

Planning Department Transportation Development Services Section

March 3, 2011

David Soule, P.E.
Rio Grande Engineering
PO Box 67305
Albuquerque, NM 87199

Re: Certification Submittal for a Permanent Building Certificate of Occupancy (C.O.)

for <u>Lomas Car Wash</u>, [J-20 / D003]

9939 Lomas NE

Engineer's Stamp Dated 03/02/11

Dear Mr. Soule:

Based upon the information provided in your submittal received 03-02-11, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy.

PO Box 1293

This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact me at (505)924-3630.

NM 87103

www.cabq.gov

Nilo E. Selgado-Fernandez, P.E.

Senior Traffic Engineer

Development and Building Services

Planning Department

c: Engineer

Sincerely

Hydrology file CO Clerk

(REV. 01/28/2003rd)

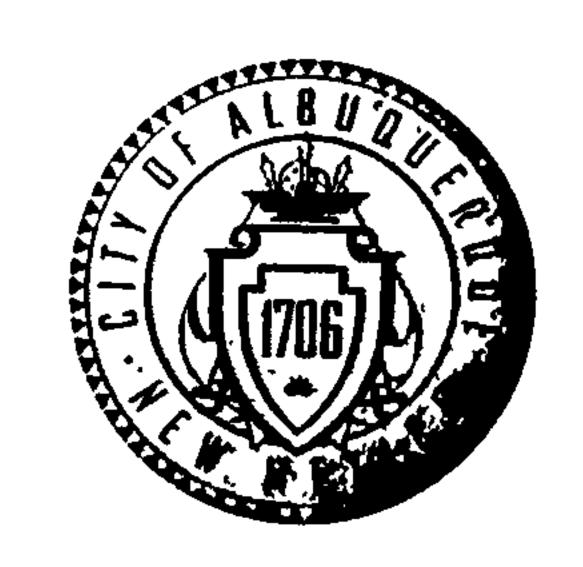
PROJECT TITLE: DRB #:	Lomas Car Wash EPC #:	ZONE MAP/I WORK ORD	DRG. FILE #: <u>J20/D003</u>
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LEGAL DESCRIPTION:	Tract C-1-A, Lands of Grevey(formerly tra		
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ENGINEERING FIRM:	Rio Grande Engineering	CONTACT:	David Soule, PE
ADDRESS:	PO BOX 67305	PHONE:	(505)321-9099
CITY, STATE:	Alb	ZIP CODE:	87199
OWNER:	Lomas Jack, Ilc	CONTACT:	
ADDRESS:	PO Box 67305	PHONE:	——————————————————————————————————————
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Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a dranage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of sumbittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plans: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



March 3, 2011

David Soule, P.E.

Rio Grande Engineering
P.O. Box 67305

Albuquerque, NM 87193

Re: Lomas Car Wash, 9939 Lomas Blvd NE,

Request for Permanent C.O. - Approved

Engineer's Stamp dated: 03-06-10 (J-20/D003)

Certification dated: 02-08-11

Dear Mr. Wahlen,

Based upon the information provided in the Certification received 03-02-11, the above referenced Certification is approved for a release of a Permanent Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3982.

Albuquerque

Timothy E. Sims,

Sincerely

NM 87103

Plan Checker—Hydrology Section Development and Building Services

www.cabq.gov

C: CO Clerk—Katrina Sigala File

(REV. 01/28/2003rd)

PROJECT TITLE:	Lomas Car Wash		DRG. FILE #: <u>J20/D003</u>
DRB #:	EPC #:	WORK ORD)E <u>R #:</u>
LEGAL DESCRIPTION:	Tract C-1-A, Lands of Grevey(formerly trac	cts C1 &C2)	
CITY ADDRESS:		oma s	
ENGINEERING FIRM:	Rio Grande Engineering	CONTACT:	David Soule, PE
ADDRESS:	PO BOX 67305	PHONE:	(505)321-9099
CITY, STATE:	Alb	ZIP CODE:	87199
OWNER:	Lomas Jack, Ilc	CONTACT:	
ADDRESS:	PO Box 67305	PHONE:	
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Ron Standiferd

Sands Construction, LLC 1617 McDonald Rd, NW Albuquerque, New Mexico 87107

Phone: (505) 615-8515
Fax: (505) 344-4184
Contractor Lic. No. 359668
GB98 and GF09
Email: rons @ cybermesa.com





March 23, 2010

David Soule, P.E. Rio Grande Engineering P.O. Box 67305 Albuquerque, NM 87199

Re: Lomas Car Wash, Grading and Drainage Plan Engineer's Stamp date 03-06-2010 (J20/D003)

Dear Mr. Soule,

Based upon the information provided in your submittal received 03-08-2010, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

PO Box 1293

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required

Albuquerque

If you have any questions, you can contact me at 924-3695.

NM 87103

www.cabq.gov

Sincerely,

Curtis A. Cherne, P.E.

Senior Engineer, Planning Dept.

Development and Building Services

C: file

(REV. 01/28/2003rd)

LEGAL DESCRIPTION: Tract C-1-A, Lands of Grevey(formerly tracts C1 &C2) CITY ADDRESS: Lomas west of Eubankd ENGINEERING FIRM: Rio Grande Engineering CONTACT: David Soule, PE ADDRESS: PO BOX 67305 PHONE: (505)321-9099 CITY, STATE: Alb ZIP CODE: 87199 OWNER: Lomas Jack, IIc CONTACT: PHONE: CITY, STATE: AIV ZIP CODE: 87199 ARCHITECT: CONTACT: PHONE: CONTACT: ADDRESS: CITY, STATE: CONTACT: PHONE: CITY, STATE: ZIP CODE: ZIP CODE:	PROJECT TITLE: DRB #:	Lomas Car Wash EPC #:	ZONE MAP/D	PRG. FILE #: <u>J20/D003</u> ER #:
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	DATE SUBMITTED:	3/4/2010	BY:	

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a dranage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of sumbittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plans: Required for approval of Site Development Plans greater than five
- (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

Mr. Curtis A. Cherne, PE Principal Engineer Planning Department City of Albuquerque

RE: Gradin

Grading and Drainage Plan Lomas Car wash, J20/D003

Dear Curtis:

The purpose of this letter is to accompany the enclosed grading plan for the referenced project. This plan has been modified to address your written comments dated February 19, 2010. The following is a paraphrasing of your comments and a summary as to how they were addressed.

Provide a detail/build notes for all applicable construction

All appropriate build notes have been added

Is curbing provided throughout the site, if so what is top of curb?

6" header curb has been labeled.

What is being done between the property line and curb?

This area will be landscaped, no excessive slopes are created.

How is 6" pipe placed?

The pipe has been detailed.

Where is sidewalk?

Sidewalk has been labeled.

Can .5 cfs be retained in the landscape areas?

Plan has been modified. The existing conditions have been adjusted to better describe the site as it is. A water harvesting pond has been added to capture a portion of the pavement; this reduces the increase flow to only .08 cfs, which is negligible. A modified spreadsheet has been enclosed to show the effect and required volumes of the landscape pond.

MAR 0 8 2010

HYDROLOGY

The 5029 contour at the west end of building...needs clarification

This has been corrected.

Spot Elevation 5431.18 should be 5431.38

This has been corrected.

Should you have any questions regarding this resubmittal, please do not hesitate to call me.

