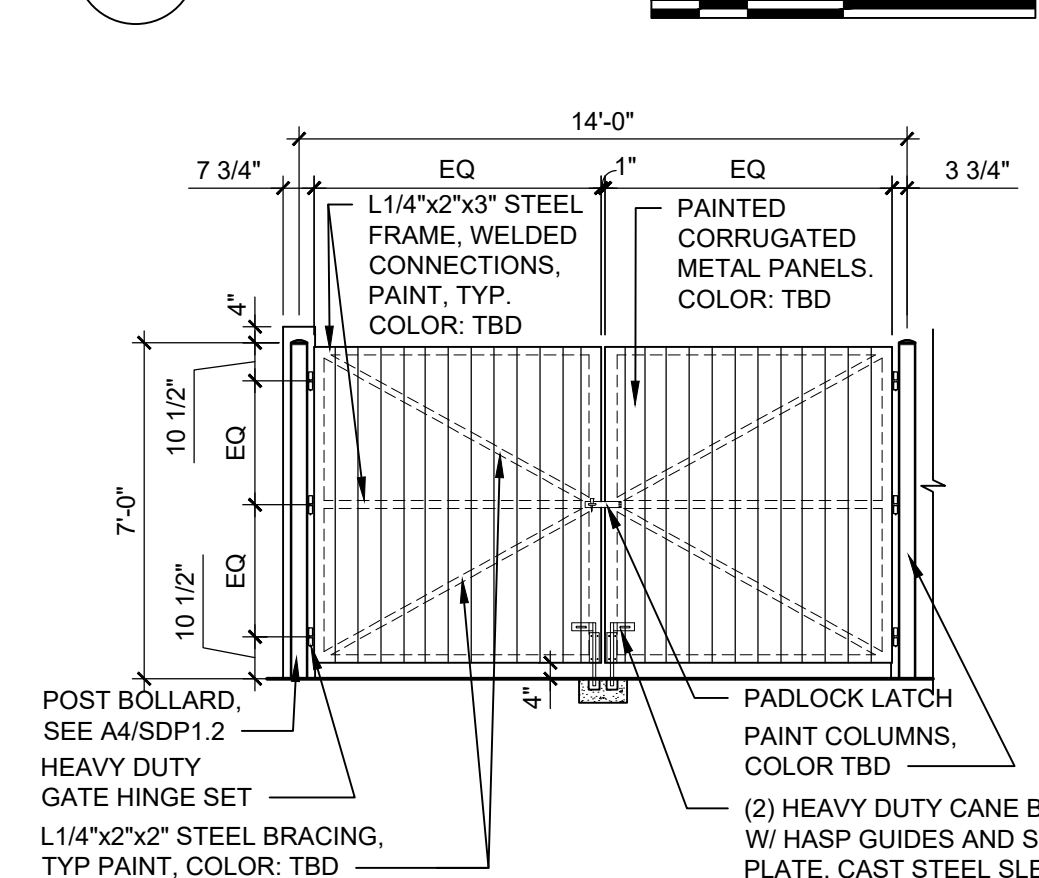
TRAFFIC SIGNAGE



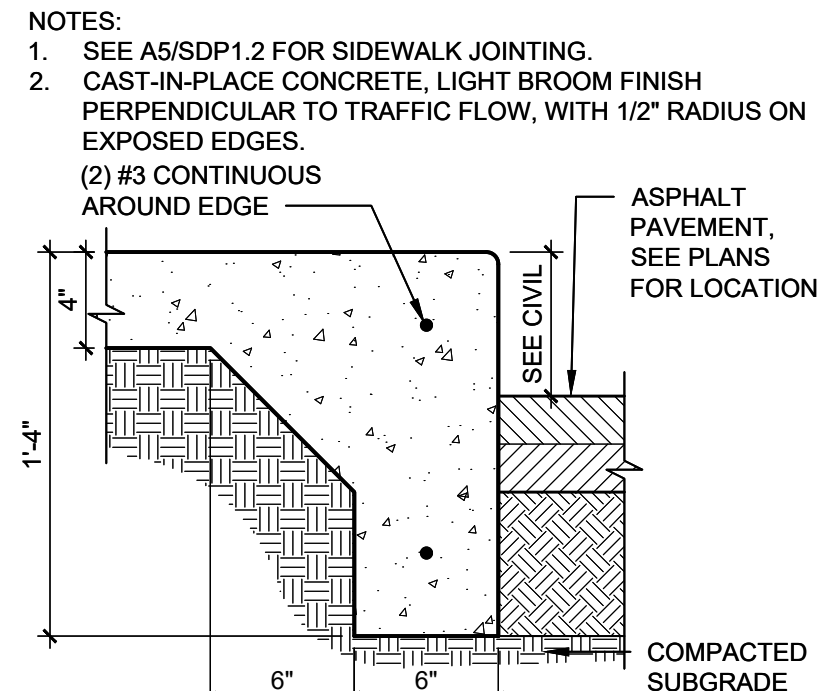
RAMP TRANSITION



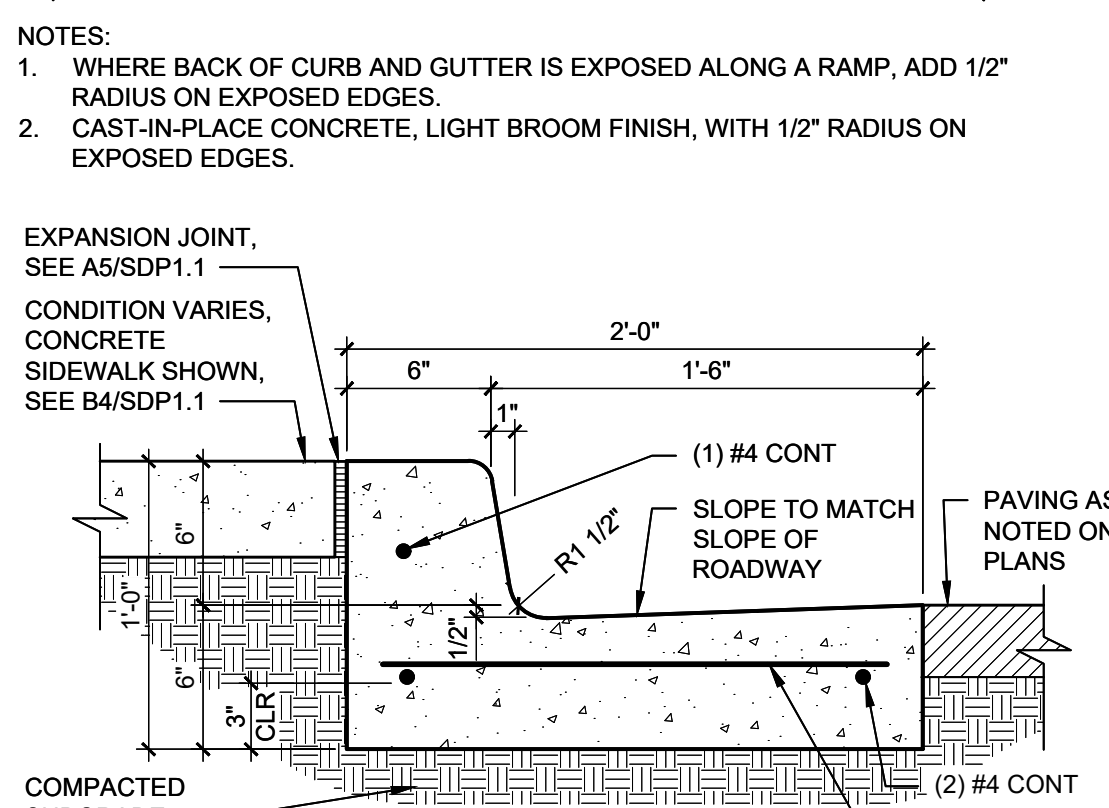
PARKING LIGHT POLE



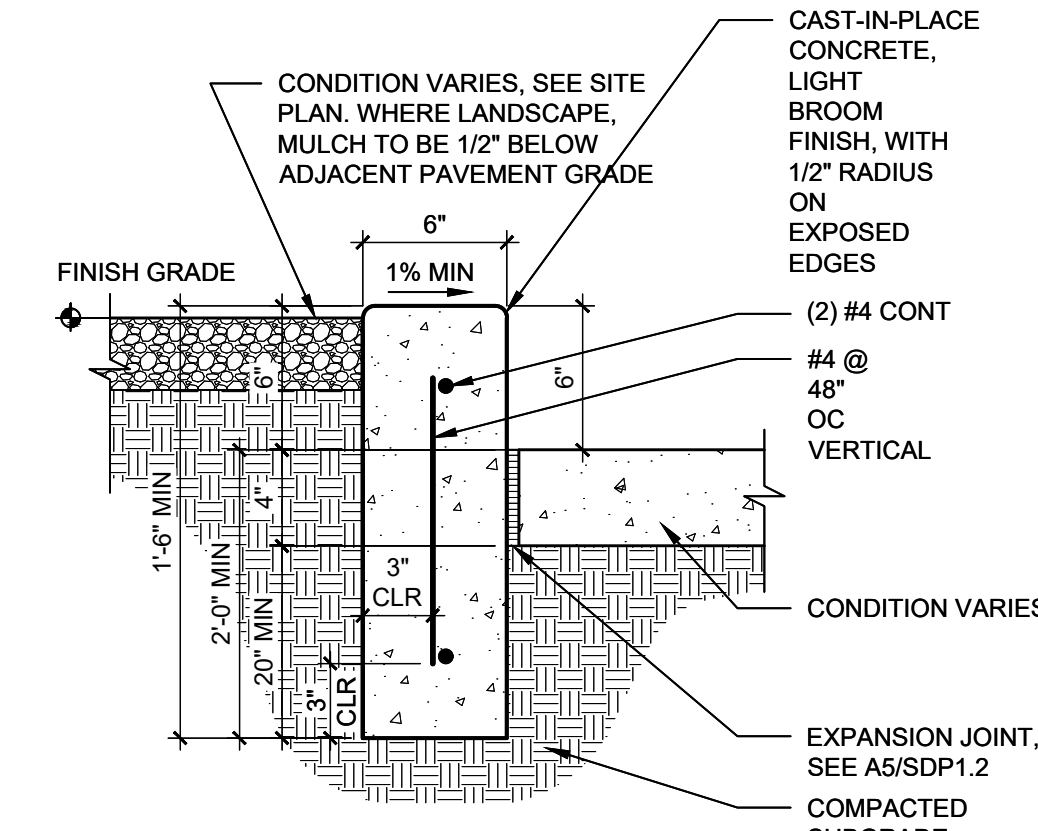
