

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

March 3, 2011

David Soule, P.E.
Rio Grande Engineering
PO Box 67305
Albuquerque, NM 87199

Re: Certification Submittal for a Permanent Building Certificate of Occupancy (C.O.)
for **Lomas Car Wash**, [J-20 / D003]
9939 Lomas NE
Engineer's Stamp Dated 03/02/11

Dear Mr. Soule:

Based upon the information provided in your submittal received 03-02-11,
Transportation Development has no objection to the issuance of a Permanent Certificate
of Occupancy.

This letter serves as a "green tag" from Transportation Development for a
Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: Lomas Car Wash
DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: J20/D003
WORK ORDER #: _____

LEGAL DESCRIPTION: Tract C-1-A, Lands of Grevey (formerly tracts C1 & C2)
CITY ADDRESS: Lomas west of Eubankd 9939 Lomas

ENGINEERING FIRM: Rio Grande Engineering
ADDRESS: PO BOX 67305
CITY, STATE: Alb

CONTACT: David Soule, PE
PHONE: (505)321-9099
ZIP CODE: 87199

OWNER: Lomas Jack, llc
ADDRESS: PO Box 67305
CITY, STATE: alv

CONTACT: _____
PHONE: _____
ZIP CODE: 87199

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: Geo surv CO
ADDRESS: _____
CITY, STATE: _____

CONTACT: David Vigil
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

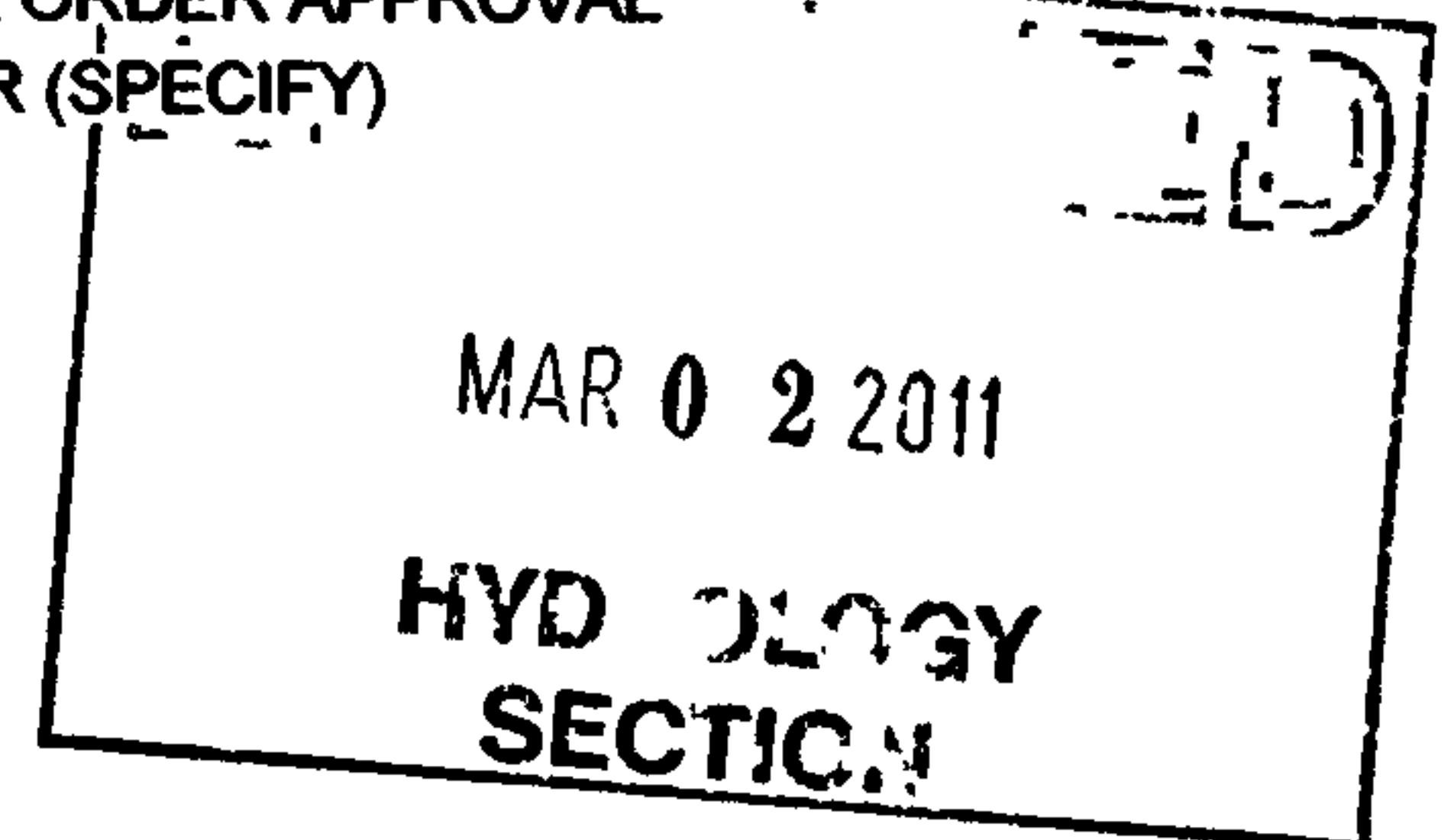
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☒ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
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☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED



DATE SUBMITTED: 3/2/2011 BY: David Soule

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



March 3, 2011

David Soule, P.E.
Rio Grande Engineering
P.O. Box 67305
Albuquerque, NM 87193

Re: Lomas Car Wash, 9939 Lomas Blvd NE,
Request for Permanent C.O. - Approved
Engineer's Stamp dated: 03-06-10 (J-20/D003)
Certification dated: 02-08-11

Dear Mr. Wahlen,

Based upon the information provided in the Certification received 03-02-11, the above referenced Certification is approved for a release of a Permanent Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3982.

Sincerely,

Albuquerque

Timothy E. Sims,
Plan Checker—Hydrology Section
Development and Building Services

NM 87103

www.cabq.gov

C: CO Clerk—Katrina Sigala
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

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WORK ORDER #: _____

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CITY, STATE: _____

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SURVEYOR: Geo surv CO
ADDRESS: _____
CITY, STATE: _____

CONTACT: David Vigil
PHONE: _____
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CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

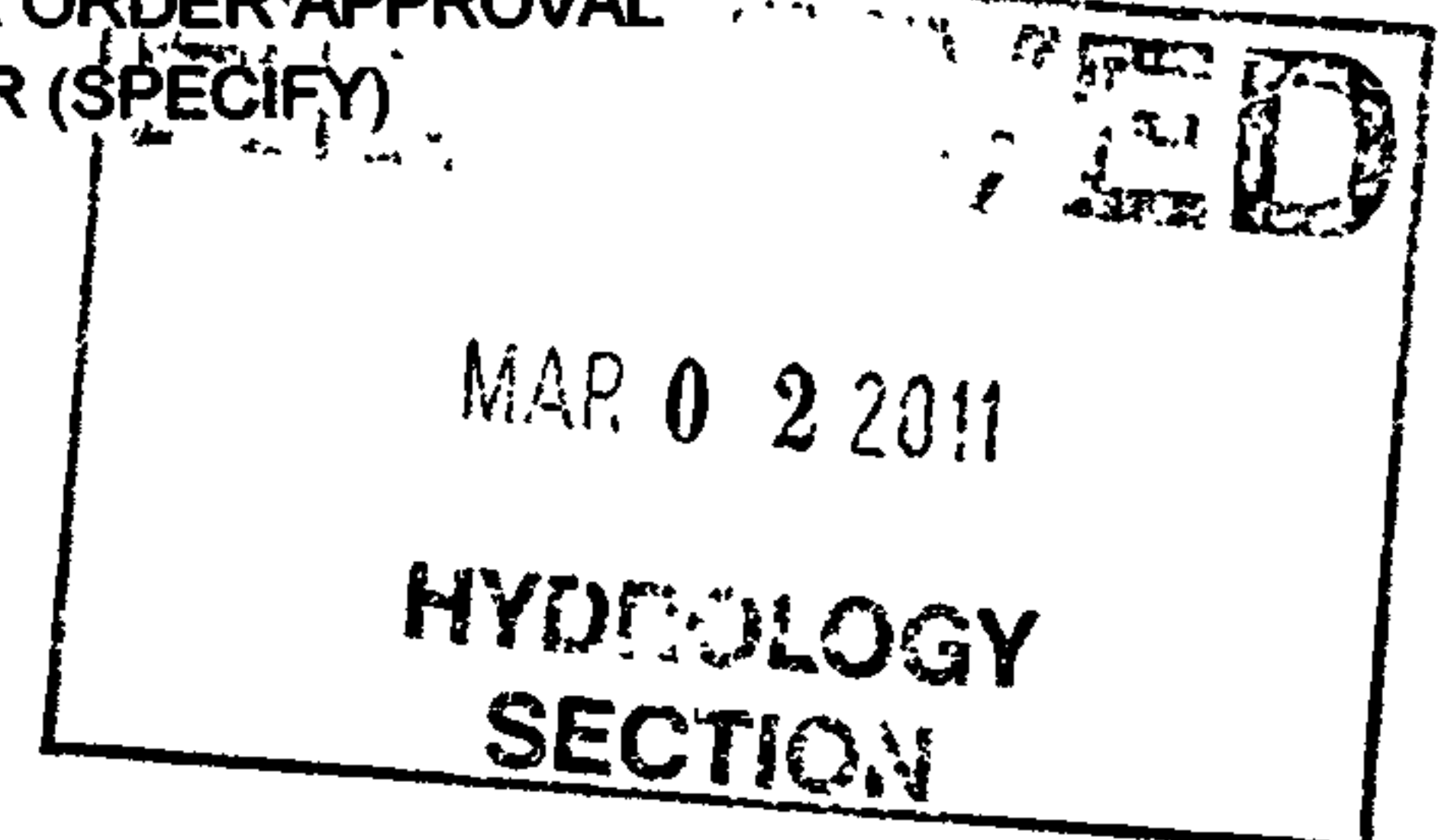
CONTACT: Rev 615-8515
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

____ DRAINAGE REPORT
____ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
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____ WORK ORDER APPROVAL
____ OTHER (SPECIFY) _____



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DATE SUBMITTED: 3/2/2011 BY: David Soule

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Ron Standiferd

Sands Construction, LLC

1617 McDonald Rd, NW
Albuquerque, New Mexico 87107

Phone: (505) 615-8515

Fax: (505) 344-4184

Contractor Lic. No. 359668

GB98 and GF09

Email: rons@cybermesa.com



CITY OF ALBUQUERQUE



March 23, 2010

David Soule, P.E.
Rio Grande Engineering
P.O. Box 67305
Albuquerque, NM 87199

Re: Lomas Car Wash, Grading and Drainage Plan
Engineer's Stamp date 03-06-2010 (J20/D003)

Dear Mr. Soule,

Based upon the information provided in your submittal received 03-08-2010, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

PO Box 1293

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required

Albuquerque

If you have any questions, you can contact me at 924-3695.

NM 87103

www.cabq.gov

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

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DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: J20/D003
WORK ORDER #: _____

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ENGINEERING FIRM: Rio Grande Engineering
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CITY, STATE: _____

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____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ ENGINEERS CERTIFICATION (TCL)
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WAS A PRE-DESIGN CONFERENCE ATTENDED:

____ YES
☒ NO
____ COPY PROVIDED

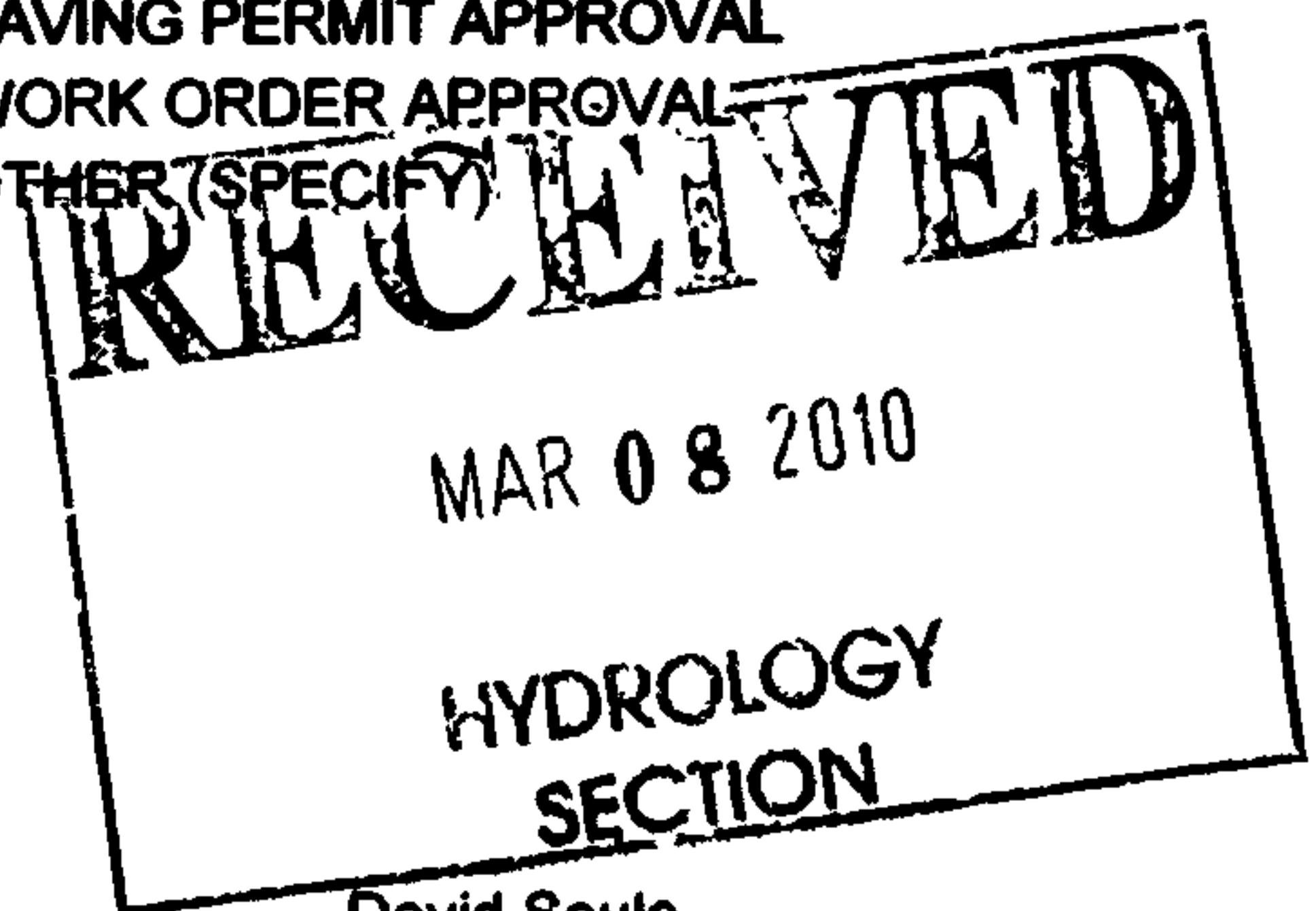
DATE SUBMITTED: 3/4/2010 BY: David Soule

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a dranlage submittal.