Sincerely,

0.11

David Soule, PE

Enclosures

MAR 0 8 2010

HYDROLOGY

SECTION

Weighted E Method

Existing Basins

											100-Year		
Basin	Area	Area	Treat	ment A	Trea	tment B	Treat	ment C	Treat	ment D	Weighted E	Volume	Flow
	(sf)	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	(ac-ft)	(ac-ft)	cfs
ONSITE	53200.00	1.221	20%	0.2442608	26%	0.318	38%	0.4641	6%	0.073	0.865	0.088	2.91
Total	53200.00	1.221		0.244		0.318		0.464		0.073		0.088	2.91

Proposed Developed Basins

												100-Year, 6-hr.			
Basin Area		Area	Treatn	nent A	Trea	tment B	Trea	lment C	Treat	ment D	Weighted E	Volume	Flow	Volume	
	(sf)	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	(ac-ft)	(ac-ft)	cfs	(ac-ft)	
BASIN A	17641.80	0.405	0%	0	29%	0.117	17%	0.06885	54%	0.219	1.563	0.053	1.51	0.082	
BASIN B	35544.96	0.816	0%	0	18%	0.147	20%	0.1632	62%	0.506	1.681	0.114	3.23	0.182	
BASIN B1	4560.00	0.105	0%	0	34%	0.036	13%	0.01361	53%	0.055	1.536	0.013	0.38	0.021	
Total	53186.76	1.221		0						· · · · · · · · · · · · · · · · · · ·			4.35	0.18	

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm

Ea= 0.53 Qa= 1.56 Eb= 0.78 Qb= 2.28 Ec= 1.13 Qc= 3.14 Ed= 2.12 Qd= 4.7

Existing Condition

DISCHARGE TO LOMAS 2.91 cfs

Developed Conditions

BASIN A Discharge to Pond = 1.51 cfs
BASIN A Discharge from Pond 0.15 cfs
Basin B discharge to Lomas 2.84 cfs
(BASIN B-B1)
Total Discharge to Lomas 2.99 cfs

Change 0.08 cfs Increase

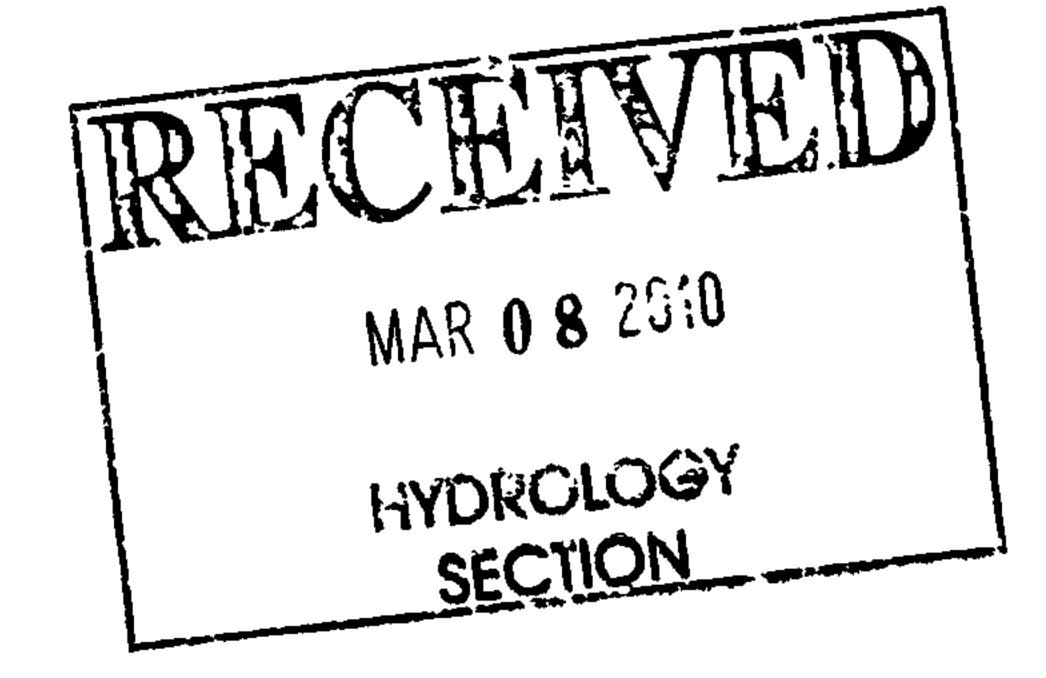
Pond calculations

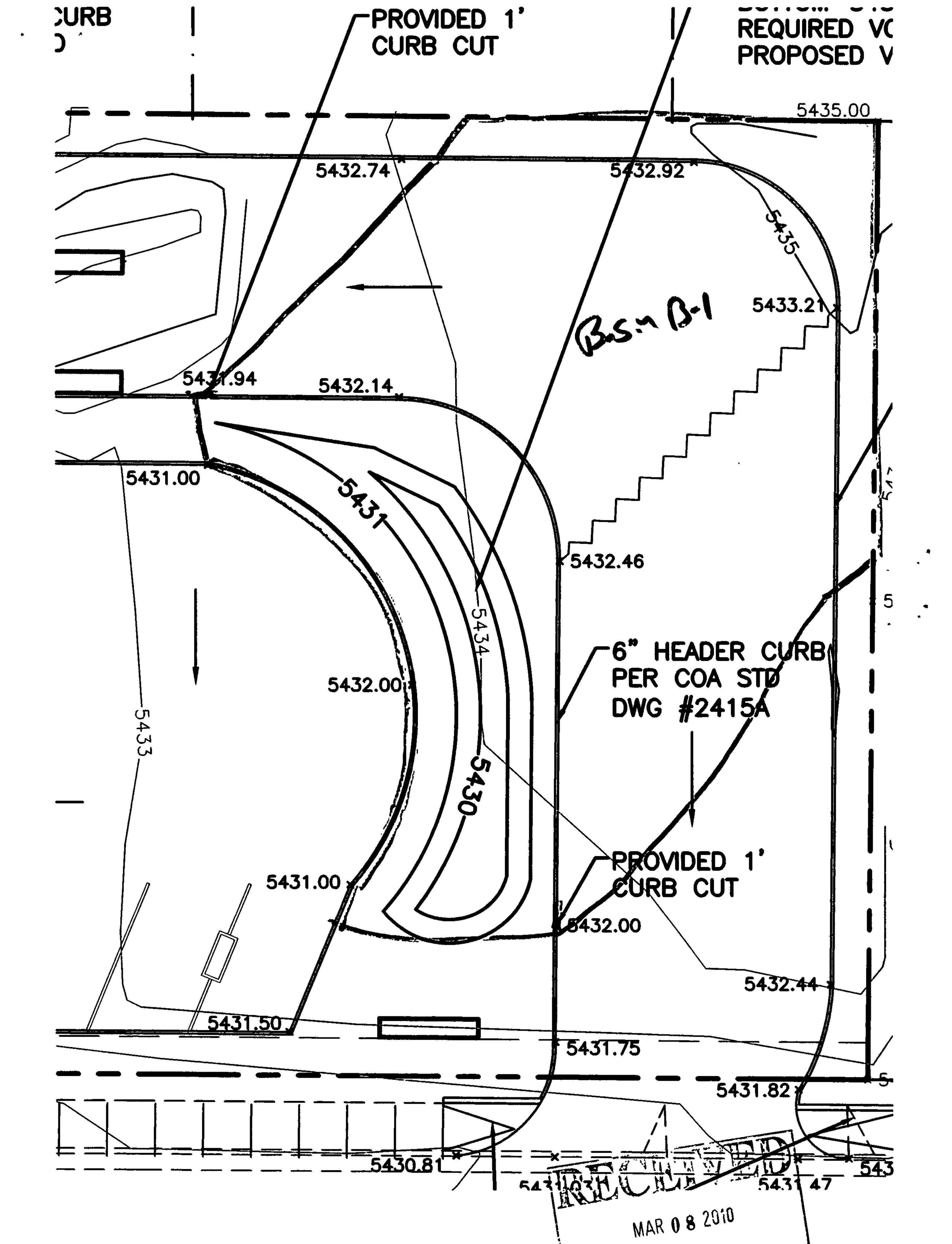
total volume to pond 2298 cubic feet pond volume 2512 cubic feet

harvesting pond

proposed 586 cubic feet required 583.566 cubic feet

74 08





Metro, Kristal D.