REFUSE ENCLOSURE GATE



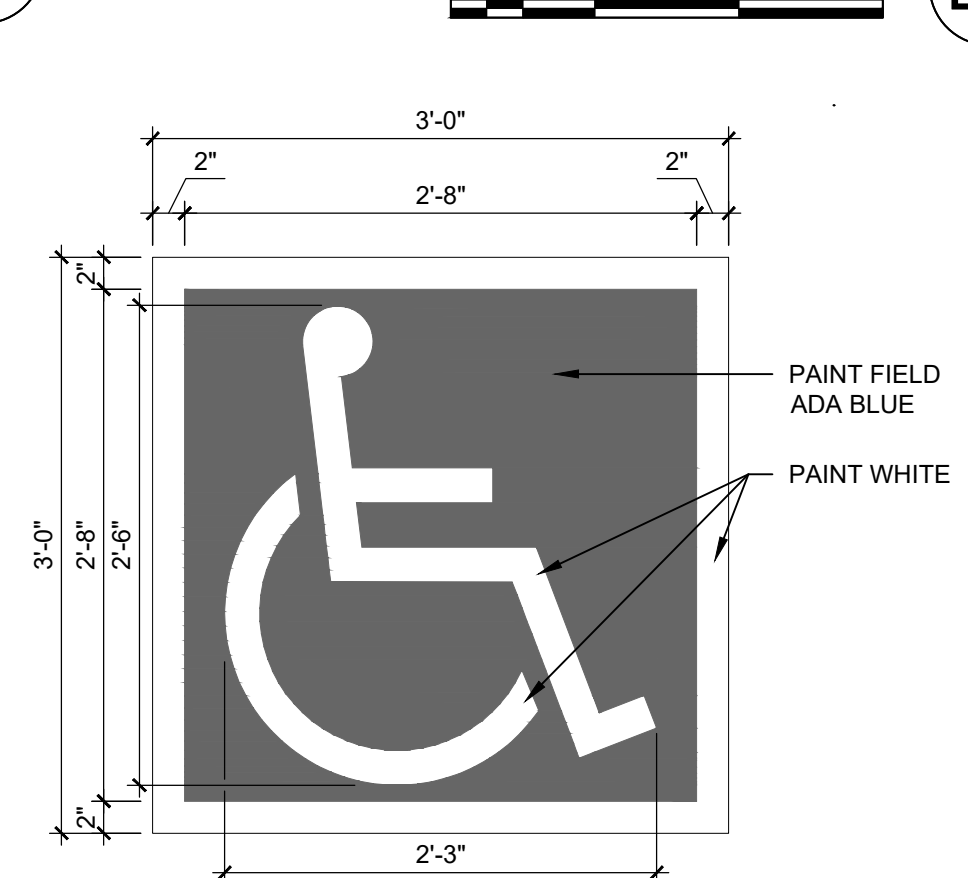
SIDEWALK WITH TURNDOWN EDGE



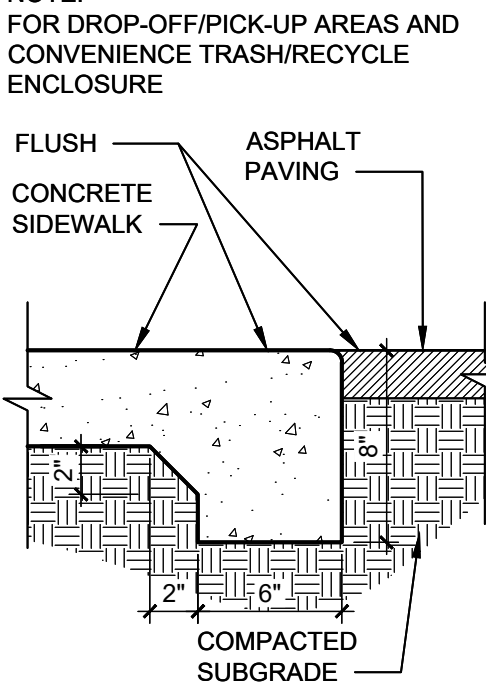
CONCRETE CURB & GUTTER



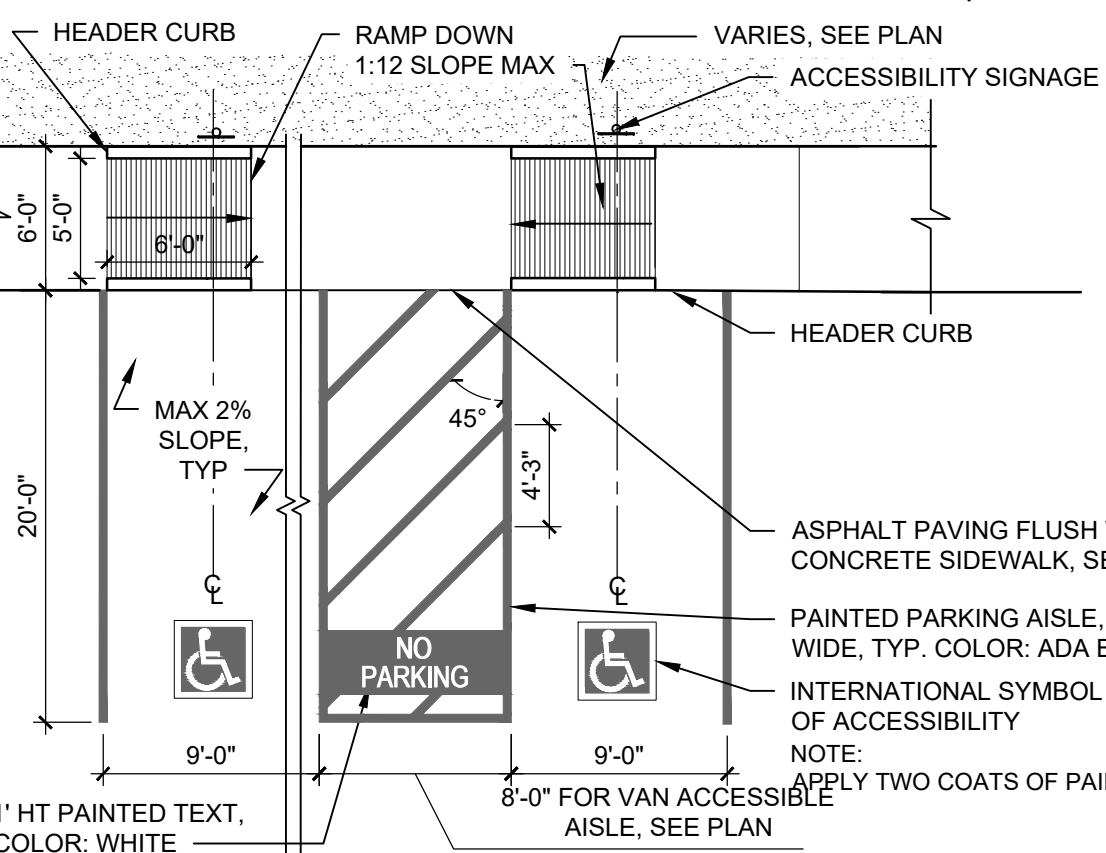