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March 8, 2010

Mr. Curtis A. Cherne, PE
Principal Engineer
Planning Department
City of Albuquerque

**RE: Grading and Drainage Plan
Lomas Car wash, J20/D003**

Dear Curtis:

The purpose of this letter is to accompany the enclosed grading plan for the referenced project. This plan has been modified to address your written comments dated February 19, 2010. The following is a paraphrasing of your comments and a summary as to how they were addressed.

Provide a detail/build notes for all applicable construction

All appropriate build notes have been added

Is curbing provided throughout the site, if so what is top of curb?

6" header curb has been labeled.

What is being done between the property line and curb?

This area will be landscaped, no excessive slopes are created.

How is 6" pipe placed?

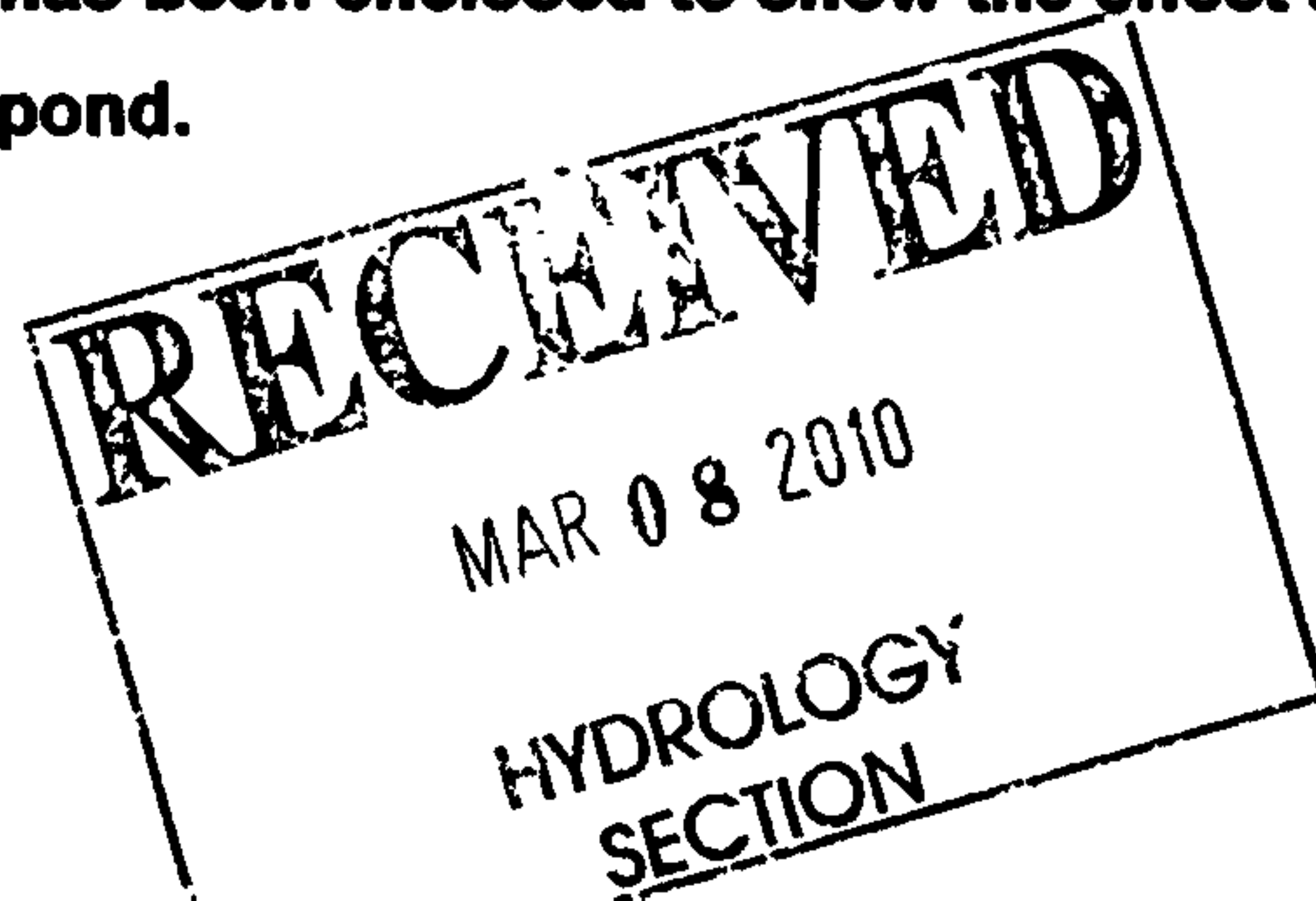
The pipe has been detailed.

Where is sidewalk?

Sidewalk has been labeled.

Can .5 cfs be retained in the landscape areas?

Plan has been modified. The existing conditions have been adjusted to better describe the site as it is. A water harvesting pond has been added to capture a portion of the pavement; this reduces the increase flow to only .08 cfs, which is negligible. A modified spreadsheet has been enclosed to show the effect and required volumes of the landscape pond.



The 5029 contour at the west end of building...needs clarification

This has been corrected.

Spot Elevation 5431.18 should be 5431.38

This has been corrected.

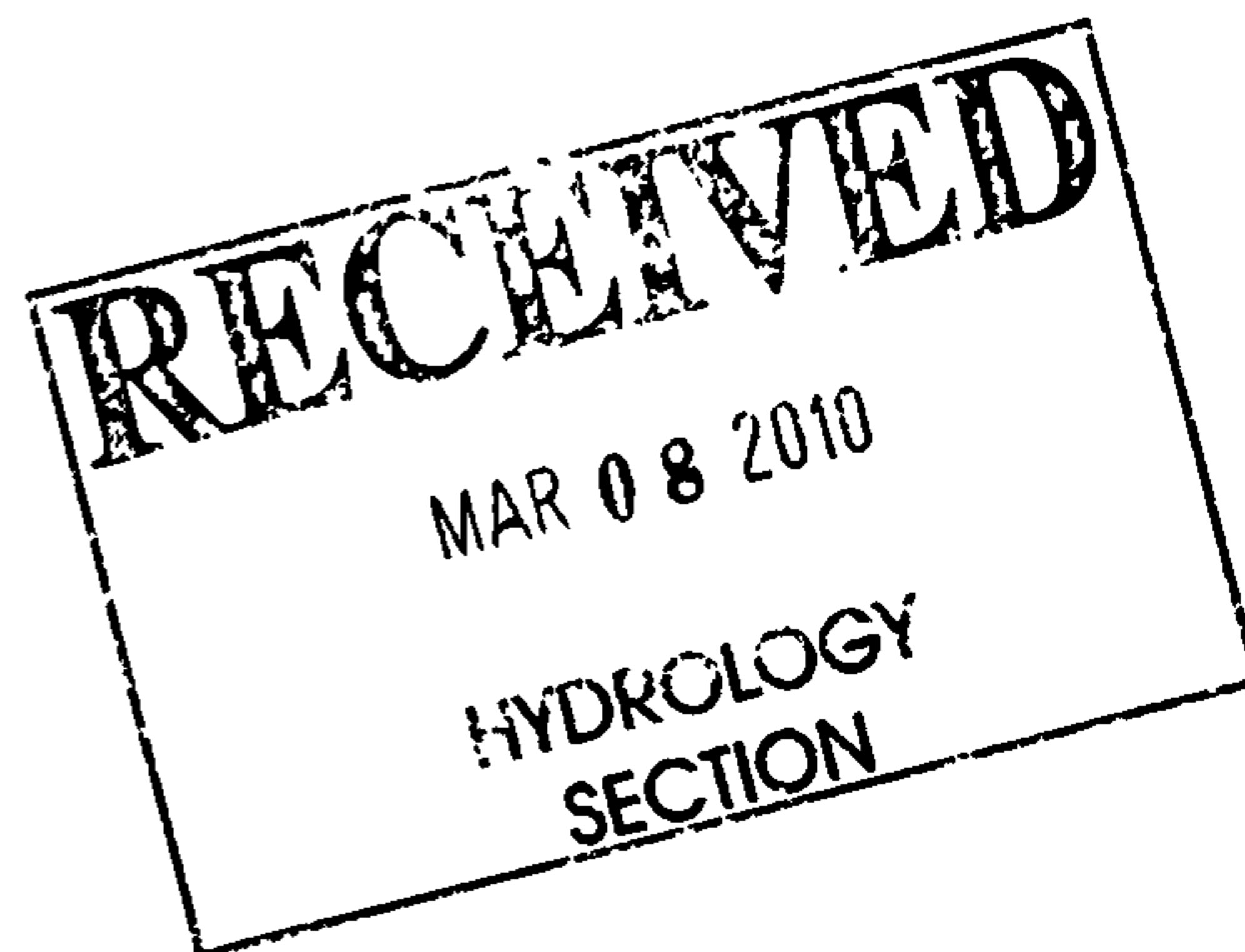
Should you have any questions regarding this resubmittal, please do not hesitate to call me.

Sincerely,



David Soule, PE

Enclosures



Weighted E Method

Existing Basins

Basin	Area (sf)	Area (acres)									100-Year		
			Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
			%	(acres)	%	(acres)	%	(acres)	%	(acres)			
ONSITE	53200.00	1.221	20%	0.244	26%	0.318	38%	0.464	6%	0.073	0.865	0.088	2.91
Total	53200.00	1.221		0.244		0.318		0.464		0.073		0.088	2.91

Proposed Developed Basins

Basin	Area (sf)	Area (acres)									100-Year, 6-hr.			10-day
			Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)
			%	(acres)	%	(acres)	%	(acres)	%	(acres)				
BASIN A	17641.80	0.405	0%	0	29%	0.117	17%	0.06885	54%	0.219	1.563	0.053	1.51	0.082
BASIN B	35544.96	0.816	0%	0	18%	0.147	20%	0.1632	62%	0.506	1.681	0.114	3.23	0.182
BASIN B1	4560.00	0.105	0%	0	34%	0.036	13%	0.01361	53%	0.055	1.536	0.013	0.38	0.021
Total	53186.76	1.221		0									4.35	0.18

Equations:

Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)

Volume = Weighted D * Total Area

Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Where for 100-year, 6-hour storm

Ea= 0.53	Qa= 1.56
Eb= 0.78	Qb= 2.28
Ec= 1.13	Qc= 3.14
Ed= 2.12	Qd= 4.7

74
98

Existing Condition

DISCHARGE TO LOMAS 2.91 cfs

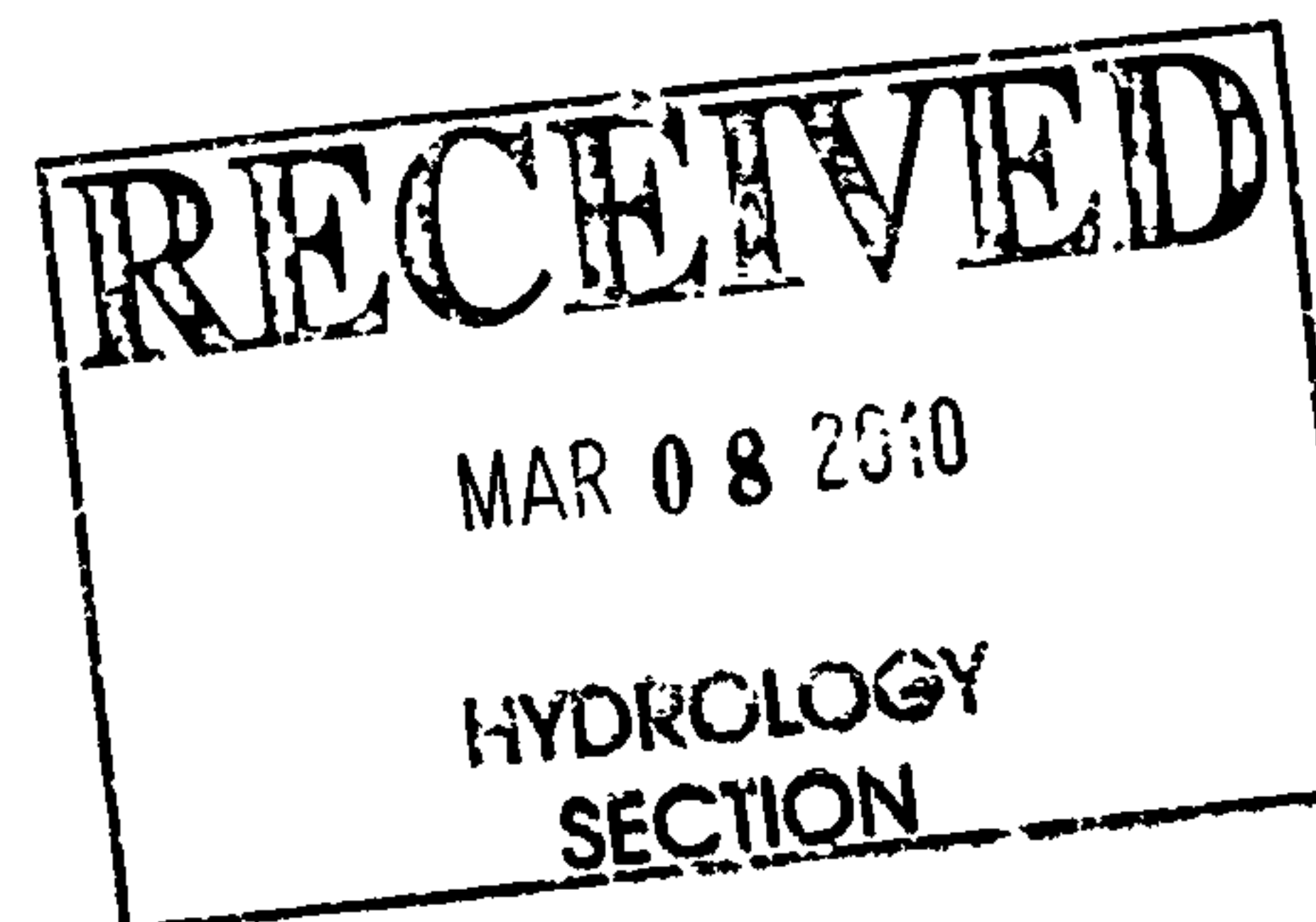
Developed Conditions

BASIN A Discharge to Pond =	1.51 cfs
BASIN A Discharge from Pond	0.15 cfs
Basin B discharge to Lomas (BASIN B-B1)	2.84 cfs
Total Discharge to Lomas	2.99 cfs

Change 0.08 cfs Increase

Pond calculations

total volume to pond	2298 cubic feet
pond volume	2512 cubic feet
harvesting pond	
proposed	586 cubic feet
required	583.566 cubic feet



REQUIRED VC
PROPOSED V

5435.00

5432.74

5432.92

5435

5433.21

~~5431.94~~

5432.14

5431.00

5437

5432.46

**-6" HEADER CURB
PER COA STD
DWG #2415A**

~~PROVIDED 1'~~
~~CURB CUT~~

5432.00

5430

5431.00

5432.00

~~5432.44~~

5431.50

5431.75

5431.82

5430.81

547103

6431 17

543

MAR 08 2010

Metro, Kristal D.