From:

Metro, Kristal D.

Sent:

Thursday, May 06, 2010 10:27 AM

To:
Subject:

'David Soule' Lomas Car Wash

Attachments:

Paintbrush Picture

May 6, 2010

David Soule, P.E.
Land Development Consultants, LLC
7009 Marilyn Ave NE
Albuquerque, NM 87109

Re:

Lomas Car Wash, 9935 Lomas Blvd NE, Traffic Circulation Layout

Engineer's Stamp dated 05-05-10 (J10-D003)

Dear Mr. Soule,

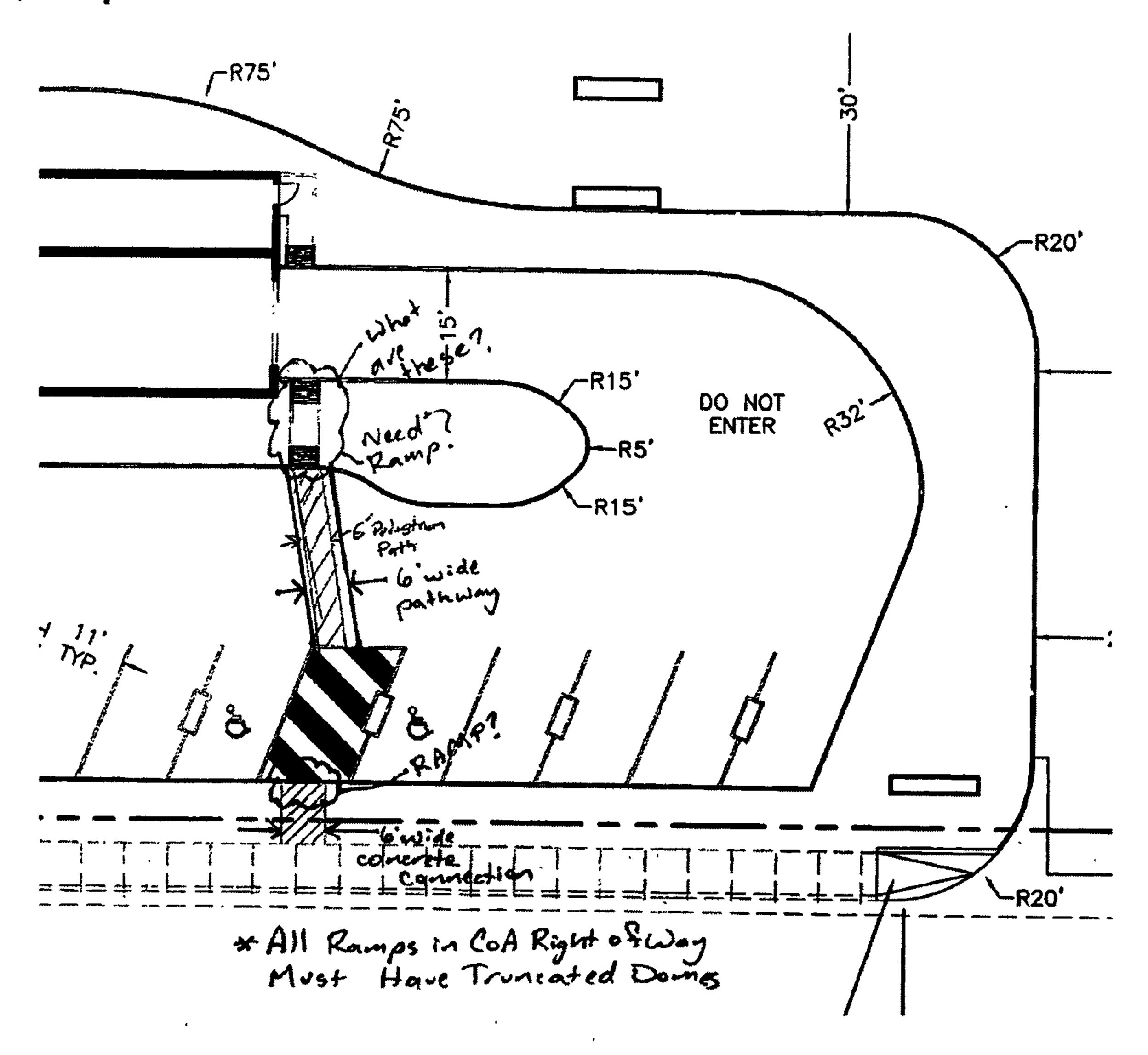
Based upon the information provided in your submittal received 05-05-10, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- 1. All ramps located in City of Albuquerque right of way must have truncated domes. Please add truncated domes to the detail titled "Uni-Directional Wheelchair Ramp w/ Ex. Pole Detail" or add a general note.
- 2. Clearly show the 6 foot wide, ADA accessible, pedestrian connection from Lomas Blvd. to the building.

 Show all ramps, if needed, and provide details. Please note that the connection is concrete from Lomas to the handicapped access aisle.
- 3. The pedestrian pathway from the handicapped access aisle to the building must be to scale. Please clarify if a ramp is required, as well as defining what is located both east and west of the proposed carwash. Are these stairs?

1

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If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

(REV. 01/28/2003rd)

PROJECT TITLE: DRB #:	Lomas Car Wash EPC #:	ZONE MAP/D WORK ORDE	ORG. FILE #: <u>J20/D003</u> ER #:
LEGAL DESCRIPTION: CITY ADDRESS:	Tract C-1-A, Lands of Grevey(formerly tracts Lomas west of Eubankd	C1 &C2)	
ENGINEERING FIRM: ADDRESS: CITY, STATE:	Rio Grande Engineering PO BOX 67305 Alb	CONTACT: PHONE: ZIP CODE:	David Soule, PE (505)321-9099 87199
OWNER: ADDRESS: CITY, STATE:	Lomas Jack, IIc PO Box 67305 alv	CONTACT: PHONE: ZIP CODE:	87199
ARCHITECT: ADDRESS: CITY, STATE:		CONTACT: PHONE: ZIP CODE:	
SURVEYOR: ADDRESS: CITY, STATE:	Geo surv CO	CONTACT: PHONE: ZIP CODE:	David Vigil •
CONTRACTOR: ADDRESS: CITY, STATE:		CONTACT: PHONE: ZIP CODE:	
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Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a dranage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of sumbittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plans: Required for approval of Site Development Plans greater than five
- (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



May 7, 2010

David Soule, P.E.