CONCRETE HEADER CURB



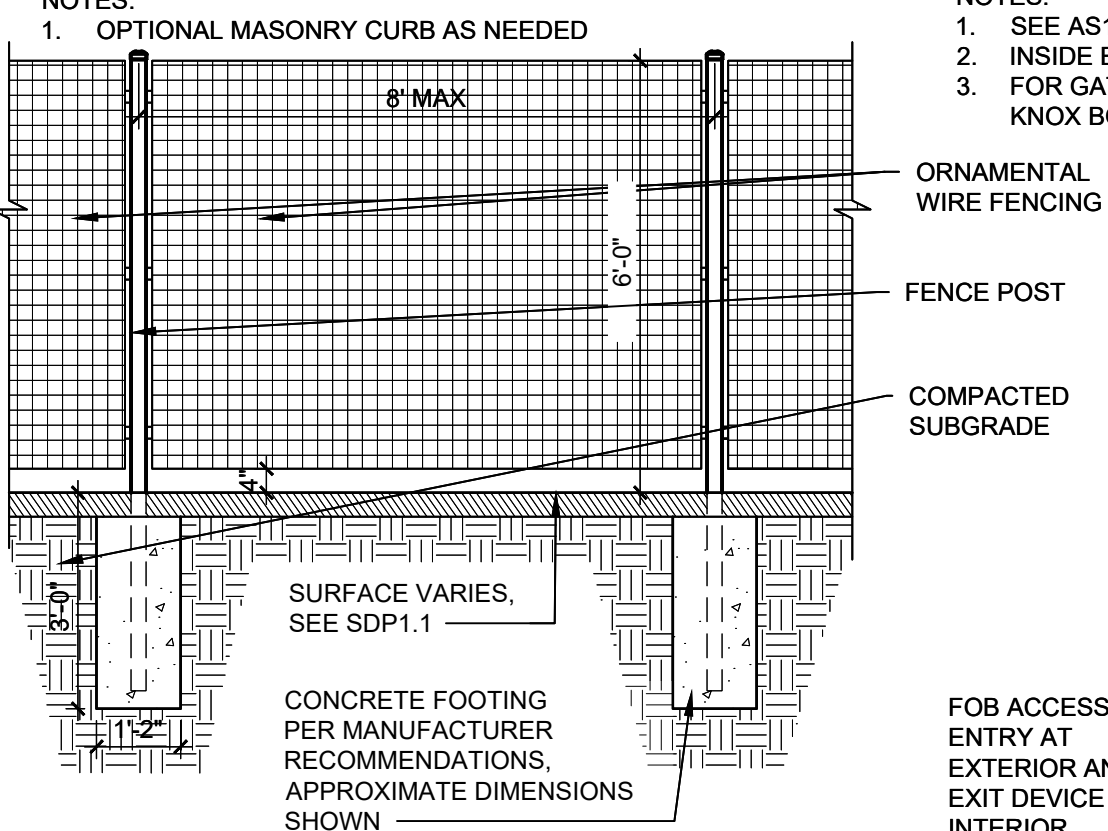
ACCESSIBLE PAVEMENT MARKING



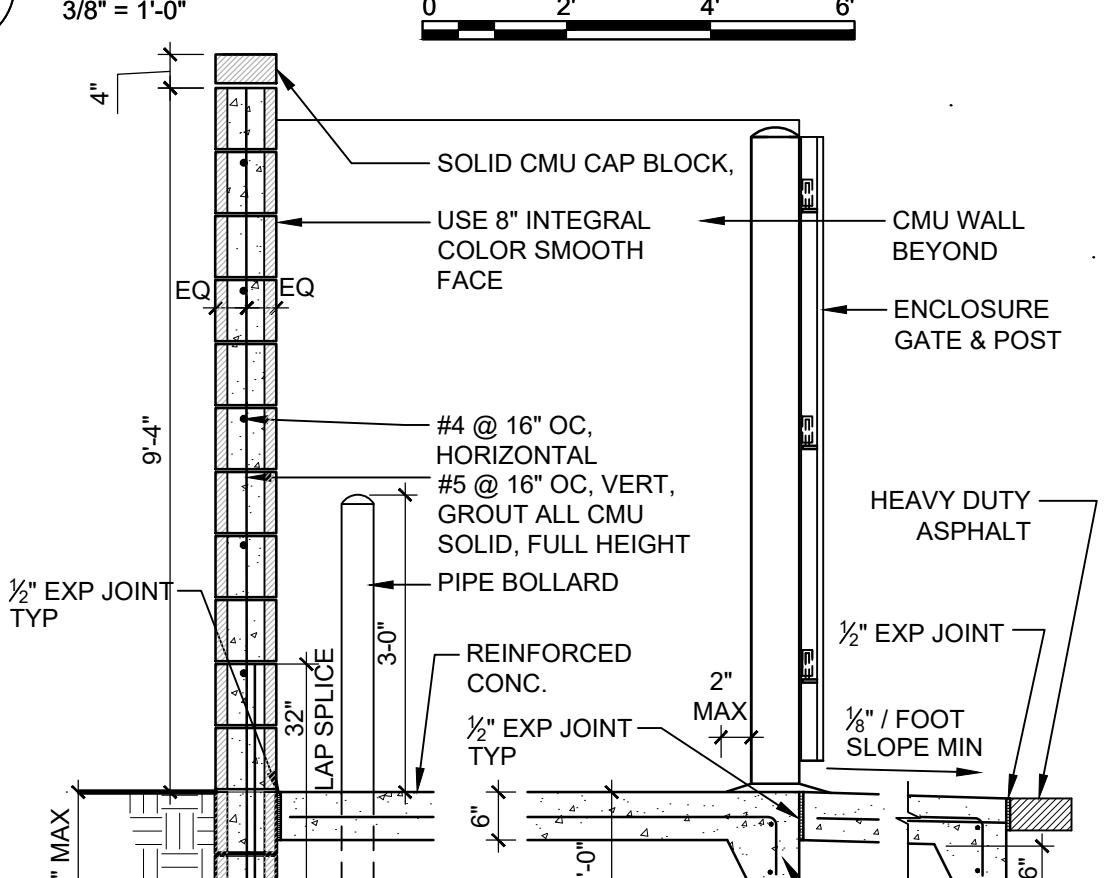
FLUSH CONCRETE SIDEWALK



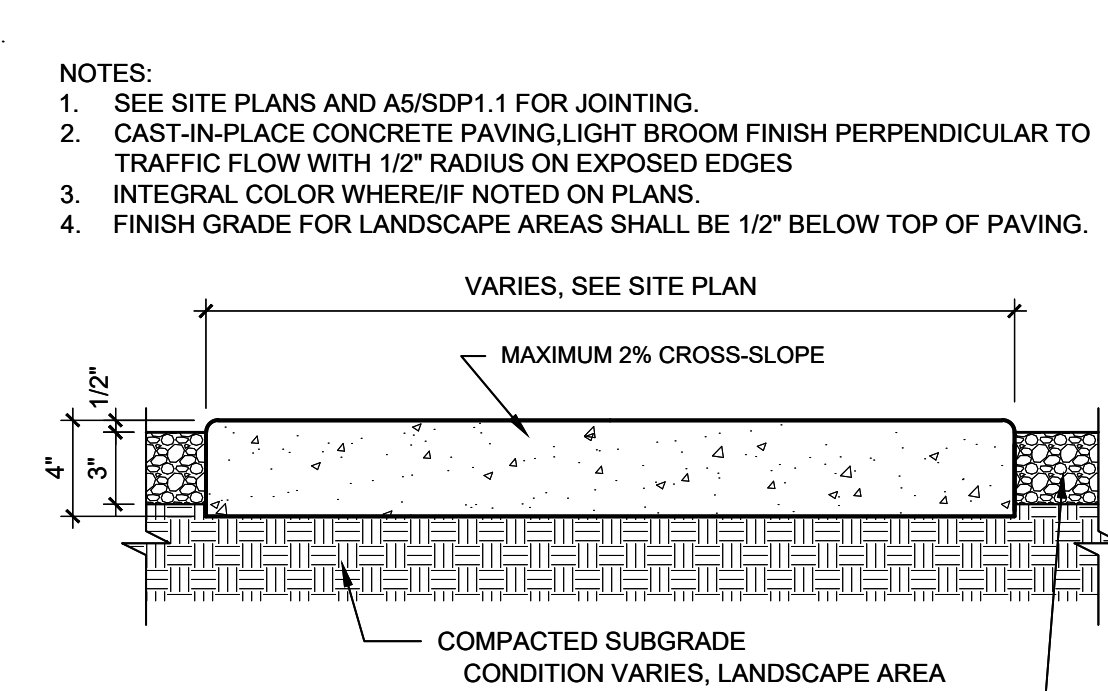