From: Metro, Kristal D.
Sent: Thursday, May 06, 2010 10:27 AM
To: 'David Soule'
Subject: Lomas Car Wash

Attachments: Paintbrush Picture

May 6, 2010

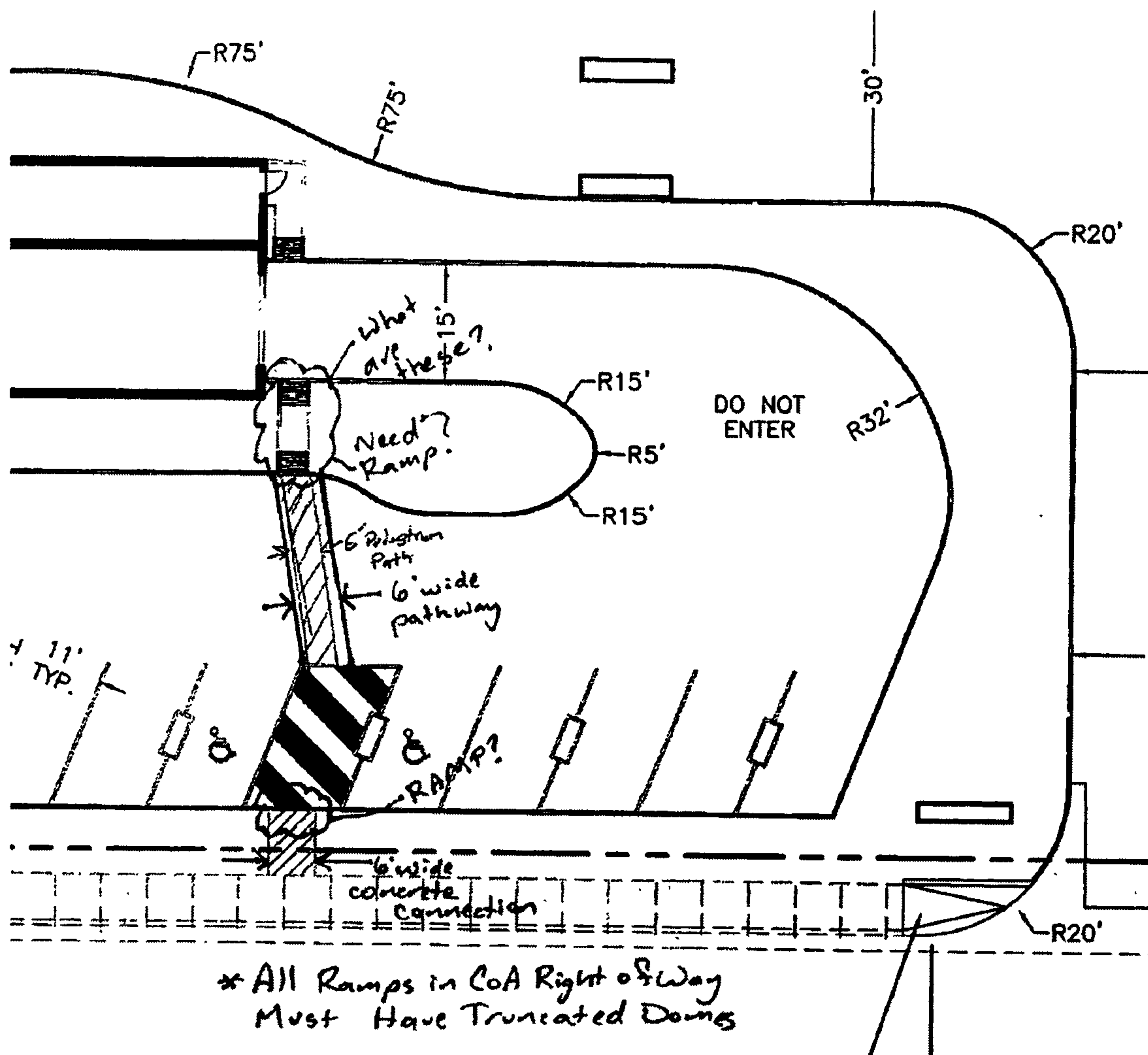
David Soule, P.E.
Land Development Consultants, LLC
7009 Marilyn Ave NE
Albuquerque, NM 87109

**Re: Lomas Car Wash, 9935 Lomas Blvd NE, Traffic Circulation Layout
Engineer's Stamp dated 05-05-10 (J10-D003)**

Dear Mr. Soule,

Based upon the information provided in your submittal received 05-05-10, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. All ramps located in City of Albuquerque right of way must have truncated domes. Please add truncated domes to the detail titled "Uni-Directional Wheelchair Ramp w/ Ex. Pole Detail" or add a general note.
2. Clearly show the 6 foot wide, ADA accessible, pedestrian connection from Lomas Blvd. to the building. Show all ramps, if needed, and provide details. Please note that the connection is concrete from Lomas to the handicapped access aisle.
3. The pedestrian pathway from the handicapped access aisle to the building must be to scale. Please clarify if a ramp is required, as well as defining what is located both east and west of the proposed carwash. Are these stairs?



If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 01/28/2003rd)

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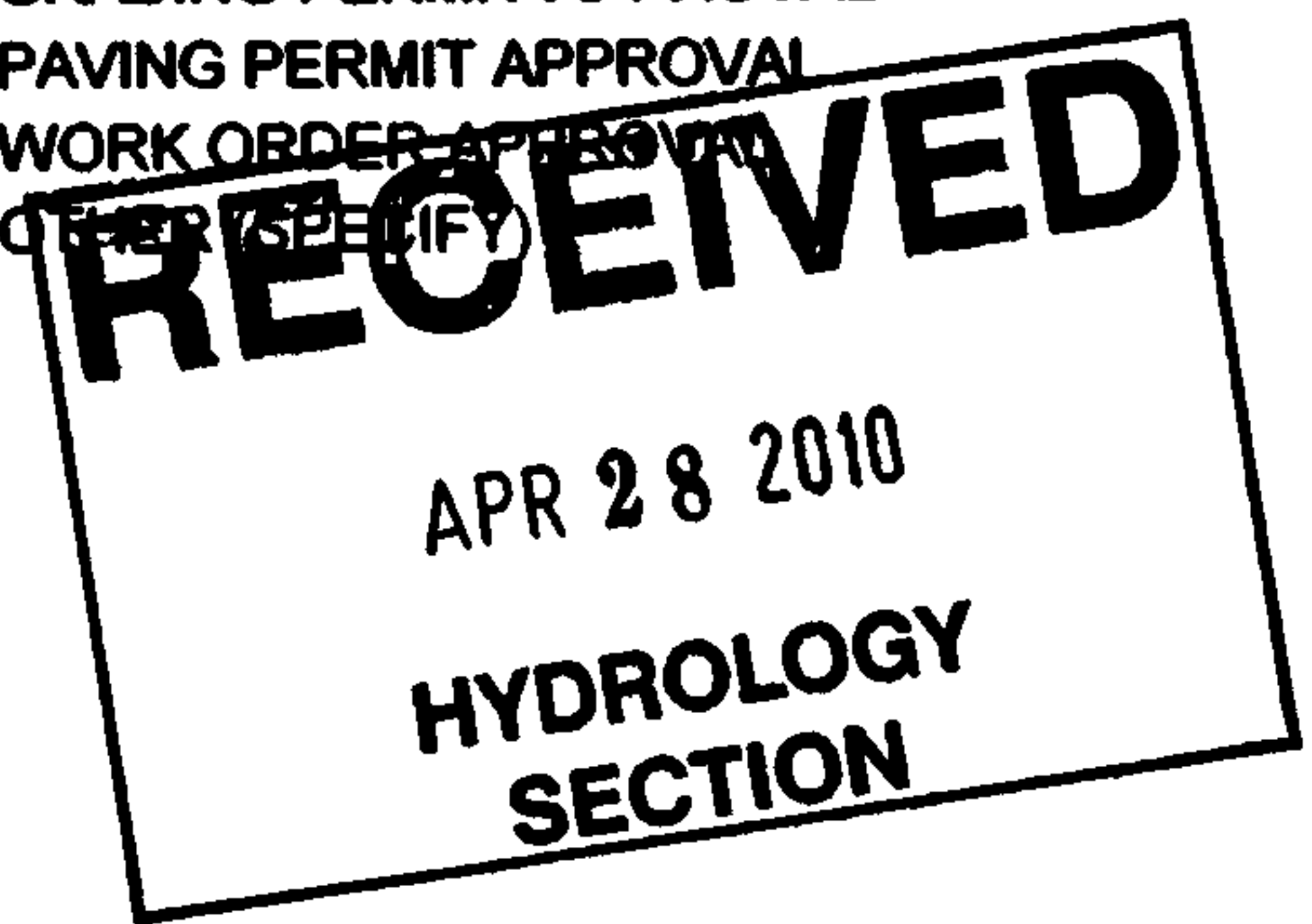
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WAS A PRE-DESIGN CONFERENCE ATTENDED:

____ YES
☒ NO
____ COPY PROVIDED

05/04/10
VERBAL REVIEW
- MARK NPS
ISSUED



DATE SUBMITTED: 4/29/2010 BY: David Soule

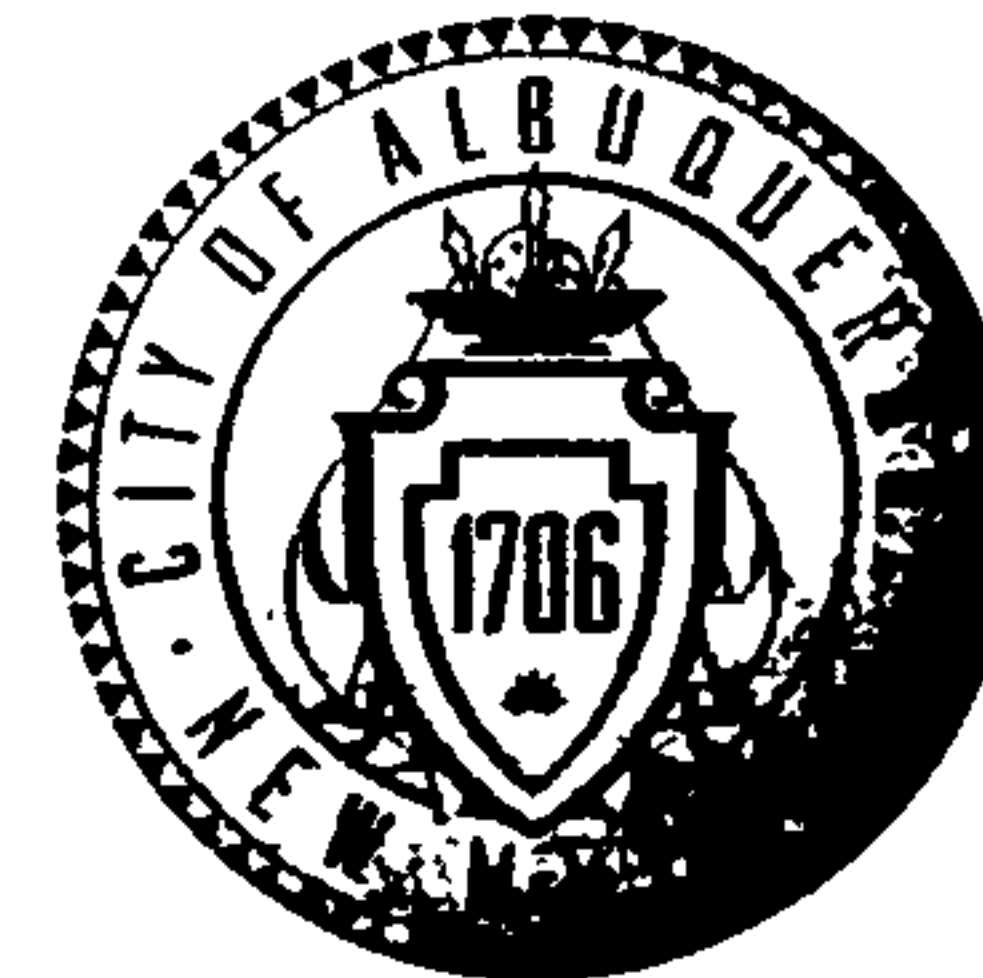
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CITY OF ALBUQUERQUE



May 7, 2010

David Soule, P.E.
~~Land Development Consultants, LLC~~ PO Box 67305
~~7009 Marilyn Ave NE~~
Albuquerque, NM 87109 193

Re: Lomas Car Wash, 9935 Lomas Blvd NE, Traffic Circulation Layout
Engineer's Stamp dated 05-06-10 (J10-D003)

Dear Mr. Soule,

The TCL submittal received 05-06-10 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