Land-Development-Consultants, LLC.

7009-Marilyn-Ave-NE---
Albuquerque, NM 87409-193

Re:

Lomas Car Wash, 9935 Lomas Blvd NE, Traffic Circulation Layout

Engineer's Stamp dated 05-06-10 (J10-D003)

Dear Mr. Soule,

The TCL submittal received 05-06-10 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.

PO Box 1293

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

Albuquerque

NM 87103

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Del Sol Building.

Kristal D. Metro, P.E.

Traffic Engineer, Planning Dept.

Development and Building Services

C:

File

(REV. 01/28/2003rd)

PROJECT TITLE:	Lomas Car Wash	ZONE MAP/	DRG. FILE #: J20/D003
DRB #:	EPC #:	WORK ORD	ER#:
LEGAL DESCRIPTION:	Tract C-1-A, Lands of Grevey(formerly trac	to C4 2C21	
CITY ADDRESS:	Lomas west of Eubankd		. <u> </u>
		······································	
ENGINEERING FIRM:	Rio Grande Engineering	CONTACT:	David Soule, PE
ADDRESS:	PO BOX 67305	PHONE	(505)321-9099
CITY, STATE:	Alb	ZIP CODE:	87199
OWNER:	Lomas Jack, lic	CONTACT:	
ADDRESS:	PO Box 67305	PHONE:	
CITY, STATE:	atv	ZIP CODE:	87199
ARCHITECT:		CONTACT:	
ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	
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SURVEYOR:	Geo surv CO	CONTACT:	David Vigil
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- 1. Conceptual Grading and Drainage Plans: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



October 26, 2007

James Medley, R.A. 3100 Christine St. NE Albuquerque, NM 87111

Re: The Ultimate Carwash, 9935 Lomas Blvd NE, Traffic Circulation Layout

Architect's Stamp dated 10-26-07 (J20-D3)

Dear Mr. Medley,

The TCL submittal received 10-26-07 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.

P.O. Box 1293

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

Albuquerque

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

www.cabq.gov

New Mexico 87103

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.

Senior Engineer, Planning Dept.

Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (Rev. 12/05)

PROJECT TITLE: <u>ULT I M ATE</u> <u>CAR WASH</u> DRB#: EPC#:	
LEGAL DESCRIPTION: LOT C-2 LAUGS OF CITY ADDRESS:	
ENGINEERING FIRM:ADDRESS:	CONTACT:PHONE:
CITY, STATE:	ZIP CODE:
OWNER:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	_ ZIP CODE:
ARCHITECT: JIM MEDLEY ARCHITECT #	CONTACT: JUNEDUEY
ADDRESS: 3100 CHRISTINE ST NE	PHONE: 292-35/4
CITY, STATE: ALBUQ MM 871/1	ZIP CODE:
SURVEYOR:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	_ ZIP CODE:
CONTRACTOR:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
TYPE OF SUBMITTAL:	TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARANTEE RELEASE
DRAINAGE PLAN 1 st SUBMITTAL	PRELIMINARY PLAT APPROVAL
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D APPROVAL
CONCEPTUAL G & D PLAN	_ S. DEV. FOR BLDG. PERMIT APPROVAL
GRADING PLAN	_ SECTOR PLAN APPROVAL
EROSION CONTROL PLAN	FINAL PLAT APPROVAL
ENGINEER'S CERT (HYDROLOGY)	FOUNDATION PERMIT APPROVAL
CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT	BUILDING PERMIT APPROVAL
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OTHER (SPECIFY)	WORK ORDER APPROVAL
	OTHER (SPECIES)、包含目型点
WAS A PRE-DESIGN CONFERENCE ATTENDED:YES	1 697 R 2997
NO NO	
COPY PROVIDED	HYDROLOGY SECTION
SUBMITTED BY:	DATE: 10/26/07

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
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TENTE I

June 21, 2007

Thomas D. Johnston, P.E. TGC Engineering 330 Louisiana Blvd. NE Albuquerque, NM 87108

Re: The Ultimate Car Wash, Engineer's Stamp dated 5-3-07 (J20/D3) Tracts C1 and C2 of the Lands of Grevey.

Dear Mr. Johnston,

Based on the information contained in your submittal received on May 21, 2007, there are some items that must be addressed prior to permit approval. Those items are as follows.

- Please provide top and bottom of wall elevations for each transition point of the proposed retaining wall.
- Eliminate the western sidewalk culvert on Tract C2. Drainage control elements for that property will be determined once specific development parameters are proposed.
- Revise the sidewalk culvert geometry on Tract C1 to be perpendicular to the Lomas right-of-way so as to eliminate any potential tripping hazards.
- Increase the concrete strength requirements for sidewalks, culverts, curbs, and gutters within the right-of-way to a minimum of 3,500 psi per table 101.C of the DPM.
- Call out standard drawings 2430 and 2415 for the construction of the sidewalk, curb, and gutter associated with the abandonment of the eastern drive entrance.
- Add the standard SO-19 notes.
- Show the location of the gravel lined swale. Will this be used to mitigate the off-site flow from the east? Will an additional sidewalk culvert be necessary at the location of the closed off driveway to convey that flow?
- Give the spot elevation at the southeast corner of the self-service wash bay.
- Revise the trash enclosure spot elevations to create a centralized depression such that the runoff from that structure remains within the enclosure.

If you have any questions or need additional information, feel free to contact me at 924-3990.

Sincerely,

Jeremy Hoover P.E., C.F.M.

Senior Engineer
Hydrology Section

Development and Building Services

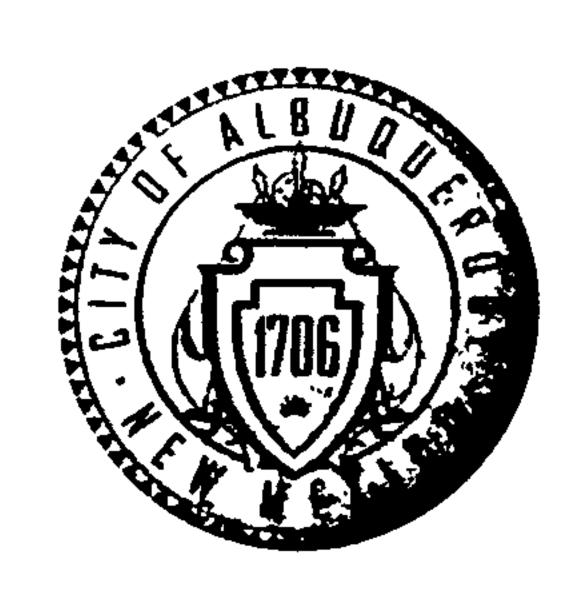
cc: file J20/D3

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



February 18, 2010

George Nemeth, P.E. Smith Engineering Company 2201 San Pedro NE, Bldg 4 Ste 200 Albuquerque, NM 87110

Re: Tramway Linear Park Phase I Grading Plan Engineer's Stamp dated 1-20-10 (K22/D053)

Dear Mr. Nemeth,

Based upon the information provided in your submittal received 1-21-2010, the above referenced plan can not be approved for grading permit, until these comments are addressed.

PO Box 1293

- 1) Build notes are needed for the sidewalk culverts, swales, etc.
- 2) Provide a cross section of the swales. Will they all be the same width and depth?

Albuquerque

If you have any questions, you can contact me at 924-3986.