ACCESSIBLE PARKING



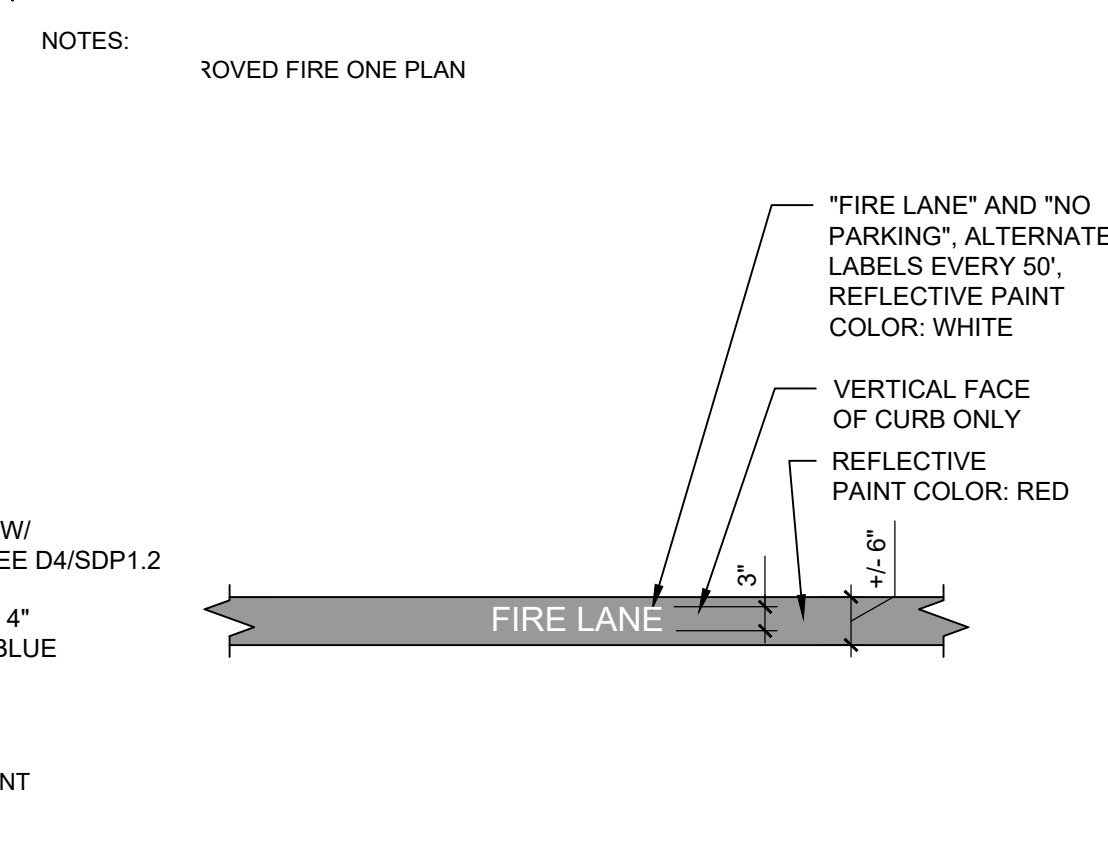
6' TALL ORNAMENTAL WIRE FENCE



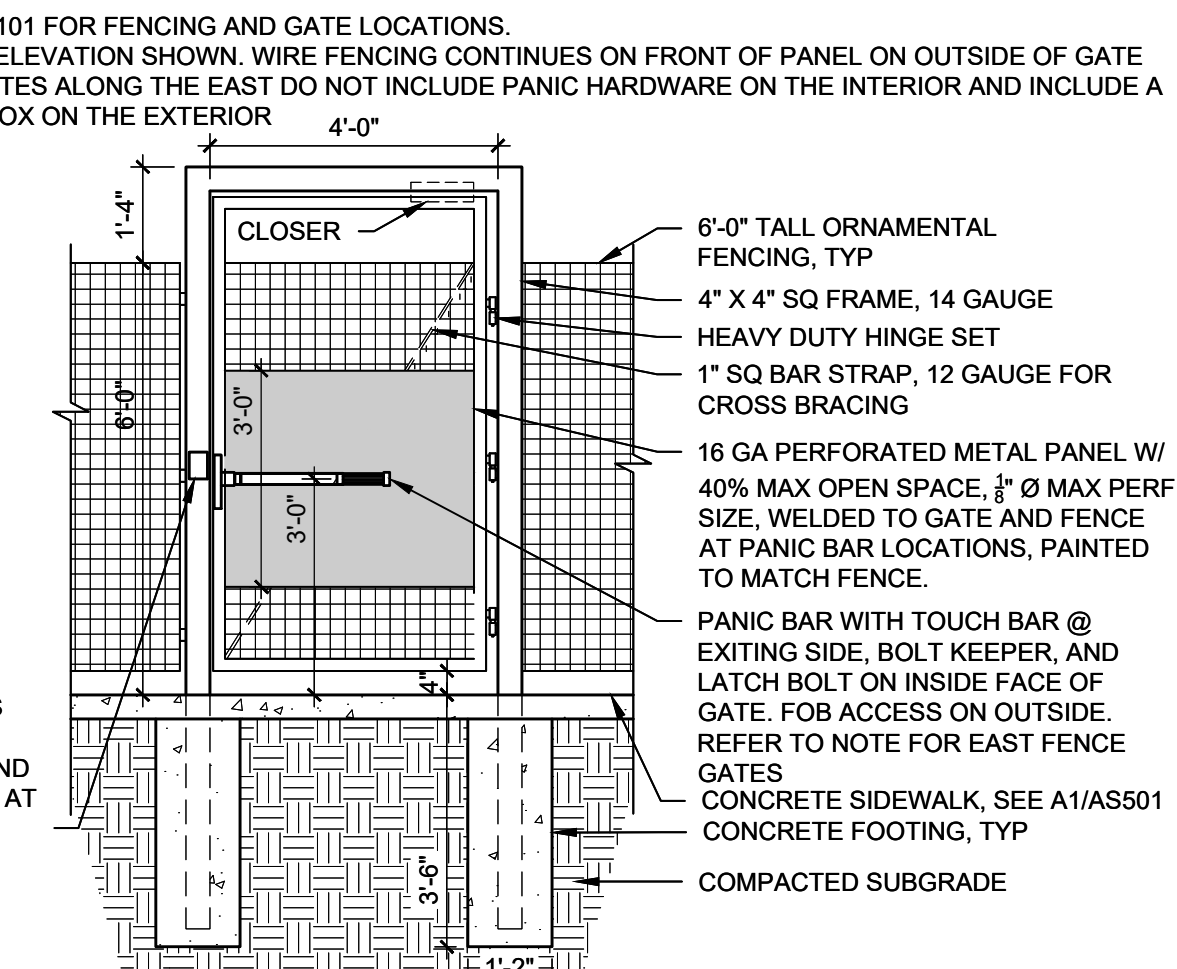
COMPACTOR ENCLOSURE SECTION



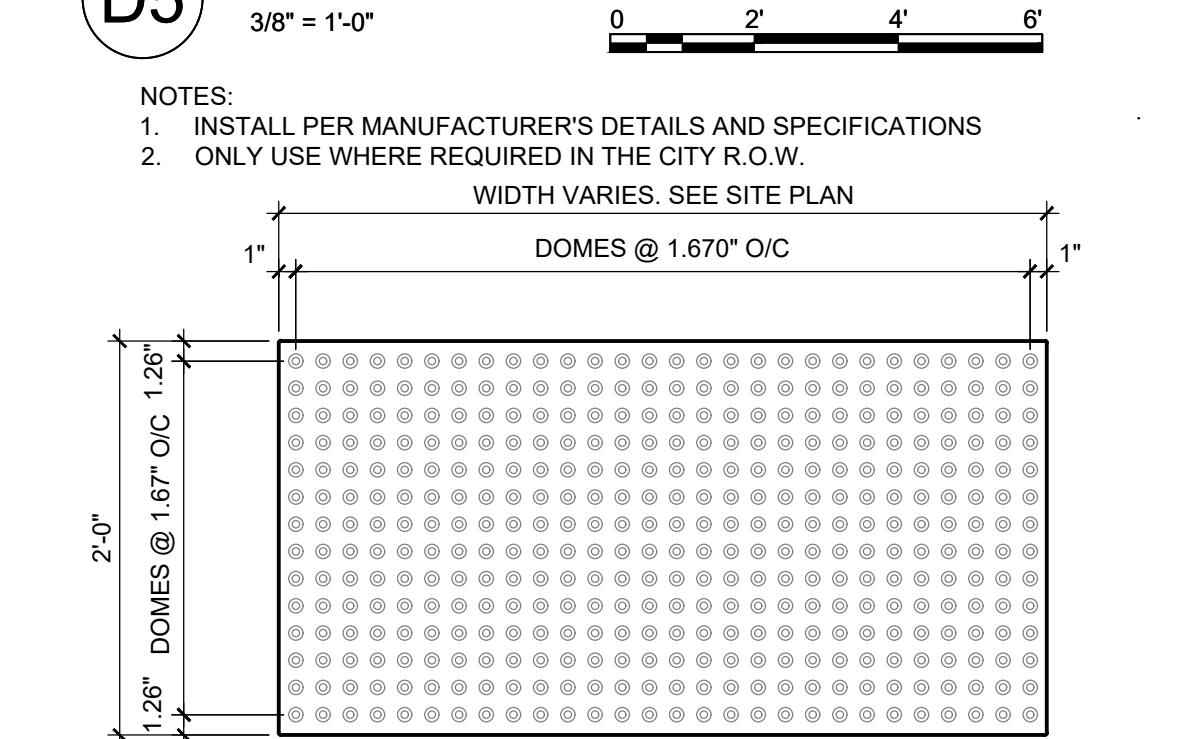