PO Box 1293

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Albuquerque

NM 87103

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

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CONTRACTOR: _____ CONTACT: _____
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 CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

_____ DRAINAGE REPORT
 _____ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
☒ DRAINAGE PLAN RESUBMITTAL
 _____ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
 _____ EROSION CONTROL PLAN
 _____ ENGINEER'S CERTIFICATION (HYDROLOGY)
 _____ CLOMR/LOMR
 _____ TRAFFIC CIRCULATION LAYOUT (TCL)
 _____ ENGINEERS CERTIFICATION (TCL)
 _____ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
 _____ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

_____ SIA / FINANACIAL GUARANTEE RELEASE
 _____ PRELIMINARY PLAT APPROVAL
 _____ S. DEV. PLAN FOR SUB'D. APPROVAL
 _____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
 _____ SECTOR PLAN APPROVAL
 _____ FINAL PLAT APPROVAL
 _____ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
 _____ CERTIFICATE OF OCCUPANCY (PERM.)
 _____ CERTIFICATE OF OCCUPANCY (TEMP.)
 _____ GRADING PERMIT APPROVAL
 _____ PAVING PERMIT APPROVAL
 _____ WORK ORDER APPROVAL
 _____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

_____ YES
☒ NO
 _____ COPY PROVIDED

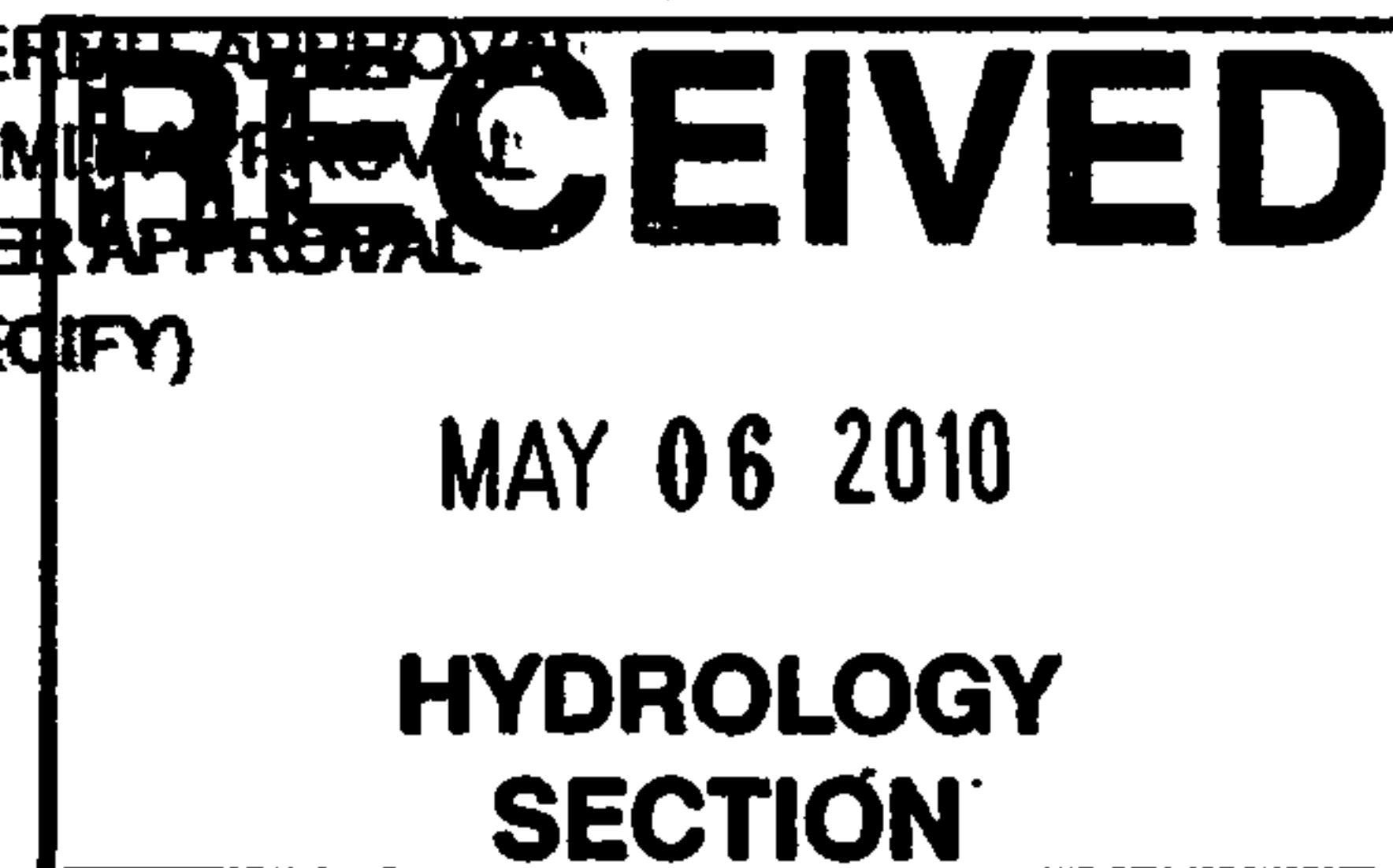
DATE SUBMITTED: 5/6/2010 BY: David Soule

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plans: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



October 26, 2007

James Medley, R.A.
3100 Christine St. NE
Albuquerque, NM 87111

Re: The Ultimate Carwash, 9935 Lomas Blvd NE, Traffic Circulation Layout
Architect's Stamp dated 10-26-07 (J20-D3)

Dear Mr. Medley,

The TCL submittal received 10-26-07 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

P.O. Box 1293

Albuquerque

New Mexico 87103

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If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: ULTIMATE CAR WASH ZONE MAP/DRG. FILE # J-20-7D003
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT C-2 LANDS OF GREVEY
 CITY ADDRESS: _____

ENGINEERING FIRM: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

OWNER: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

ARCHITECT: JIM MEDLEY ARCHITECT AM
 ADDRESS: 3100 CHRISTINE ST NE
 CITY, STATE: ALBUQ, NM 87111

CONTACT: JIM MEDLEY
 PHONE: 292-3514
 ZIP CODE: _____

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

TYPE OF SUBMITTAL:

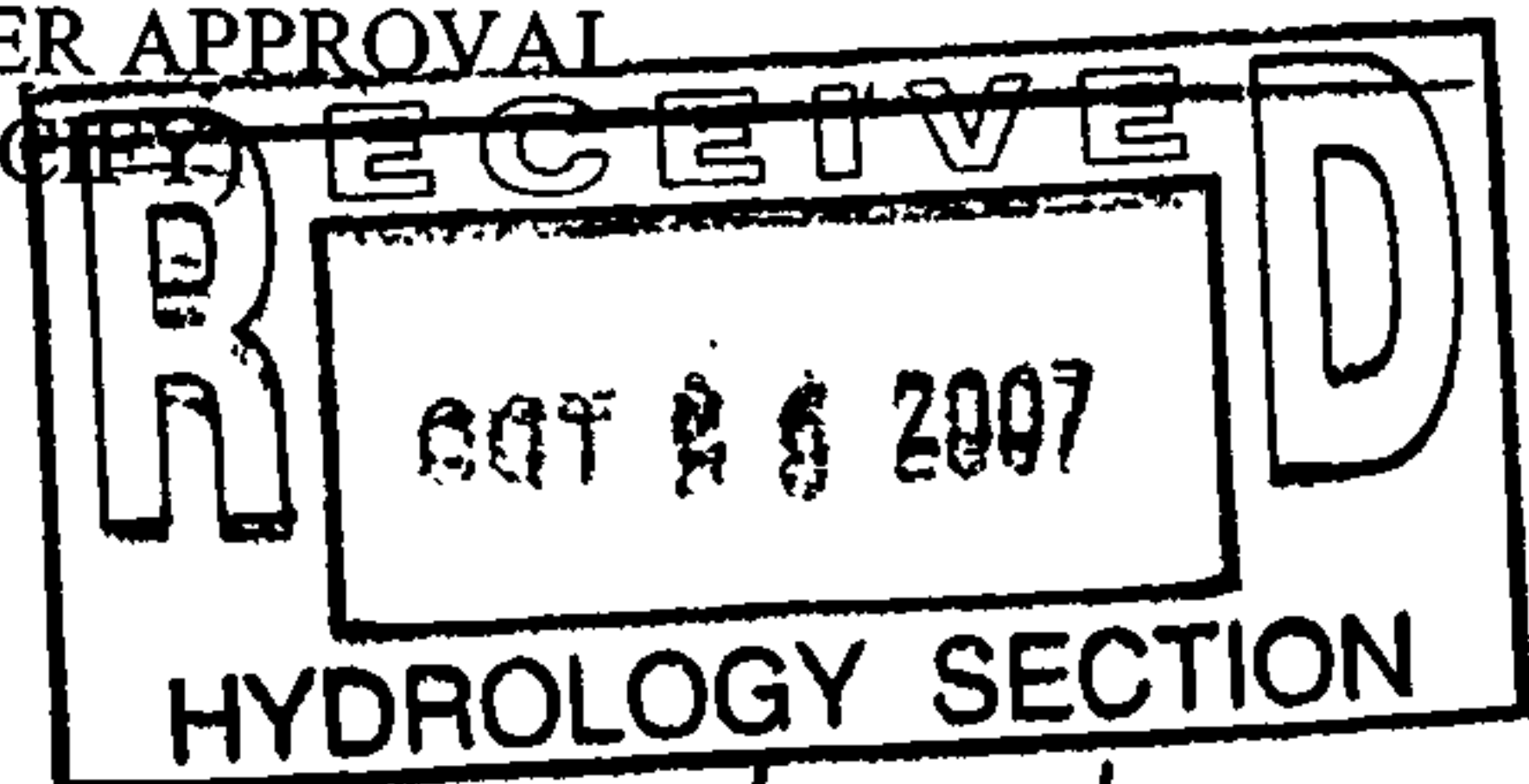
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER/ARCHITECT CERT (TCL)
- ☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
- ☐ ENGINEER/ARCHITECT CERT (AA)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
☒ NO
☐ COPY PROVIDED

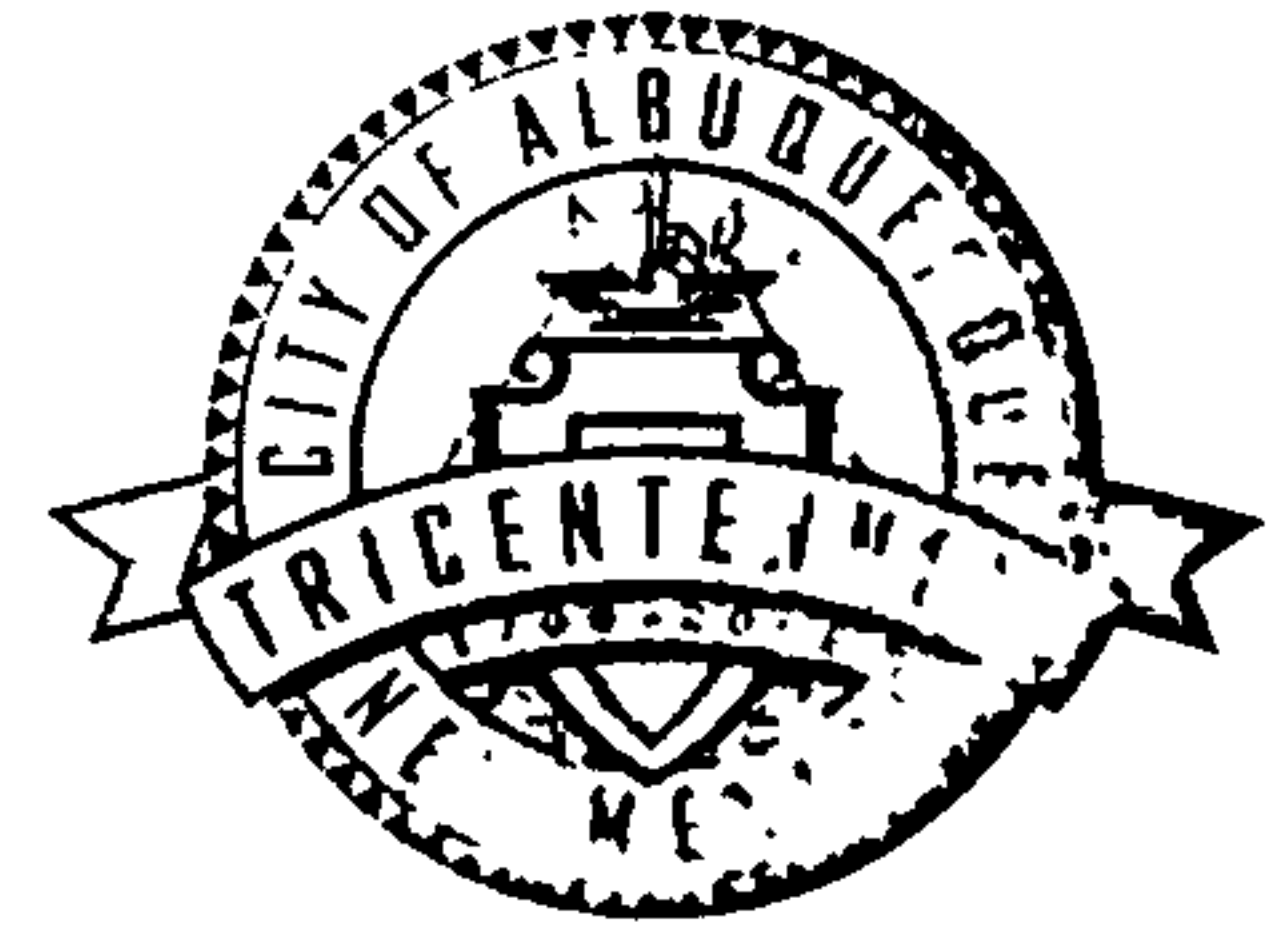


SUBMITTED BY: [Signature] DATE: 10/26/07

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



June 21, 2007

Thomas D. Johnston, P.E.
TGC Engineering
330 Louisiana Blvd. NE
Albuquerque, NM 87108

Re: The Ultimate Car Wash, Engineer's Stamp dated 5-3-07 (J20/D3)
Tracts C1 and C2 of the Lands of Grevey.

Dear Mr. Johnston,

Based on the information contained in your submittal received on May 21, 2007, there are some items that must be addressed prior to permit approval. Those items are as follows.