NM 87103

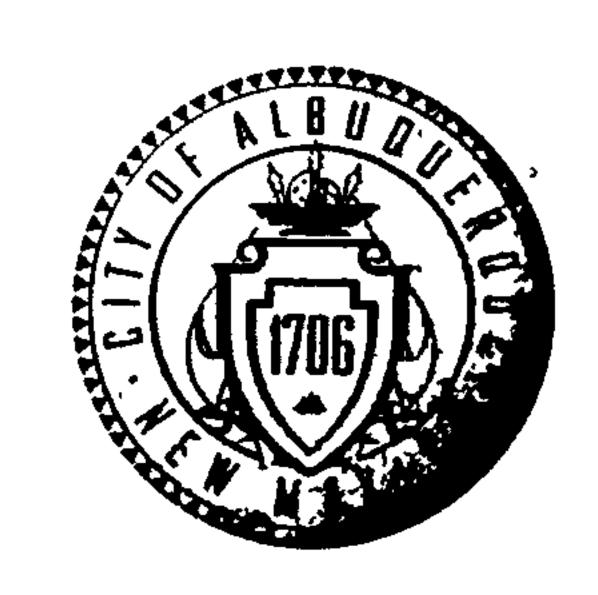
www.cabq.gov

Sincerely,

Bradley L. Bingham, P.E., C.F.M.
City Hydrologist, Planning Dept.

Development and Building Services

C: file



February 19, 2010

David Soule, P.E. Rio Grande Engineering P.O. Box 67305 Albuquerque, NM 87199

Re: Lomas Car Wash, Grading and Drainage Plan Engineer's Stamp date 2-16-10 (J20/D003)

Dear Mr. Soule,

Based upon the information provided in your submittal received 2-17-2010, the above referenced cannot be approved for building permit until the following comments are addressed.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

- Provide a detail/build notes for all applicable construction.
- Is curbing provided through out the site? If so what is top of curb?
- What is being done between the property line (assuming) and the curb?
- How is the 6" pvc outlet pipe being placed?
- Where is sidewalk being placed? Is there any existing sidewalk?
- Can the .5cfs be retained in the landscape areas by depressing them somewhat?
- The 5429 contour line at the west end of the building seems to vanish. This contour line needs to be placed for better clarification.
- Spot elevation 5431.18 should be 5431.38, other wise ponding will be created.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.

Senior Engineer, Planning Dept.

Development and Building Services

C: file

(REV. 01/28/2003rd)

	EPC #:	WORK ORDE	
_			
	Tract C-1-A, Lands of Grevey(formerly tracts	s C1 &C2)	
011110011444.	Lomas west of Eubankd		
		CONTACT:	David Soule, PE
	Rio Grande Engineering	PHONE:	(505)321-9099
_	PO BOX 67305	ZIP CODE:	87199
CITY, STATE:	Alb		
OWNER:	Lomas Jack, Ilc	CONTACT:	
	PO Box 67305	PHONE:	
	alv	ZIP CODE:	87199
		CONTACT:	
ARCHITECT:	<u> </u>	PHONE:	
ADDRESS:	······································	ZIP CODE:	
CITY, STATE:			
SURVEYOR:	Geo surv CO	CONTACT:	David Vigil
ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	
		CONTACT	
CONTRACTOR:		CONTACT: PHONE:	
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WAS A PRE-DESIGN CONT YES X NO COPY PROVIDE	450,		FEB 1 7 2010 HYDROLOGY SECTION
DATE SUBMITTED:	2/17/2010	BY:	David Soule

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The particular nature, location and scope of the proposed development defines the degree of drainage detail.

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DRAINAGE REPORT

For

Lomas Car Wash Tract C1A Lands of Grevey Albuquerque, New Mexico

Prepared by

Rio Grande Engineering PO Box 67305 Albuquerque, New Mexico 87193

February 2010



David Soule P.E. No. 14522

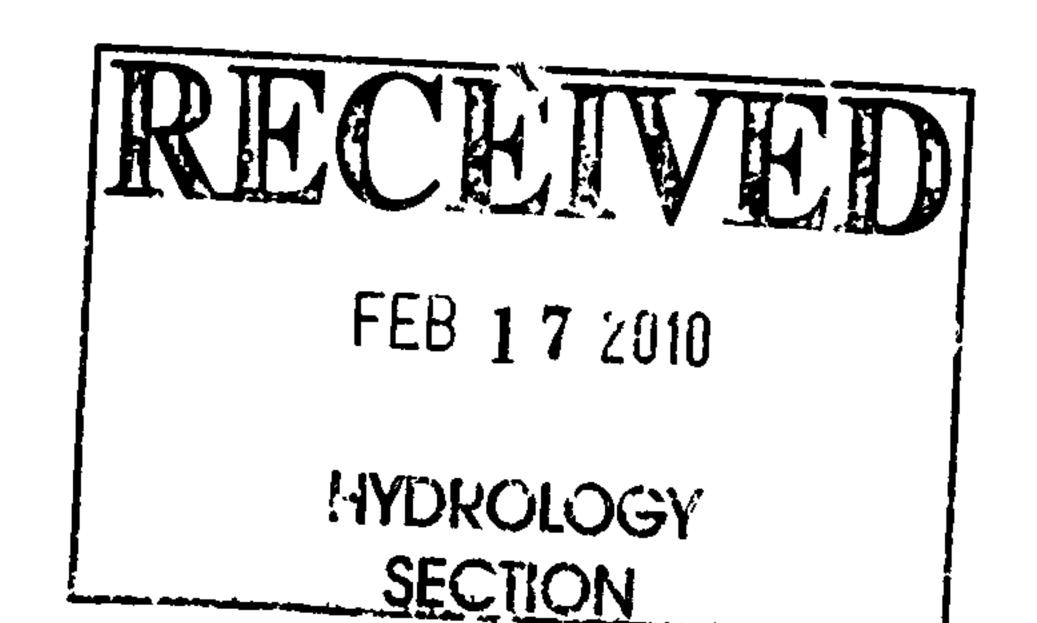


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<u>Appendix</u>	Δ
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Map Pocket Site Grading and Drainage Plan	

PURPOSE

The purpose of this report is to provide the Drainage Management Plan for an approximately 4,000 square foot full service car wash facility located on the north side of Lomas just west of Eubank. This plan was prepared in accordance with the City of Albuquerque design regulations, utilizing the City of Albuquerque's Development Process Manual drainage guidelines. This report will demonstrate that the grading does not adversely affect the surrounding properties, nor the upstream or downstream facilities.

INTRODUCTION

The subject of this report, as shown on the Exhibit A, is a 1.22-acre parcel of land located on the north side of Lomas just west of Eubank in north east Albuquerque. The legal description of this site is tracts C1A, Lands of Grevey. As shown on FIRM map35013C0358F, the entire property is located within Flood Zone X. There is a AO (1') flood zone within Lomas. This site is surrounded by fully developed parcels. This site is one of the last infill parcels located along Lomas. Based on the site location and the adjacent drainage infrastructure this development must drain to Lomas and match existing conditions as closely as possible.

EXISTING CONDITIONS

The site is currently undeveloped. Based upon the location and area history, it appears this parcel was mass graded many years ago with the adjacent developments. Based upon site visits and historical orthophoto maps, this site has been compacted by vehicle and pedestrian traffic and is not in native conditions. The site slopes from east to west. The site currently has a 3% general east to west grade. The site is not impacted by any offsite flows, and is surrounded by developed properties that free discharge to Lomas As shown in Appendix A, the existing site discharges at a peak rate of 2.91 cfs in a 100-year, 6-hour event. The discharge leaves the site mainly as sheet flow directly to Lomas at the western boundary.