CONCRETE SIDEWALK



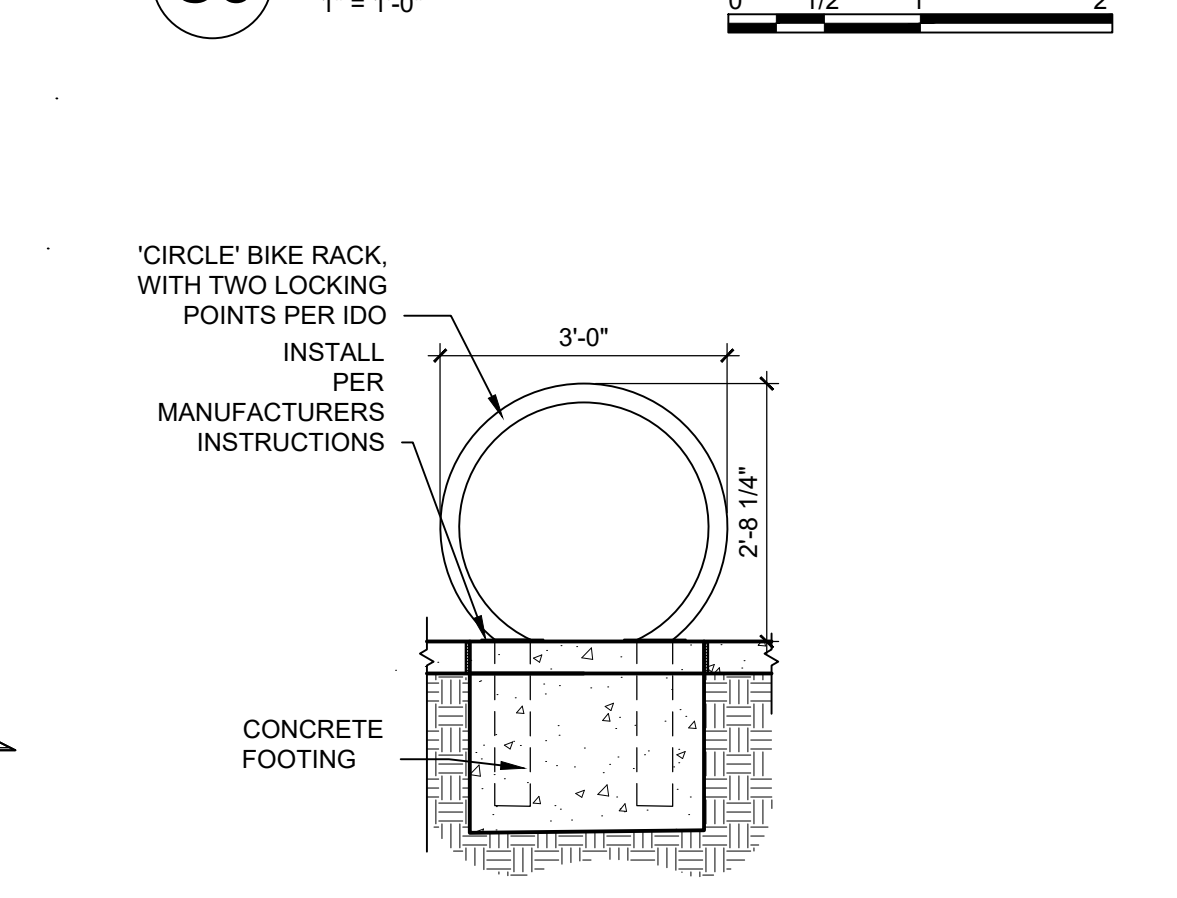
FIRELANE STRIPING



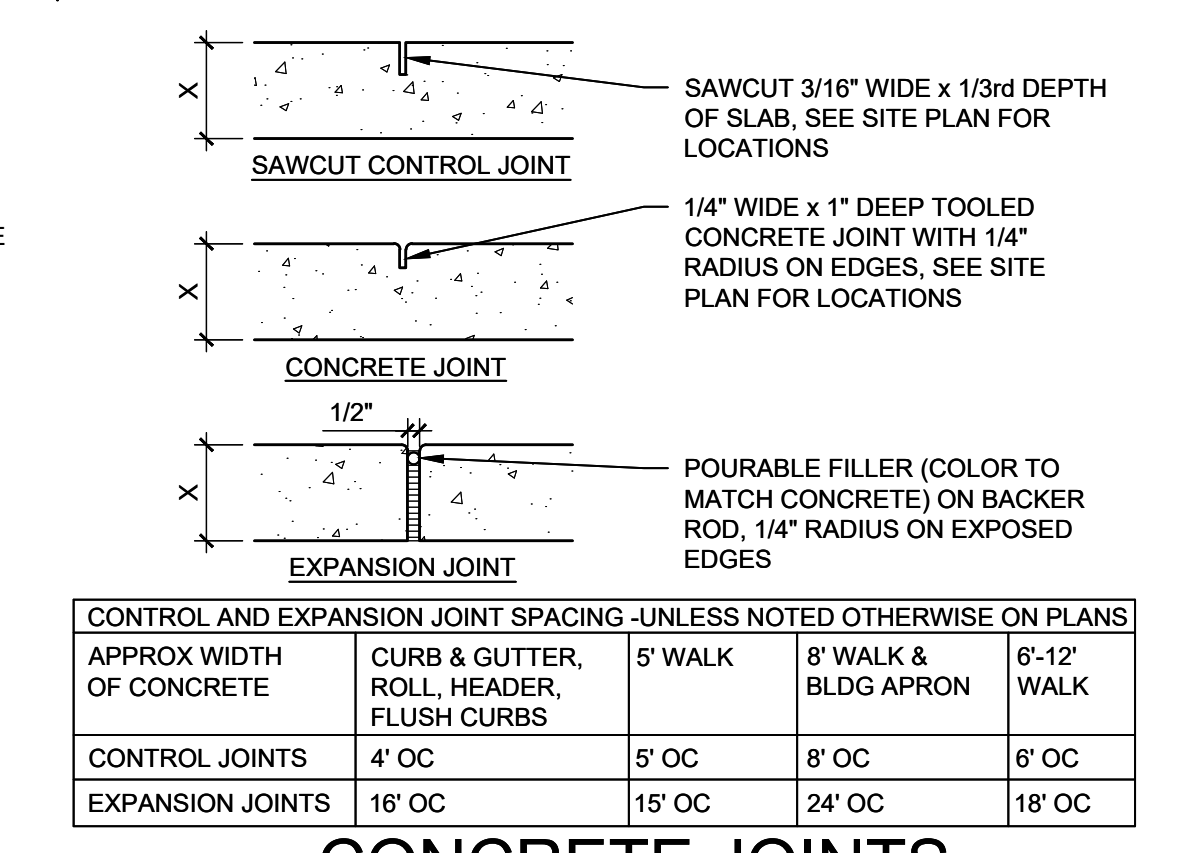
ORNAMENTAL WIRE PEDESTRIAN GATE



DETECTABLE WARNING SURFACE



BICYCLE RACK



CONCRETE JOINTS & JOINT SPACING

CONTROL AND EXPANSION JOINT SPACING - UNLESS NOTED OTHERWISE ON PLANS				
APPROX WIDTH OF CONCRETE	CURB & GUTTER, ROLL, HEADER, FLUSH CURBS	5' WALK	8' WALK & BLDG APRON	6'-12' WALK
CONTROL JOINTS	4' OC	5' OC	8' OC	6' OC
EXPANSION JOINTS	16' OC	15' OC	24' OC	18' OC

DEKKER
PERICH
SABATINI

ARCHITECTURE
DESIGN
INSPIRATION

ARCHITECT



ENGINEER

PROJECT

APARTMENTS
AT INDIAN SCHOOL & PENNSYLVANIA
7500 INDIAN SCHOOL RD NE
ALBUQUERQUE, NM, 87110

REVISIONS

- 1. N/P/S
- 2.
- 3.
- 4.

DRAWN BY Dekker
REVIEWED BY Dekker
DATE 01.09.2025
PROJECT NO. 19-0087
DRAWING NAME

SITE
DETAILS

SHEET NO.

SDP1.2
OF