- Please provide top and bottom of wall elevations for each transition point of the proposed retaining wall.
- Eliminate the western sidewalk culvert on Tract C2. Drainage control elements for that property will be determined once specific development parameters are proposed.
- Revise the sidewalk culvert geometry on Tract C1 to be perpendicular to the Lomas right-of-way so as to eliminate any potential tripping hazards.
- Increase the concrete strength requirements for sidewalks, culverts, curbs, and gutters within the right-of-way to a minimum of 3,500 psi per table 101.C of the DPM.
- Call out standard drawings 2430 and 2415 for the construction of the sidewalk, curb, and gutter associated with the abandonment of the eastern drive entrance.
- Add the standard SO-19 notes.
- Show the location of the gravel lined swale. Will this be used to mitigate the off-site flow from the east? Will an additional sidewalk culvert be necessary at the location of the closed off driveway to convey that flow?
- Give the spot elevation at the southeast corner of the self-service wash bay.
- Revise the trash enclosure spot elevations to create a centralized depression such that the runoff from that structure remains within the enclosure.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

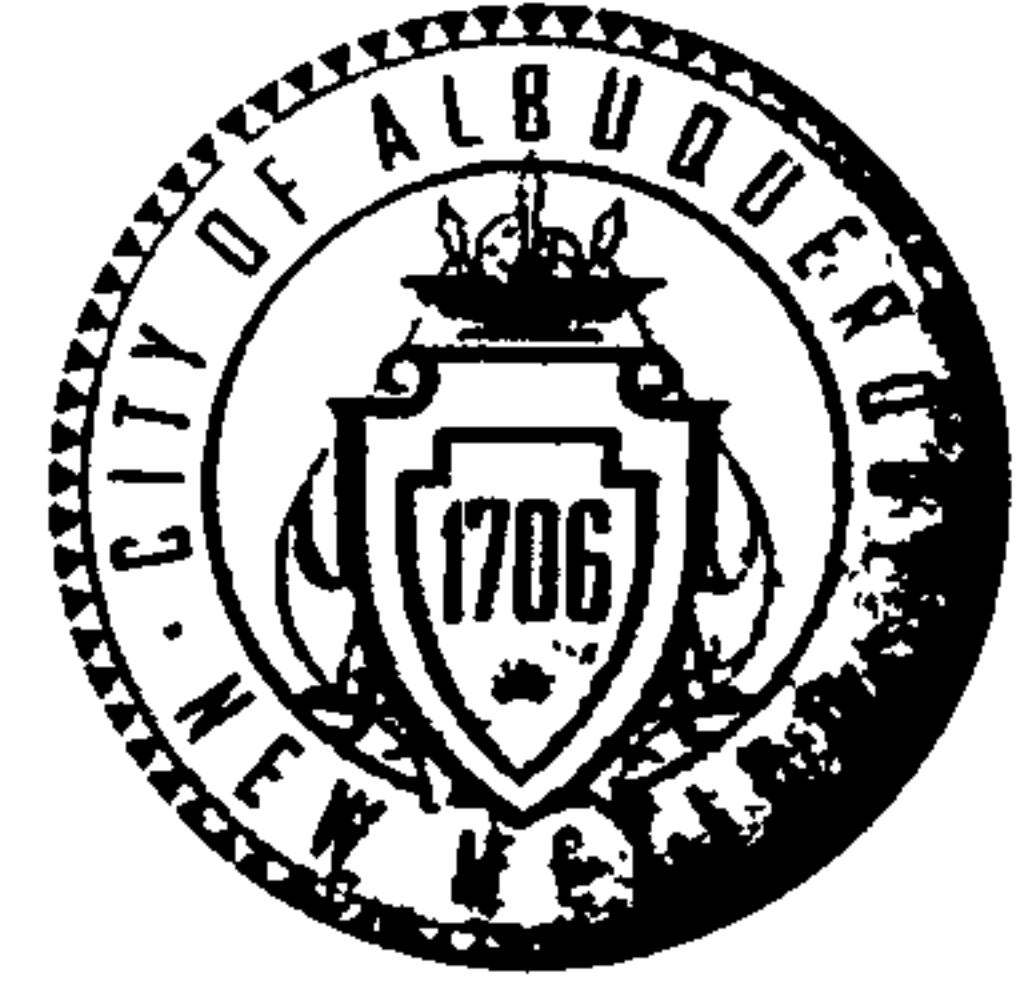
If you have any questions or need additional information, feel free to contact me at 924-3990.

Sincerely,

Jeremy Hoover, P.E., C.F.M.
Senior Engineer
Hydrology Section
Development and Building Services

cc: file J20/D3

CITY OF ALBUQUERQUE



February 18, 2010

George Nemeth, P.E.
Smith Engineering Company
2201 San Pedro NE, Bldg 4 Ste 200
Albuquerque, NM 87110

Re: Tramway Linear Park Phase I Grading Plan
Engineer's Stamp dated 1-20-10 (K22/D053)

Dear Mr. Nemeth,

Based upon the information provided in your submittal received 1-21-2010, the above referenced plan can not be approved for grading permit, until these comments are addressed.

PO Box 1293

- 1) Build notes are needed for the sidewalk culverts, swales, etc.
- 2) Provide a cross section of the swales. Will they all be the same width and depth?

Albuquerque

If you have any questions, you can contact me at 924-3986.

NM 87103

Sincerely,

Bradley L. Bingham

Bradley L. Bingham, P.E., C.F.M.
City Hydrologist, Planning Dept.
Development and Building Services

www.cabq.gov

C: file

CITY OF ALBUQUERQUE



February 19, 2010

David Soule, P.E.
Rio Grande Engineering
P.O. Box 67305
Albuquerque, NM 87199

Re: Lomas Car Wash, Grading and Drainage Plan
Engineer's Stamp date 2-16-10 (J20/D003)

Dear Mr. Soule,

Based upon the information provided in your submittal received 2-17-2010, the above referenced cannot be approved for building permit until the following comments are addressed.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

- Provide a detail/build notes for all applicable construction.
- Is curbing provided through out the site? If so what is top of curb?
- What is being done between the property line (assuming) and the curb?
- How is the 6" pvc outlet pipe being placed?
- Where is sidewalk being placed? Is there any existing sidewalk?
- Can the .5cfs be retained in the landscape areas by depressing them somewhat?
- The 5429 contour line at the west end of the building seems to vanish. This contour line needs to be placed for better clarification.
- Spot elevation 5431.18 should be 5431.38, other wise ponding will be created.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 01/28/2003rd)

PROJECT TITLE:	<u>Lomas Car Wash</u>	ZONE MAP/DRG. FILE #:	<u>J20/D803</u>
DRB #:	EPC #:	WORK ORDER #:	
LEGAL DESCRIPTION: <u>Tract C-1-A, Lands of Grevey(formerly tracts C1 &C2)</u>			
CITY ADDRESS: <u>Lomas west of Eubankd</u>			
ENGINEERING FIRM:	<u>Rio Grande Engineering</u>	CONTACT:	<u>David Soule, PE</u>
ADDRESS:	<u>PO BOX 67305</u>	PHONE:	<u>(505)321-9099</u>
CITY, STATE:	<u>Alb</u>	ZIP CODE:	<u>87199</u>
OWNER:	<u>Lomas Jack, llc</u>	CONTACT:	
ADDRESS:	<u>PO Box 67305</u>	PHONE:	
CITY, STATE:	<u>alv</u>	ZIP CODE:	<u>87199</u>
ARCHITECT:		CONTACT:	
ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	
SURVEYOR:	<u>Geo surv CO</u>	CONTACT:	<u>David Vigil</u>
ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	
CONTRACTOR:		CONTACT:	
ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	

CHECK TYPE OF SUBMITTAL:

- | | |
|-------------------------------------|---|
| <input checked="" type="checkbox"/> | DRAINAGE REPORT |
| <input type="checkbox"/> | DRAINAGE PLAN 1st SUBMITTAL, <i>REQUIRES TCL or equal</i> |
| <input type="checkbox"/> | DRAINAGE PLAN RESUBMITTAL |
| <input type="checkbox"/> | CONCEPTUAL GRADING & DRAINAGE PLAN |
| <input checked="" type="checkbox"/> | GRADING PLAN |
| <input type="checkbox"/> | EROSION CONTROL PLAN |
| <input type="checkbox"/> | ENGINEER'S CERTIFICATION (HYDROLOGY) |
| <input type="checkbox"/> | CLOMR/LOMR |
| <input type="checkbox"/> | TRAFFIC CIRCULATION LAYOUT (TCL) |
| <input type="checkbox"/> | ENGINEERS CERTIFICATION (TCL) |
| <input type="checkbox"/> | ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN) |
| <input type="checkbox"/> | OTHER |

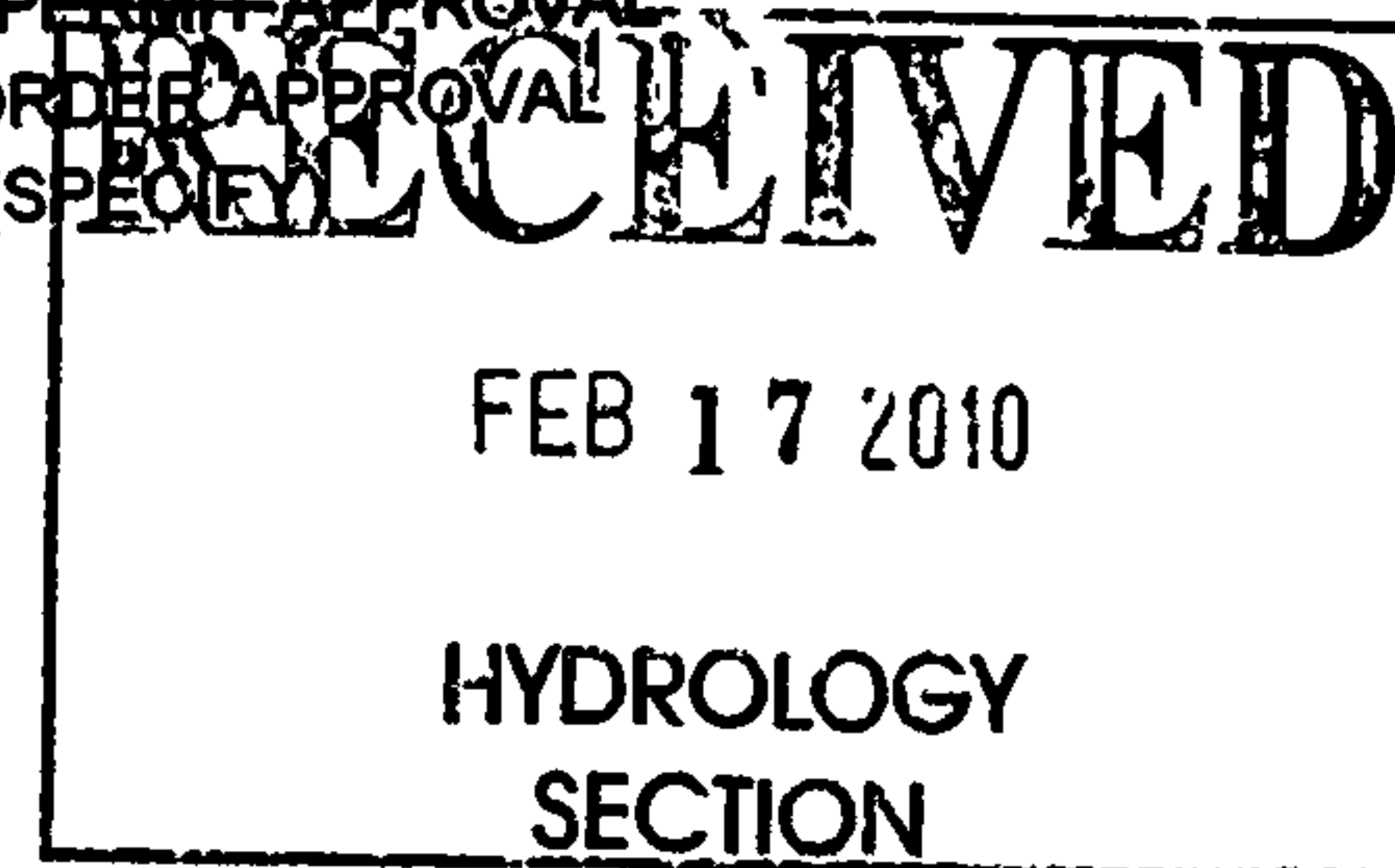
CHECK TYPE OF APPROVAL SOUGHT:

- | | |
|-------------------------------------|--|
| <input type="checkbox"/> | SIA / FINANACIAL GUARANTEE RELEASE |
| <input type="checkbox"/> | PRELIMINARY PLAT APPROVAL |
| <input type="checkbox"/> | S. DEV. PLAN FOR SUB'D. APPROVAL |
| <input type="checkbox"/> | S. DEV. PLAN FOR BLDG. PERMIT APPROVAL |
| <input type="checkbox"/> | SECTOR PLAN APPROVAL |
| <input type="checkbox"/> | FINAL PLAT APPROVAL |
| <input type="checkbox"/> | FOUNDATION PERMIT APPROVAL |
| <input checked="" type="checkbox"/> | BUILDING PERMIT APPROVAL |
| <input type="checkbox"/> | CERTIFICATE OF OCCUPANCY (PERM.) |
| <input type="checkbox"/> | CERTIFICATE OF OCCUPANCY (TEMP.) |
| <input type="checkbox"/> | GRADING PERMIT APPROVAL |
| <input type="checkbox"/> | PAVING PERMIT APPROVAL |
| <input type="checkbox"/> | WORK ORDER APPROVAL |
| <input type="checkbox"/> | OTHER (SPECIFY) |

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- | | |
|-------------------------------------|---------------|
| <input type="checkbox"/> | YES |
| <input checked="" type="checkbox"/> | NO |
| <input type="checkbox"/> | COPY PROVIDED |