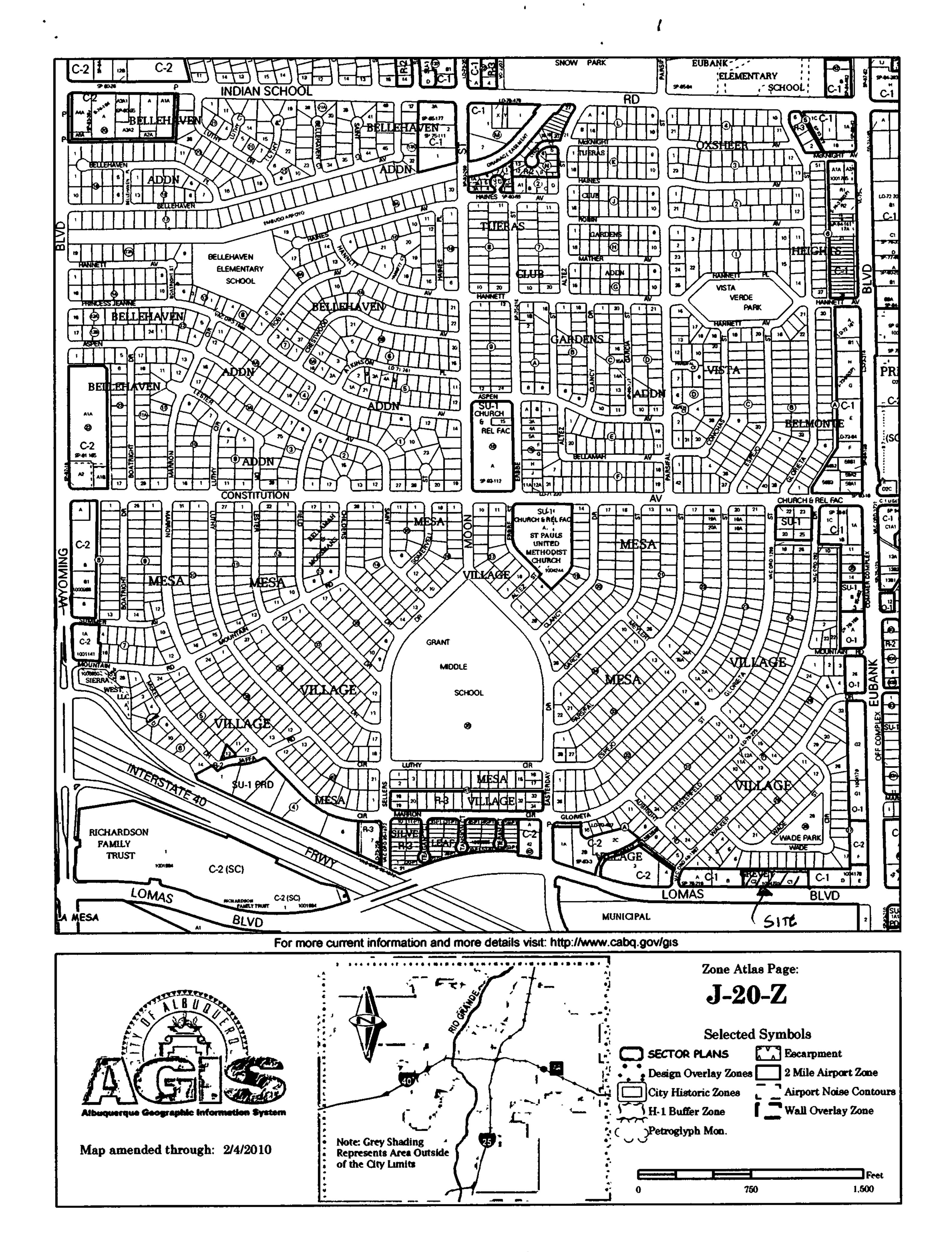


Exhibit A

PROPOSED CONDITIONS

The proposed improvements consist of a 4,000 square foot full service car wash facility. The site will be graded such that the entire site will discharge directly to Lomas at the driveways. As shown in appendix A, the site will be graded to contain two basins. Basin A includes half of the building and the north east portion of this site. This basin will free discharge 1.51 cfs to a detention/harvesting pond. This pond will discharge to the parking lot via a 6" pipe with a 2" orifice plate. The pond will harvest a portion of the discharge by shallow ponding and discharge a peak of .145 cfs. Basin B contains the remaining portion of the site. This basin will free discharge 3.26 acre feet to Lomas. The entire site will generate a peak flow rate of 3.41 cfs. This is .5 cfs greater than the existing. Due to the infill nature of the site, we feel this increase is negligible and should be acceptable to City Hydrology.

SUMMARY AND RECOMMENDATIONS

This project is an infill project within a completely developed area of North Albuquerque.

While the site doesn't appear to have been developed, it has been graded flat and has compacted soil due to years of surrounding activities. The site currently discharges 2.91 cfs to Lomas via sheet flow. The proposed drainage plan will allow a portion to free discharge and route the remaining site through a harvesting detention pond. The developed conditions will discharge 3.51 cfs as sheet flow from the driveways to Lomas. The proposed increase of .5 cfs in minimal and shall have no negative impact on existing drainage patterns. Since this site encompasses more than 1 acre, a NPDES permit will be required prior to any construction activity.

APPENDIX A SITE HYDROLOGY

Weighted E Method

Existing Basins

Alsaing Duon								. <u>. </u>				100-Ye	ar
Basin	Area	Area			t A Treatment B		Treatment C		Treatment D		Weighted E	Volume	Flow
	(sf)	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	(ac-ft)	(ac-ft)	cfs
ONSITE	53200.00	1.221	20%	0.2442608	26%	0.318	38%	0.4641	6%	0.073	0.865	0.088	2.91
Total	53200.00	1.221		0.244		0.318	-	0.464		0.073		0.088	2.91

Proposed Developed Basins

TODOSEG DE TOTODOS DAGITO											1(10-day		
Basin Area Area		Area	Treatr	Treatment A Treatment B		tment B	Treatment C Treatment D			Weighted E	Volume	Flow	Volume	
(sf) (acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	(ac-ft)	(ac-ft)	cfs	(ac-ft)		
BASIN A	17641.80		0%	المستر المستراب والمستراب	29%	0.117	17%	0.06885	54%	0.219	1.563	0.053	1.51	0.082
<u> </u>	35544.96	0.816	0%		18%	0.147	20%	0.1632	62%	0.506	1.681	0.114	3.23	0.182
BASIN B			0,0	-		0.26433		0.23205		0.72462		0.167	4.74	0.18
Total	53186.76	1.221		0		U.ZU-100		4,2444						

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm

Ea= 0.53 Qa= 1.56 Eb= 0.78 Qb= 2.28 Ec= 1.13 Qc= 3.14 Ed= 2.12 Qd= 4.7

Existing Condition

DISCHARGE TO LOMAS 2.91 cfs

Developed Conditions

BASIN A Discharge to Pond = 1.53 cfs
BASIN A Discharge from Pond 0.15 cfs
Basin B discharge to Lomas 3.26 cfs
Total Discharge to Lomas 3.41 cfs