\$50.00



DATE SUBMITTED: 2/17/2010 BY: David Soule

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

DRAINAGE REPORT

For

**Lomas Car Wash
Tract C1A Lands of Grevey
Albuquerque, New Mexico**

Prepared by

**Rio Grande Engineering
PO Box 67305
Albuquerque, New Mexico 87193**

February 2010



David Soule P.E. No. 14522

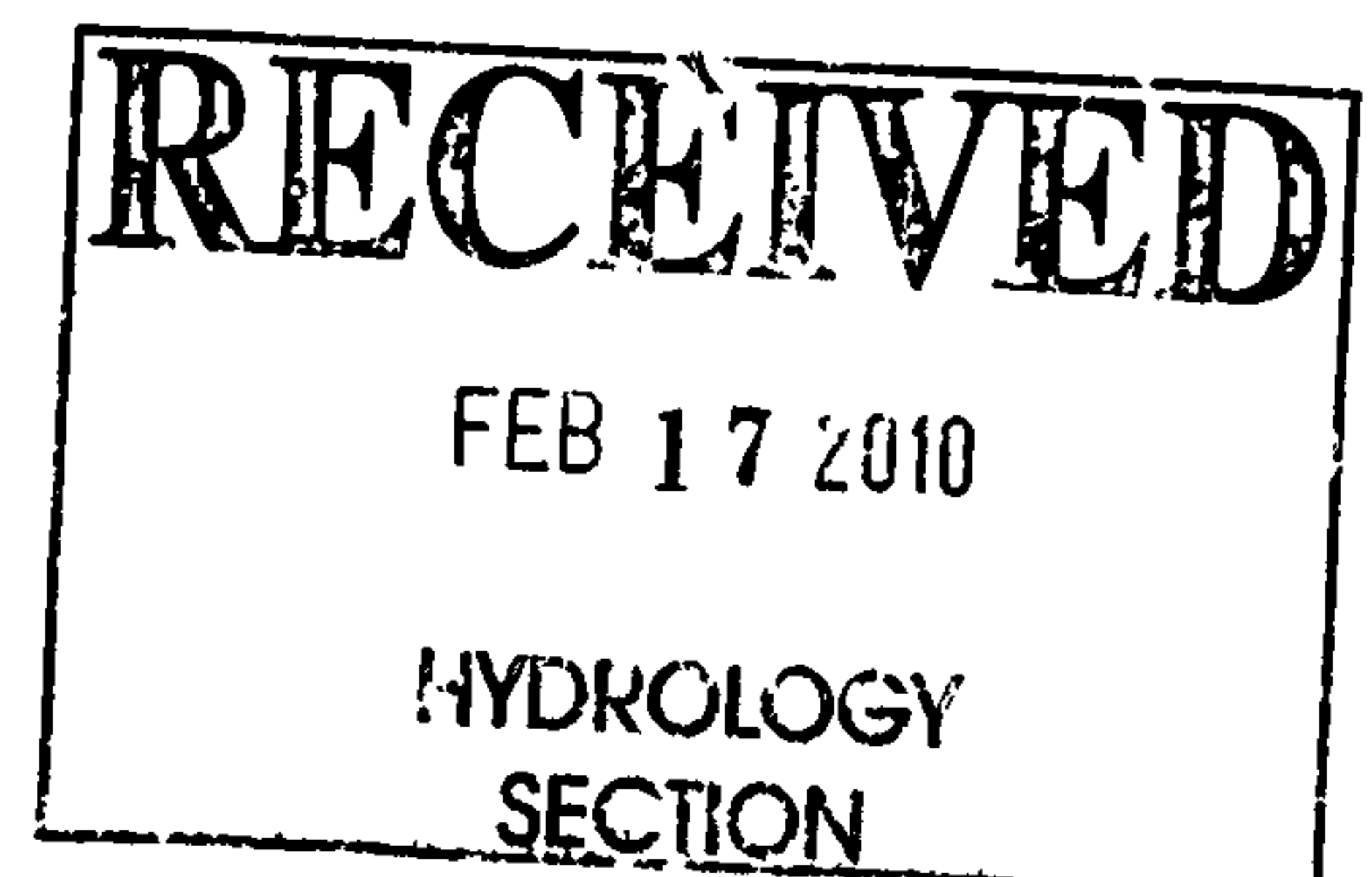


TABLE OF CONTENTS

Purpose3
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Exhibit A-Vicinity Map4
Proposed Conditions5
Summary5

Appendix

Site Hydrology A

Map Pocket
Site Grading and Drainage Plan

PURPOSE

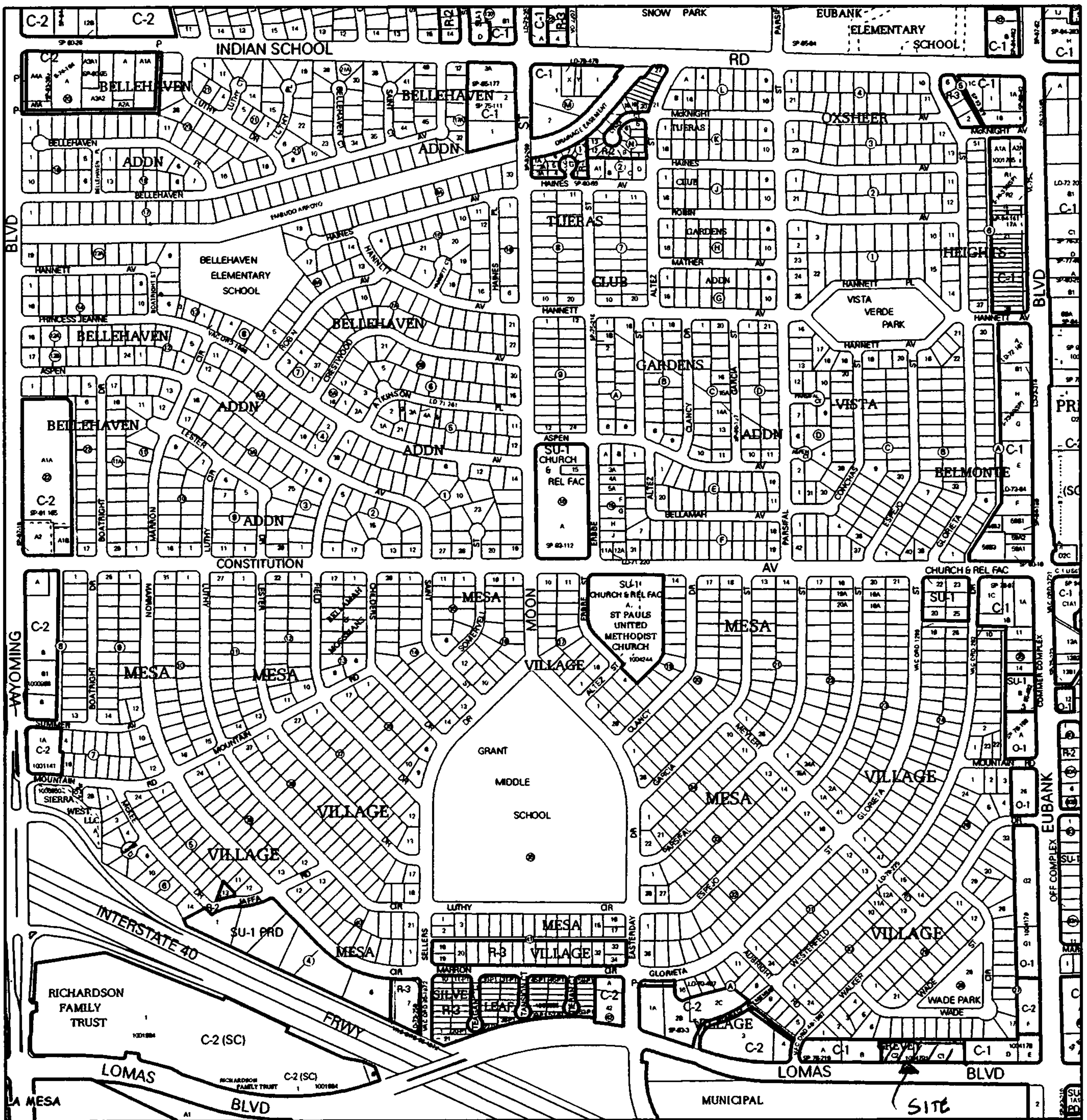
The purpose of this report is to provide the Drainage Management Plan for an approximately 4,000 square foot full service car wash facility located on the north side of Lomas just west of Eubank. This plan was prepared in accordance with the City of Albuquerque design regulations, utilizing the City of Albuquerque's Development Process Manual drainage guidelines. This report will demonstrate that the grading does not adversely affect the surrounding properties, nor the upstream or downstream facilities.

INTRODUCTION

The subject of this report, as shown on the Exhibit A, is a 1.22-acre parcel of land located on the north side of Lomas just west of Eubank in north east Albuquerque. The legal description of this site is tracts C1A, Lands of Grevey. As shown on FIRM map35013C0358F, the entire property is located within Flood Zone X. There is a AO (1') flood zone within Lomas. This site is surrounded by fully developed parcels. This site is one of the last infill parcels located along Lomas. Based on the site location and the adjacent drainage infrastructure this development must drain to Lomas and match existing conditions as closely as possible.

EXISTING CONDITIONS

The site is currently undeveloped. Based upon the location and area history, it appears this parcel was mass graded many years ago with the adjacent developments. Based upon site visits and historical orthophoto maps, this site has been compacted by vehicle and pedestrian traffic and is not in native conditions. The site slopes from east to west. The site currently has a 3% general east to west grade. The site is not impacted by any offsite flows, and is surrounded by developed properties that free discharge to Lomas As shown in Appendix A, the existing site discharges at a peak rate of 2.91 cfs in a 100-year, 6-hour event. The discharge leaves the site mainly as sheet flow directly to Lomas at the western boundary.



For more current information and more details visit: <http://www.cabq.gov/gis>

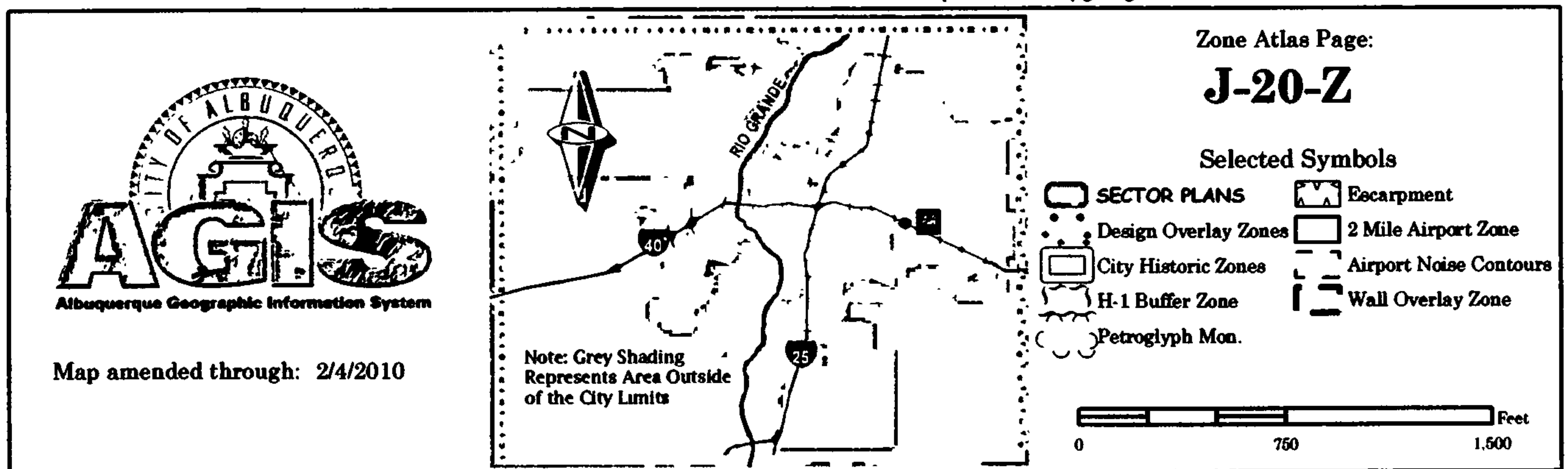


Exhibit A

PROPOSED CONDITIONS

The proposed improvements consist of a 4,000 square foot full service car wash facility. The site will be graded such that the entire site will discharge directly to Lomas at the driveways. As shown in appendix A, the site will be graded to contain two basins. Basin A includes half of the building and the north east portion of this site. This basin will free discharge 1.51 cfs to a detention/harvesting pond. This pond will discharge to the parking lot via a 6" pipe with a 2" orifice plate. The pond will harvest a portion of the discharge by shallow ponding and discharge a peak of .145 cfs. Basin B contains the remaining portion of the site. This basin will free discharge 3.26 acre feet to Lomas. The entire site will generate a peak flow rate of 3.41 cfs. This is .5 cfs greater than the existing. Due to the infill nature of the site, we feel this increase is negligible and should be acceptable to City Hydrology.

SUMMARY AND RECOMMENDATIONS

This project is an infill project within a completely developed area of North Albuquerque. While the site doesn't appear to have been developed, it has been graded flat and has compacted soil due to years of surrounding activities. The site currently discharges 2.91 cfs to Lomas via sheet flow. The proposed drainage plan will allow a portion to free discharge and route the remaining site through a harvesting detention pond. The developed conditions will discharge 3.51 cfs as sheet flow from the driveways to Lomas. The proposed increase of .5 cfs in minimal and shall have no negative impact on existing drainage patterns. Since this site encompasses more than 1 acre, a NPDES permit will be required prior to any construction activity.