Change 0.50 cfs Increase

Pond calculations

total volume to pond 2298 cubic feet pond volume 2512 cubic feet

VOLUME CALCULATIONS

POND 5

Ab - Bottom Of The Pond Surface Area

At - Top Of The Pond Surface Area

D - Water Depth

Dt - Total Pond Depth

C - Change In Surface Area / Water Depth

Volume = $Ab * D + 0.5 * C * D^2$

ACTUAL	DEPTH	VOLUME	Q
ELEV.	(FT)	(AC-FT)	(CFS)
26.00	-1	0.00826446	0
27.00	Λ		0.000
27.00	U	U U	0.000
27.00	1.00	0.0244	0.000

Orifice Equation

Q = CA SQRT(2gH)

C = 0.6

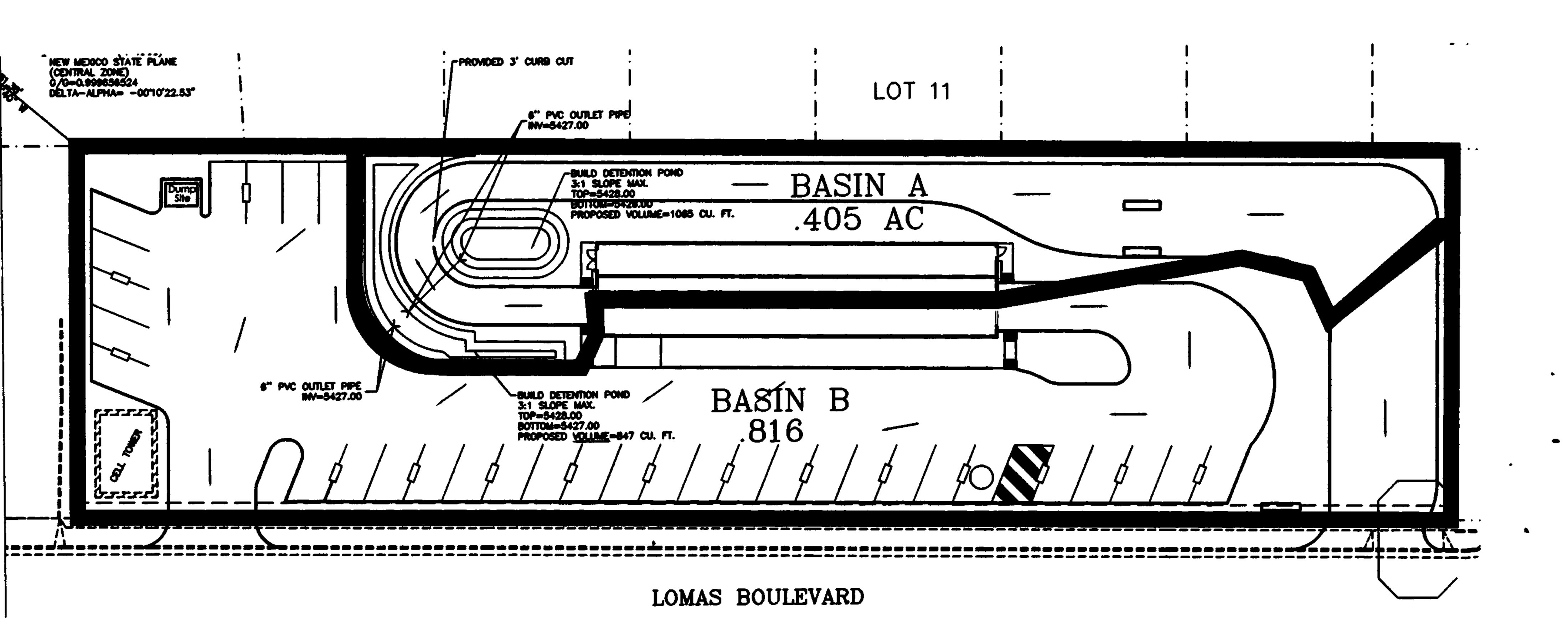
Diameter (in)

Area $(ft^2) = 0.02181662$

g = 32.2

H (Ft) = Depth of water above center of orifice

Q(CFS)=Flow



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June 29, 2007

Thomas D. Johnston, P.E. TGC Engineering 330 Louisiana Blvd. NE Albuquerque, NM 87108

Re: The Ultimate Car Wash, Engineer's Stamp dated 6-25-07 (J20/D3)

Tracts C1 and C2 of the Lands of Grevey.

Dear Mr. Johnston,

Based on the information contained in your submittal received on June 27, 2007, the above referenced plan is approved for SO-19 permit. A copy of this approval letter must be on hand when applying for the excavation permit. Please attach a copy of this letter and the approved plan to the Building Permit construction set prior to sign-off by Hydrology. After project completion, Engineer Certification per the DPM checklist will be required.

If you have any questions or need additional information, feel free to contact me at 924-3990.

P.O. Box 1293

Sincerely,

Albuquerque

Geremy Hogover, P.E., C.F.M.

Senior Engineer
Hydrology Section

New Mexico 87103

Development and Building Services

cc:

file J20/D3

www.cabq.gov

Antoinette Baldonado, Construction Services

Dwayne Schmitz, DMD Street / Storm Maintenance

(Rev. 01/	06)
PROJECT TITLE: <u>HLTIMATE</u> CAR MASH. LOMAS	_ ZONE MAP/DRG. FILE #_ J・Zの/Dラ
DRB#: EPC#:	WORK ORDER#:
LEGAL DESCRIPTION: TRACT C, LANDS OF GR	evel
LEGAL DESCRIPTION: TRACT C, LANDS OF GRECITY ADDRESS: 9935 LOMAS BOULEVARO	te.
ENGINEERING FIRM: TGC ENGINEERING INC.	CONTACT: THOMAS JOHNSTON
ENGINEERING FIRM: TGC ENGINEERING INC. ADDRESS: 330 LOUISIANA BLUD NE	PHONE: 266-7256
CITY, STATE: ALBUQUEEQUE NA	ZIP CODE: 87108
OWNER: LONDAS JACK LLC	CONTACT: DANNY BRANDENBURG
ADDRESS: 2211 CANDELARIA ECAD NE	PHONE: 883.4000
CITY, STATE: ALBUQUER OUE NAN	ZIP CODE: 87107
ARCHITECT: JIM MEDLEY	CONTACT:
ADDRESS: 3100 CHRISTINE STNE	PHONE: 292.3514
CITY, STATE: ALBUQUERQUE NM	ZIP CODE: 87111
SURVEYOR: WAYJOHIN SURVEYING INK.	CONTRACT. The last com
ADDRESS: 330 LOUISIANA BLVO NE	CONTACT: THOMAS JOHNSTON PHONE: 255. 2052
CITY, STATE: AUBUQUERQUE NM	
CITT, STATE. NODGO OCTOO 1474	
	11.10c 11121c
PROFESSIONAL LICENSED SURVEYOR SIGNATURE	NMPS 14269 5.27.07
I NOTED STOTAL LICEINGED SONVETOR SIGNATORE	LICENSE NO./42475517 DATE
CONTRACTOR: TBD.	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
TYPE OF SUBMITTAL:	TYPE OF APPROVAL SOUGHT:
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DRAINAGE PLAN 1st SUBMITTAL	_ SIA/FINANCIAL GUARANTEE RELEASE
DRAINAGE PLAN RESUBMITTAL	PRELIMINARY PLAT APPROVAL
CONCEPTUAL G & D PLAN	S. DEV. PLAN FOR SUB'D APPROVAL
CONODITION OF LAN	SECTOR BLDG. PERMIT APPROVAL
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ENGINEER'S CERT (HYDROLOGY)	FINAL PLAT APPROVAL
CLOMR/LOMR	FOUNDATION PERMIT APPROVAL
TRAFFIC CIRCULATION LAYOUT	BUILDING PERMIT APPROVAL
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ENGINEER/ARCHITECT CERT (TCL)	_CERTIFICATE OF OCCUPANCY (TEMP)
ENGINEER/ARCHITECT (DRB SITE PLAN)	_GRADING PERMIT APPROVAL
OTHER	_ PAVING PERMIT APPROVAL)
	WORK ORDER APPROVAL)
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WAS A PRE-DESIGN CONFERENCE ATTENDED:	0-19
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COPY PROVIDED	JECTION /
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SUBMITTED BY:	
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Doguesta for annual a con p	L 0 - DATE:
Requests for approvals of Site Development Plans and/or Subdivision I	Lats shall be accomplained by a drainage submittal. The
Requests for approvals of Site Development Plans and/or Subdivision I particular nature, location and scope to the proposed development definition levels of submittal may be required based on the following:	Pats shall be Excelled by a drainage submittal. The the degree of drainage detail. One or more of the following

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

June 29, 2007



Thomas D. Johnston, P.E. TGC Engineering 330 Louisiana Blvd. NE Albuquerque, NM 87108

Re: The Ultimate Car Wash, Engineer's Stamp dated 6-25-07 (J20/D3) Tracts C1 and C2 of the Lands of Grevey.

Dear Mr. Johnston,

Based on the information contained in your submittal received on June 27, 2007, the above referenced plan is approved for Building Permit. As you are aware, a separate SO-19 permit is required for the sidewalk culvert connections to Lomas. Please include the following general note in the "Notice to Contractors" and submit two (2) copies to me for approval.

• Work on arterial streets shall be performed on a 24-hour basis.

If you have any questions or need additional information, feel free to contact me at 924-3990.

P.O. Box 1293

Sincerely,

Albuquerque

www.cabq.gov

Jeremy Hopver, P.E., C.F.M.

Senior Engineer

Mexico 87103

The 1 serior Engineer

New Mexico 87103 Hydrology Section

Development and Building Services

cc:

file

J20/D3

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (Rev. 01/06)

PROJECT TITLE: <u>ULTIMATE CAZ WASH. LOMAS</u> DRB#: EPC#:	ZONE MAP/DRG. FILE #_ <u>J、20/D3</u> WORK ORDER#:
TECAL DECORPORTOR TO A C C C	
LEGAL DESCRIPTION: TRACT C, LANDS OF GI CITY ADDRESS: 9935 LOMAS BOULEVARO	revey
CITADDRESS	NE
ENGINEERING FIRM: TGC ENGINEERING INC.	CONTACT: THOMAS JOHNSTON
ENGINEERING FIRM: TGC ENGINEERING INC. ADDRESS: 330 LOUISIANA BLUD ME	PHONE: 266.7256
CITY, STATE: ALBUQUE QUE NA	ZIP CODE: 87108
OWNER: LONDAS JACK LLC	CONTACT: DANNY BRANDENBURG
ADDRESS: ZZII CANDELARIA BOOD NE	PHONE: 683 · 4000
CITY, STATE: ALBUQUER QUE NA	ZIP CODE: 8つ10つ
ARCHITECT: JIM MEDUEY	CONTACT:
ADDRESS: 3100 CHRISTINE STNE	PHONE: 292.3514
CITY, STATE: ALBUQUELQUE NM	ZIP CODE: 8711
SURVEYOR: WAYJOHN SURVEYING INK	CONTACT: THOMAS JOHNSTON
ADDRESS: 330 LOUISIANA BLVO NE	PHONE: 255. 2052
CITY, STATE: AUBUQUERQUE NM	ZIP CODE: <u>87108</u>
	NMPS 14269 5.27.07
PROFESSIONAL LICENSED SURVEYOR SIGNATURE	LICENSE NO./42.473-547 DATE
CONTRACTOR: TBD.	
	CONTACT:
ADDRESS:CITY, STATE:	PHONE:
CIII, SIAIE.	ZIP CODE:
TYPE OF SUBMITTAL:	CK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARANTEE RELEASE
DRAINAGE PLAN 1 st SUBMITTAL	PRELIMINARY PLAT APPROVAL
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D APPROVAL
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERMIT APPROVAL
X GRADING PLAN	SECTOR PLAN APPROVAL
EROSION CONTROL PLAN	FINAL PLAT APPROVAL .
ENGINEER'S CERT (HYDROLOGY)	FOUNDATION PERMIT APPROVAL
CLOMR/LOMR >	S_BUILDING PERMIT APPROVAL
TRAFFIC CIRCULATION LAYOUT	CERTIFICATE OF OCCUPANCY (PERM)
ENGINEER/ARCHITECT CERT (TCL)	CERTIFICATE OF OCCUPANCY (TEMP)
ENGINEER/ARCHITECT (DRB SITE PLAN)	GRADING PERMIT APPROVAL
OTHER	PAVING PERMIT APPROVAL
	WORK ORDER APPROVAL
	COTHER (SPECIFY) SO-19
WAS A PRE-DESIGN CONFERENCE ATTENDED:	
YES	
NO	JUN 2 7 2007 J
COPY PROVIDED	
	L HYDROLOGY SECTION
SUBMITTED BY:	DATE: 6/2//5/

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



May 23, 2007

James Medley, R.A. 3100 Christine St. NE Albuquerque, NM 87111

Re:

The Ultimate Carwash, 9935 Lomas Blvd NE, Traffic Circulation Layout

Architect's Stamp dated 5-23-07 (J20-D3)

Dear Mr. Medley,

The TCL submittal received 5-23-07 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.

P.O. Box 1293

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

Albuquerque

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

www.cabq.gov

New Mexico 87103

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.

Senior Engineer, Planning Dept.

Development and Building Services

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C:

File



May 18, 2007

Mr. Jim Medley, R.A. Jim Medley Architect 3100 Christine Street NE Albuquerque, NM 87111

Re: Ultimate Car Wash, _____ Lomas Blvd NE, Lot C-2 Lands of Grevey, Traffic Circulation Layout, Architect's Stamp dated 5-10-07 (J20-D003)

Dear Mr. Medley,

Based upon the information provided in your submittal received 05-10-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

Please refer to all applicable city standards by standard number for the following items: drive-pads, sidewalks, and curb & gutter.

Will there be any existing drive-pads be closed? If so, reflect this on the plan. Also, provide the length to the nearest drive-pads on the east and west of the proposed drive-pad.

This site will require a six foot pedestrian path. — Needs zoning ok (perwit) is List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.

- Demonstrate the traffic flow on the plan. How will the traffic enter the emissions bay and the automatic wash bays without conflicting with vehicles approaching the vacuum / trash receptacle bases?
- 6. Provide a delineating stripe along the north side of the handicapped parking stall.

If you have any questions, you can contact me at 924-3981.

Kristal D. Metro, P.E.

Singerely,

Senior Engineer, Planning Dept.

Development and Building Services

C: File