APPENDIX A
SITE HYDROLOGY

Weighted E Method

Existing Basins

Basin	Area (sf)	Area (acres)									100-Year		
			Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
			%	(acres)	%	(acres)	%	(acres)	%	(acres)			
ONSITE	53200.00	1.221	20%	0.2442608	26%	0.318	38%	0.4641	6%	0.073	0.865	0.088	2.91
Total	53200.00	1.221		0.244		0.318		0.464		0.073		0.088	2.91

Proposed Developed Basins

Basin	Area (sf)	Area (acres)									100-Year, 6-hr.			10-day
			Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)
			%	(acres)	%	(acres)	%	(acres)	%	(acres)				
BASIN A	17641.80	0.405	0%	0	29%	0.117	17%	0.06885	54%	0.219	1.563	0.053	1.51	0.082
BASIN B	35544.96	0.816	0%	0	18%	0.147	20%	0.1632	62%	0.506	1.681	0.114	3.23	0.182
Total	53186.76	1.221		0		0.26433		0.23205		0.72462		0.167	4.74	0.18

Equations:

Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)

Volume = Weighted D * Total Area

Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Where for 100-year, 6-hour storm

Ea= 0.53	Qa= 1.56
Eb= 0.78	Qb= 2.28
Ec= 1.13	Qc= 3.14
Ed= 2.12	Qd= 4.7

Existing Condition

DISCHARGE TO LOMAS 2.91 cfs

Developed Conditions

BASIN A Discharge to Pond =	1.53 cfs
BASIN A Discharge from Pond	0.15 cfs
Basin B discharge to Lomas	3.26 cfs
Total Discharge to Lomas	3.41 cfs

Change 0.50 cfs Increase

Pond calculations

total volume to pond	2298 cubic feet
pond volume	2512 cubic feet

VOLUME CALCULATIONS

POND 5

Ab - Bottom Of The Pond Surface Area

At - Top Of The Pond Surface Area

D - Water Depth

Dt - Total Pond Depth

C - Change In Surface Area / Water Depth

$$\text{Volume} = \text{Ab} * \text{D} + 0.5 * \text{C} * \text{D}^2$$

ACTUAL ELEV.	DEPTH (FT)	VOLUME (AC-FT)	Q (CFS)
26.00	-1	0.00826446	0
27.00	0	0	0.000
28.00	1.00	0.0244	0.101
29.00	2.00	0.0577	0.145

Orifice Equation

$$Q = CA \text{ SQRT}(2gH)$$

$$C = 0.6$$

$$\text{Diameter (in)} = 2$$

$$\text{Area (ft}^2\text{)} = 0.02181662$$

$$g = 32.2$$

$$H \text{ (Ft)} = \text{Depth of water above center of orifice}$$

$$Q \text{ (CFS)} = \text{Flow}$$

NEW MEXICO STATE PLANE
(CENTRAL ZONE)
G/G=0.999654524
DELTA-ALPHA= -00'10"22.53"

PROVIDED 3' CURB CUT

LOT 11

6" PVC OUTLET PIPE
INV=5427.00

BUILD DETENTION POND
3:1 SLOPE MAX.
TOP=5428.00
BOTTOM=5426.00
PROPOSED VOLUME=1085 CU. FT.

BASIN A
.405 AC

6" PVC OUTLET PIPE
INV=5427.00

BUILD DETENTION POND
3:1 SLOPE MAX.
TOP=5428.00
BOTTOM=5427.00
PROPOSED VOLUME=847 CU. FT.

BASIN B
.816

Dump
Site

CELL TOWER

LOMAS BOULEVARD

CITY OF ALBUQUERQUE



June 29, 2007

Thomas D. Johnston, P.E.
TGC Engineering
330 Louisiana Blvd. NE
Albuquerque, NM 87108

Re: The Ultimate Car Wash, Engineer's Stamp dated 6-25-07 (J20/D3)
Tracts C1 and C2 of the Lands of Grevey.

Dear Mr. Johnston,

Based on the information contained in your submittal received on June 27, 2007, the above referenced plan is approved for SO-19 permit. A copy of this approval letter must be on hand when applying for the excavation permit. Please attach a copy of this letter and the approved plan to the Building Permit construction set prior to sign-off by Hydrology. After project completion, Engineer Certification per the DPM checklist will be required.

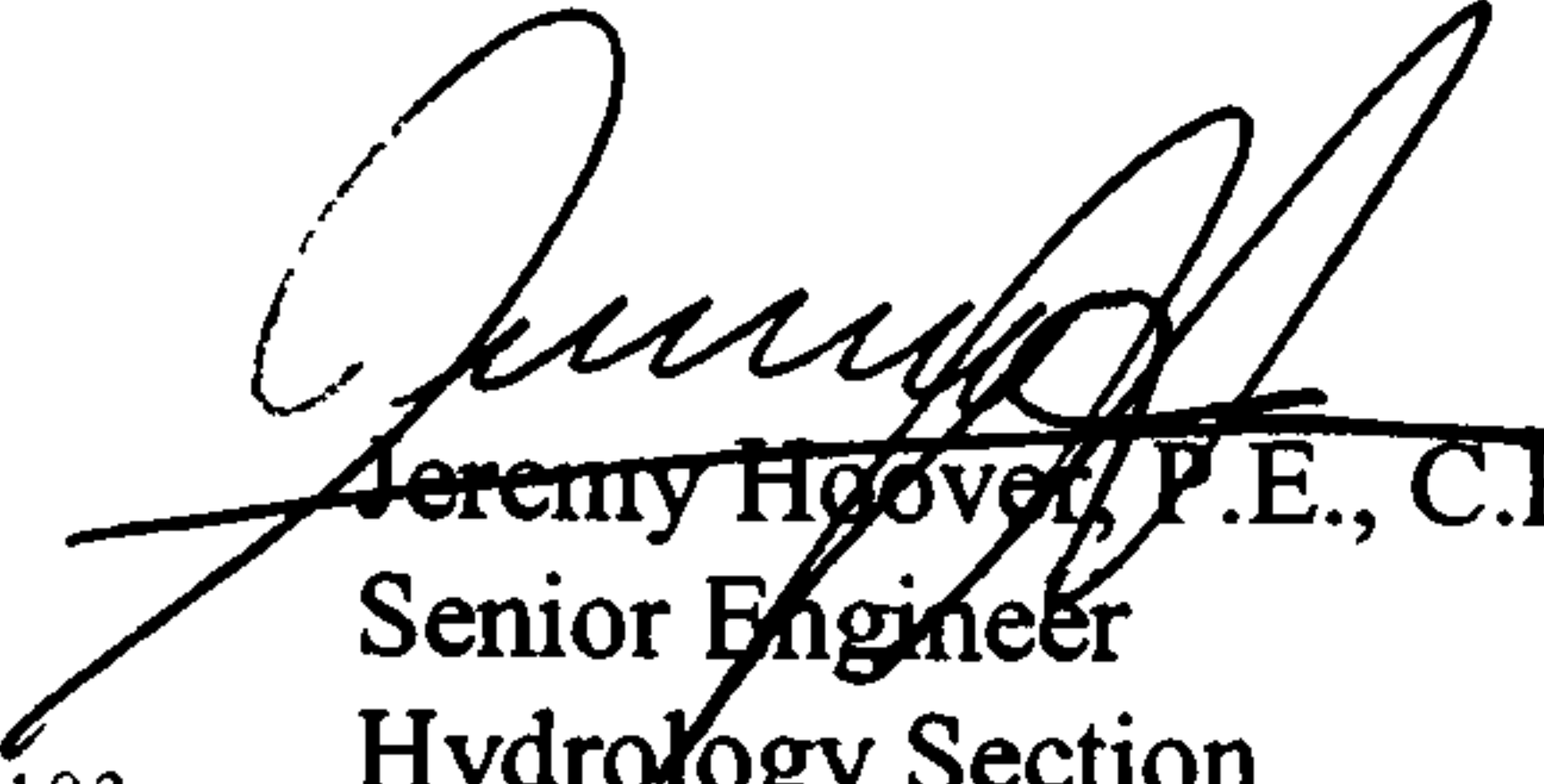
If you have any questions or need additional information, feel free to contact me at 924-3990.

P.O. Box 1293

Sincerely,

Albuquerque

New Mexico 87103


Jeremy Hoover, P.E., C.F.M.
Senior Engineer
Hydrology Section
Development and Building Services

cc: file J20/D3

www.cabq.gov

Antoinette Baldonado, Construction Services
Dwayne Schmitz, DMD Street / Storm Maintenance

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 01/06)

PROJECT TITLE: ULTIMATE CAR WASH. LOMAS ZONE MAP/DRG. FILE # J-20/D3
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT C, LANDS OF GREVEY
 CITY ADDRESS: 9935 LOMAS BOULEVARD NE

ENGINEERING FIRM: TGC ENGINEERING INC.
 ADDRESS: 330 LOUISIANA BLVD NE
 CITY, STATE: ALBUQUERQUE NM

CONTACT: THOMAS JOHNSTON
 PHONE: 266-7256
 ZIP CODE: 87108

OWNER: LOMAS JACK LLC
 ADDRESS: 2211 CANDELARIA ROAD NE
 CITY, STATE: ALBUQUERQUE NM


CONTACT: DANNY BRANDENBURG
 PHONE: 883-4000
 ZIP CODE: 87107

ARCHITECT: JIM MEDLEY
 ADDRESS: 3100 CHRISTINE ST NE
 CITY, STATE: ALBUQUERQUE NM

CONTACT: _____
 PHONE: 292-3514
 ZIP CODE: 87111

SURVEYOR: WAYDOWN SURVEYING INC.
 ADDRESS: 330 LOUISIANA BLVD NE
 CITY, STATE: ALBUQUERQUE NM

CONTACT: THOMAS JOHNSTON
 PHONE: 255-2052
 ZIP CODE: 87108

 PROFESSIONAL LICENSED SURVEYOR SIGNATURE	NMPS <u>14269</u> <u>5.27.07</u> LICENSE NO. <u>14269</u> DATE
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CONTRACTOR: TBD.
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER/ARCHITECT CERT (TCL)
- ☐ ENGINEER/ARCHITECT (DRB SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☒ OTHER (SPECIFY) 50-19

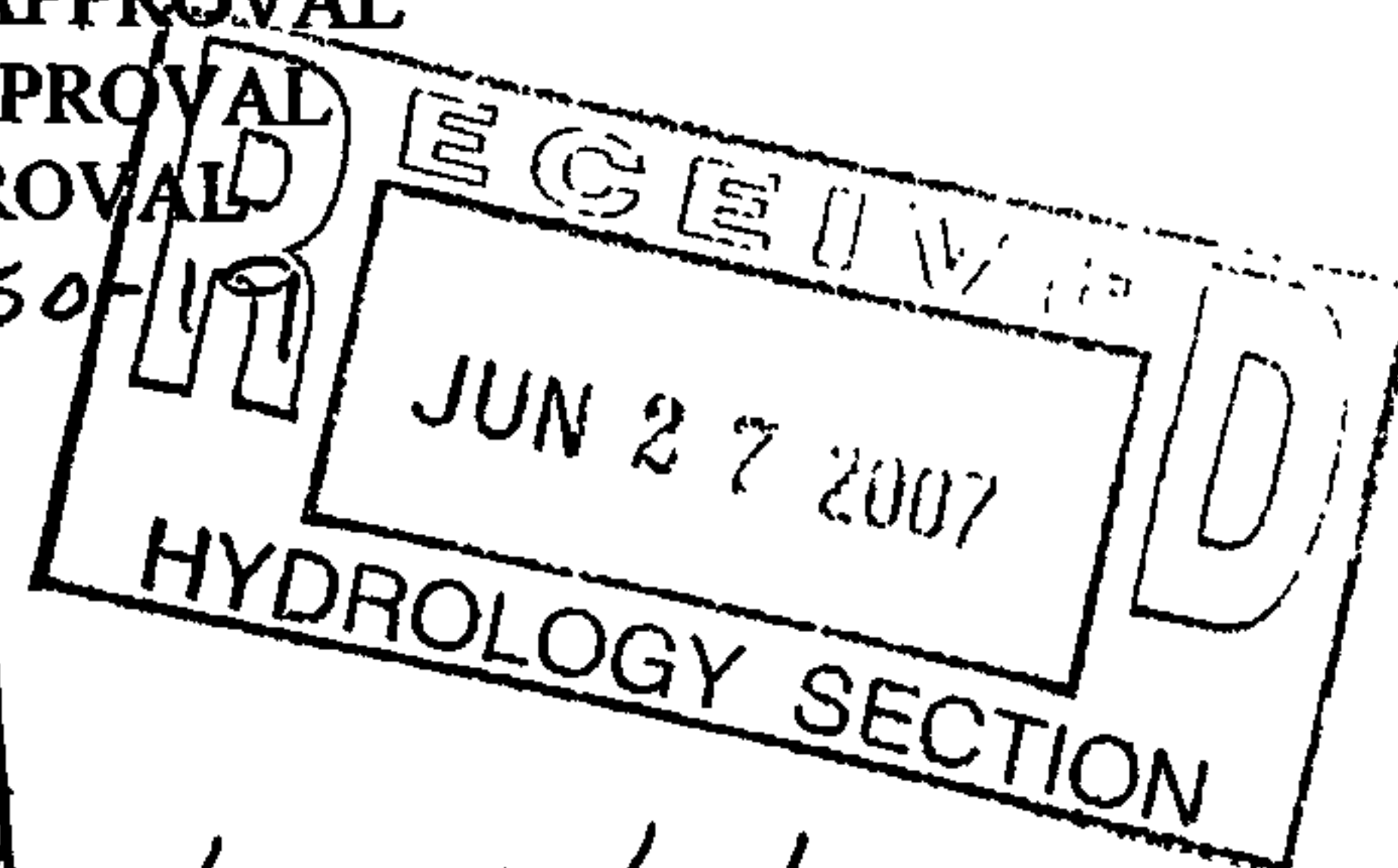
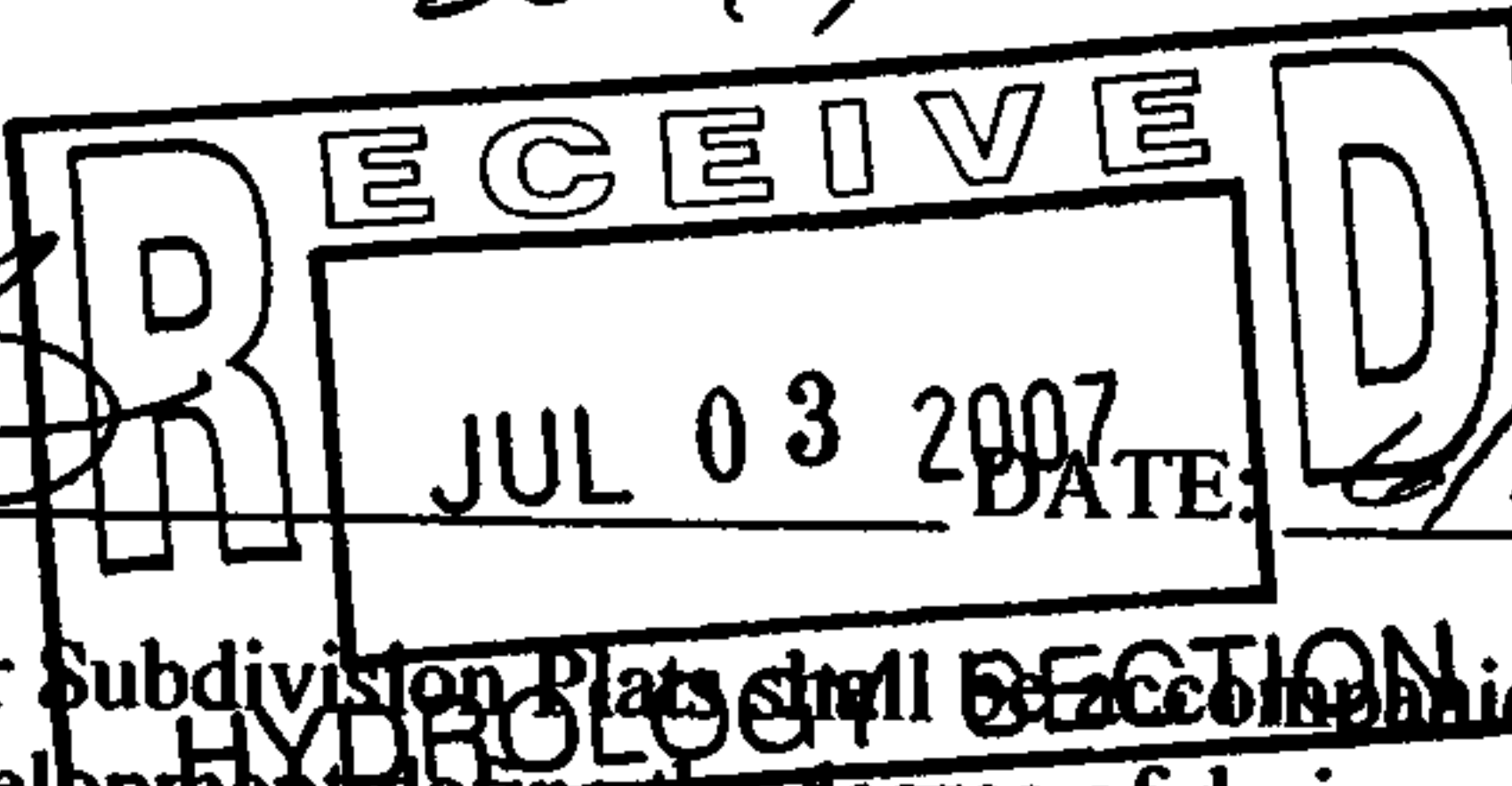
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

SUBMITTED BY:  DATE: 6/27/07 7/3/07

Requests for approvals of Site Development Plans and/or Subdivision Plans shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



June 29, 2007

Thomas D. Johnston, P.E.
TGC Engineering
330 Louisiana Blvd. NE
Albuquerque, NM 87108

Re: The Ultimate Car Wash, Engineer's Stamp dated 6-25-07 (J20/D3)
Tracts C1 and C2 of the Lands of Grevey.

Dear Mr. Johnston,

Based on the information contained in your submittal received on June 27, 2007, the above referenced plan is approved for Building Permit. As you are aware, a separate SO-19 permit is required for the sidewalk culvert connections to Lomas. Please include the following general note in the "Notice to Contractors" and submit two (2) copies to me for approval.

- Work on arterial streets shall be performed on a 24-hour basis.

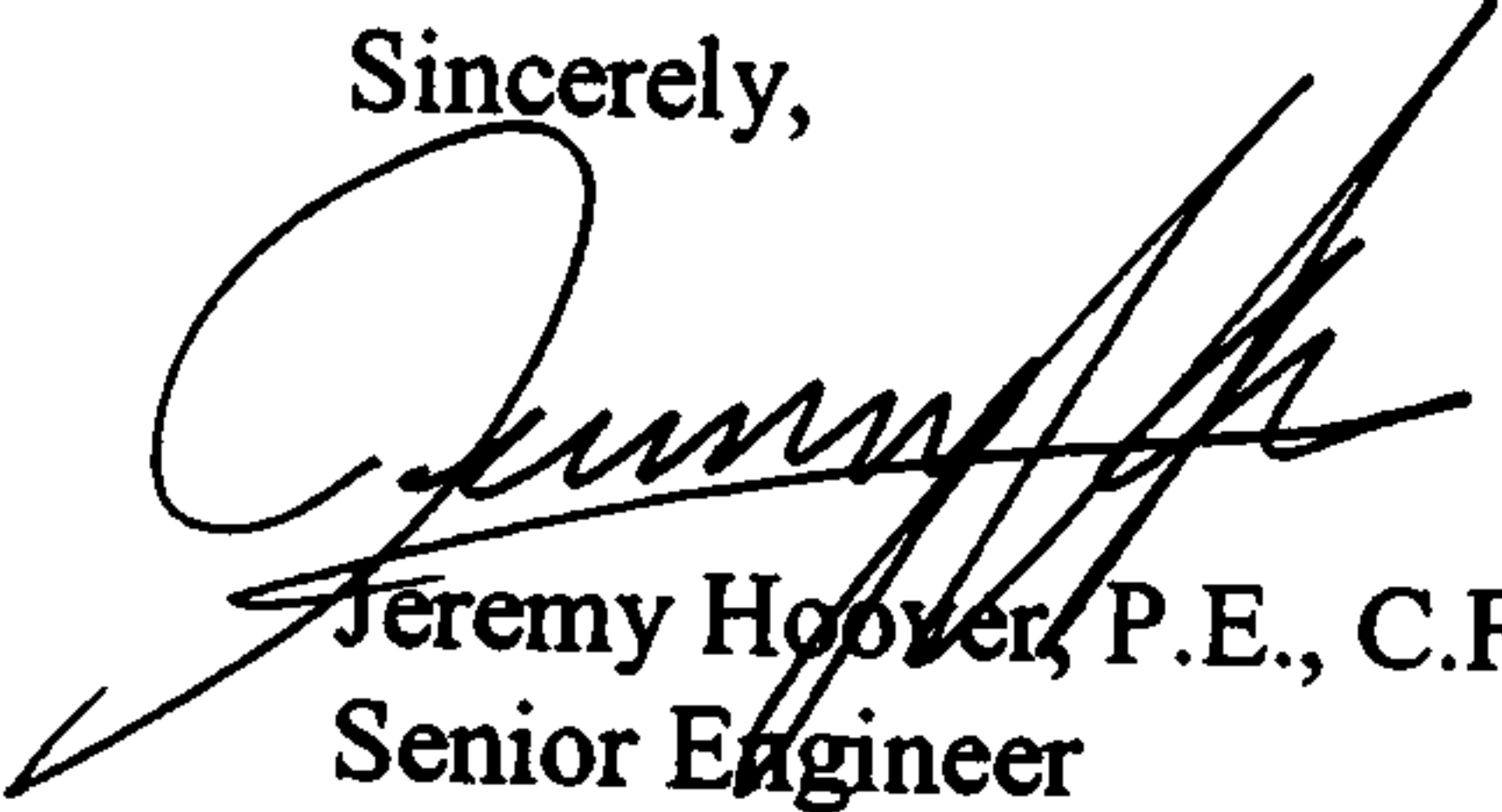
If you have any questions or need additional information, feel free to contact me at 924-3990.

P.O. Box 1293

Sincerely,

Albuquerque

New Mexico 87103


Jeremy Hoover, P.E., C.F.M.
Senior Engineer
Hydrology Section
Development and Building Services

cc: file J20/D3

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 01/06)

PROJECT TITLE: ULTIMATE CAR WASH. LOMAS ZONE MAP/DRG. FILE # J.20/D3
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT C, LANDS OF GREVEY
 CITY ADDRESS: 9935 LOMAS BOULEVARD NE

ENGINEERING FIRM: TGC ENGINEERING INC.
 ADDRESS: 330 LOUISIANA BLVD NE
 CITY, STATE: ALBUQUERQUE NM

CONTACT: THOMAS JOHNSTON
 PHONE: 266-7256
 ZIP CODE: 87108

OWNER: LOMAS JACK LLC
 ADDRESS: 2211 CANDELARIA ROAD NE
 CITY, STATE: ALBUQUERQUE NM


CONTACT: DANNY BRANDENBURG
 PHONE: 883-4000
 ZIP CODE: 87107

ARCHITECT: JIM MEDUEY
 ADDRESS: 3100 CHRISTINE ST NE
 CITY, STATE: ALBUQUERQUE NM

CONTACT: _____
 PHONE: 292-3514
 ZIP CODE: 87111

SURVEYOR: WAYJOHN SURVEYING INC.
 ADDRESS: 330 LOUISIANA BLVD NE
 CITY, STATE: ALBUQUERQUE NM

CONTACT: THOMAS JOHNSTON
 PHONE: 255-2052
 ZIP CODE: 87108

 PROFESSIONAL LICENSED SURVEYOR SIGNATURE	NMPS 14269 LICENSE NO. <u>14269</u>	5.27.07 DATE
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CONTRACTOR: TBD.
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1" SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
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- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
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- ☐ ENGINEER/ARCHITECT (DRB SITE PLAN)
- ☐ OTHER

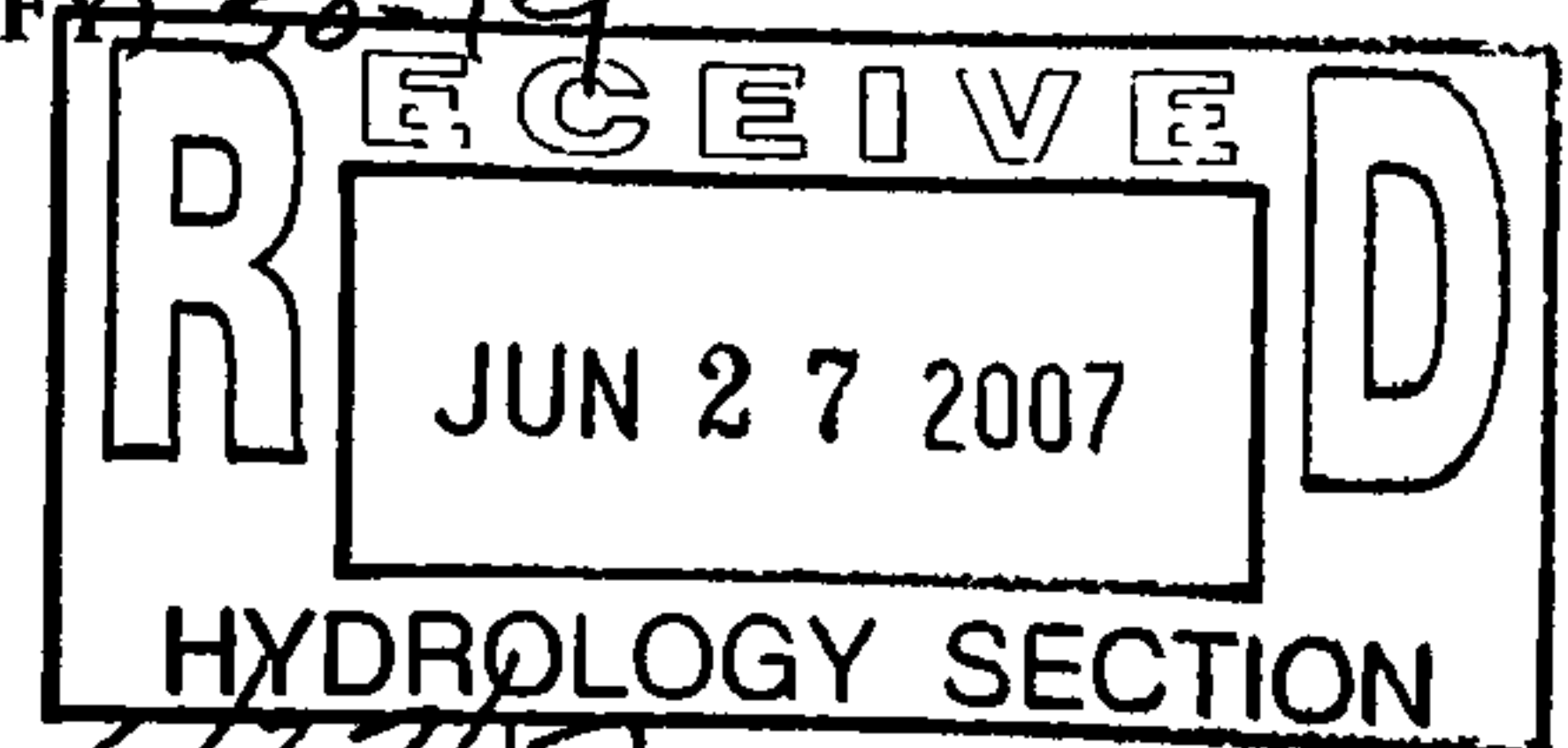
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- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☒ OTHER (SPECIFY) 50-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

SUBMITTED BY:  DATE: 6/27/07



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
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CITY OF ALBUQUERQUE



May 23, 2007

James Medley, R.A.
3100 Christine St. NE
Albuquerque, NM 87111

Re: The Ultimate Carwash, 9935 Lomas Blvd NE, Traffic Circulation Layout
Architect's Stamp dated 5-23-07 (J20-D3)

Dear Mr. Medley,

The TCL submittal received 5-23-07 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

P.O. Box 1293

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Albuquerque

New Mexico 87103

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



May 18, 2007

Mr. Jim Medley, R.A.
Jim Medley Architect
3100 Christine Street NE
Albuquerque, NM 87111

**Re: Ultimate Car Wash, _____ Lomas Blvd NE, Lot C-2 Lands of Grevey,
Traffic Circulation Layout, Architect's Stamp dated 5-10-07 (J20-D003)**

Dear Mr. Medley,

Based upon the information provided in your submittal received 05-10-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- ✓ 1. Please refer to all applicable city standards by standard number for the following items: drive-pads, sidewalks, and curb & gutter.
- ✓ 2. Will there be any existing drive-pads be closed? If so, reflect this on the plan. Also, provide the length to the nearest drive-pads on the east and west of the proposed drive-pad.
- ✓ 3. This site will require a six foot pedestrian path. ~ Needs zoning ok (per WG)
- ✓ 4. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
5. Demonstrate the traffic flow on the plan. How will the traffic enter the emissions bay and the automatic wash bays without conflicting with vehicles approaching the vacuum / trash receptacle bases?
6. Provide a delineating stripe along the north side of the handicapped parking stall.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov