

ADDRESS AND LEGAL DESCRIPTION:
10001 LOMAS BLVD., N.E.,
TRACT 'D', BLOCK 27, MESA VILLAGE EUBANK AND LOMAS BLVD, NW CORNER.

SIZE OF SITE: 0.7499 ACRES
EXISTING ZONING: C-1

BUILDING SIZE: 6,358 SQUARE FEET.

PARKING SPACES REQUIRED: 1 SPACE PER 300 SF, 21 SPACES REQUIRED, 29 PROVIDED, (6 COMPACT SPACES @ 7.5' X 15', 5 SPACES @ 9.0' X 18', 16 SPACES @ 8.5' X 18', AND 2 HC SPACES AT 8.5' X 18') TWO MOTORCYCLE SPACES PROVIDED, BICYCLE RACK PROVIDED ADJACENT TO FRONT ENTRY.

EXECUTIVE SUMMARY:

A. THE PROJECT IS LOCATED AT 10001 LOMAS BLVD, N.E., EAST OF UPTOWN AND NORTHEAST OF ALBUQUERQUE INTERNATIONAL AIRPORT. ZONE ATLAS NUMBER J-20.
B. THE DEVELOPMENT CONCEPT FOR THE SITE IS A NEW CREDIT UNION WITH DRIVE UP LINES.
C. TRAFFIC CIRCULATION IS INDICATED WITH ARROWS ON THE PLAN.
D. IMPACT ON THE ADJACENT SITES IS LOW. THE DEVELOPMENT SHOULD ENHANCE THE AREA AESTHETICS.
E. THE OWNER AND DESIGN ARCHITECT DID MEET WITH THE CITY AS PART OF A PRE-APPLICATION DISCUSSION, APPLICATION DATED 03-05-07. PA# 07-182. THOSE PRESENT REPRESENTING THE CITY WERE CARMEN MARRONE, TONY LOYD AND ROBERT PIERSON. CARMEN SIGNED THE PRE-APPLICATION DISCUSSION DOCUMENT ON 03-17-07. NO TRAFFIC IMPACT STUDIES WERE REQUESTED.
F. NO VARIANCE IS REQUESTED.

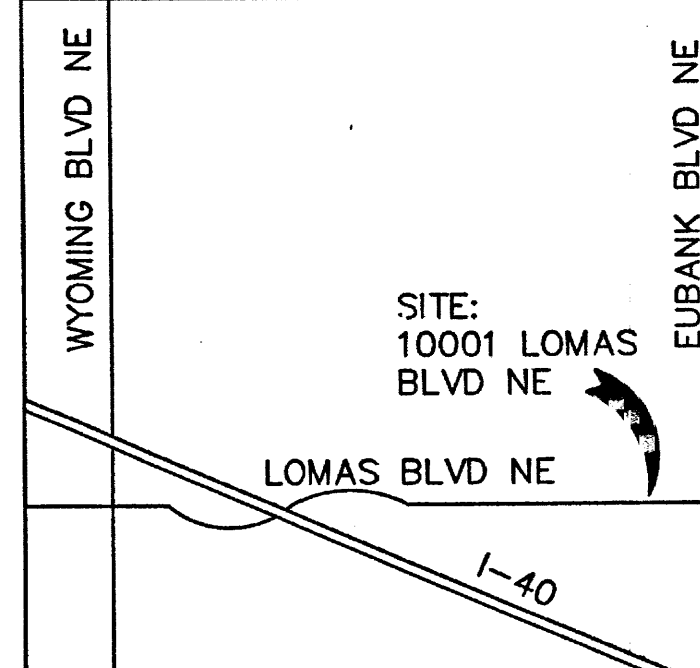
LEGEND:

WV	WATER VALVE	SPOT ELEVATION
WM	WATER METER	UNLESS OTHERWISE INDICATED, SPOT ELEVATIONS ARE TO NATURAL GRADE
MH	SANITARY SEWER MANHOLE	
FH	FIRE HYDRANT, NOT IN CONTRACT	TC TOP OF CURB / CONCRETE
PP	POWER POLE	FL FLOWLINE
ANCH	ANCHOR	BW BACK OF WALK
LP	LIGHT POLE	CHAIN LINK FENCE
TEL	TELEPHONE RISER	CONCRETE BLOCK WALL
TS	TRAFFIC SIGNAL	OVERHEAD POWER LINE
TB	TRAFFIC CONTROL BOX	

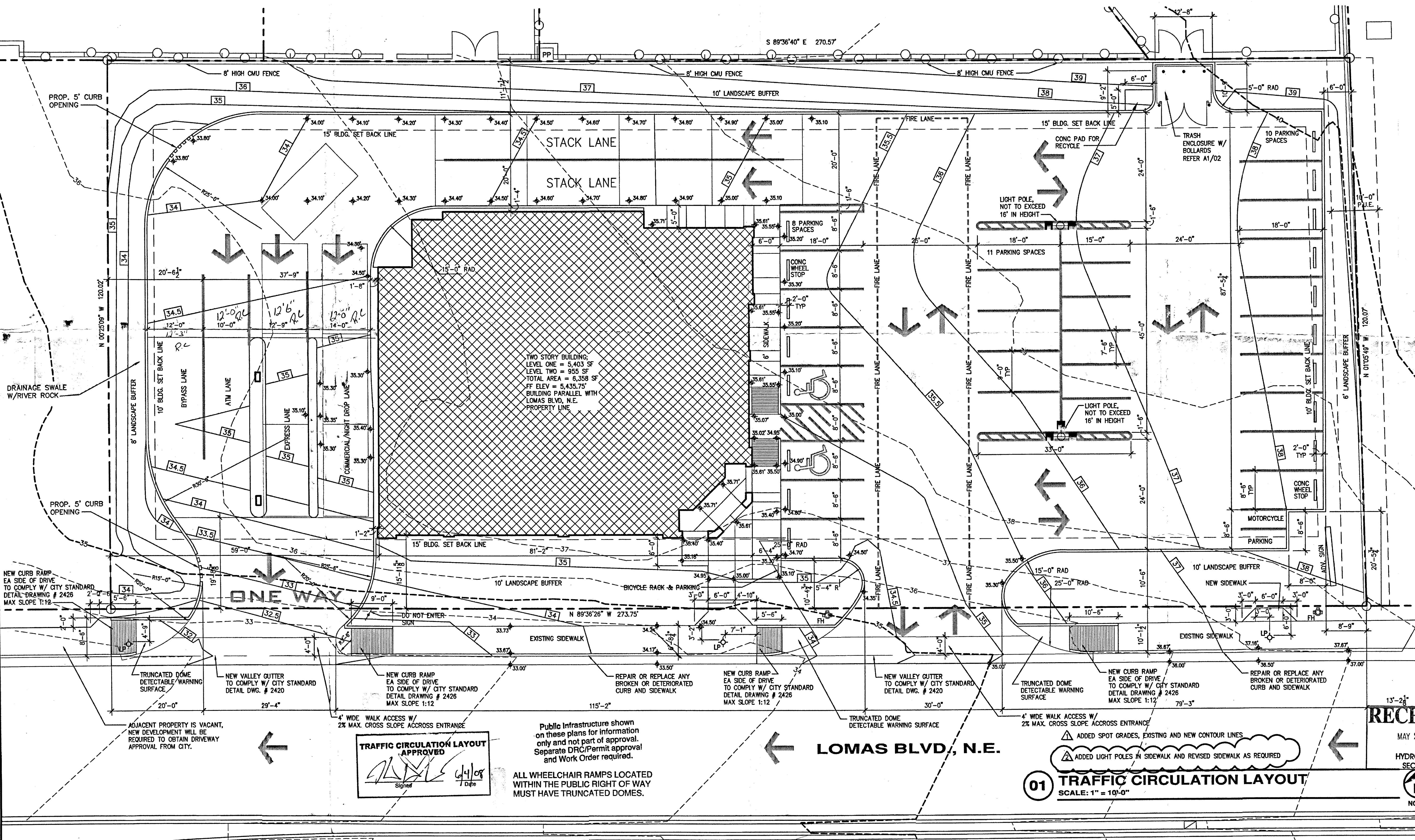
CURB RAMP CONSTRUCTION NOTES: (DESIGN ASSUMES A 8" HIGH CURB)

1. MAXIMUM SLOPE OF A CURB RAMP SYSTEM SHALL BE 1:12 (8.33%).
2. SLOPE AND CROSSLOPE OF A SIDE WALK LEADING INTO A CURB RAMP SYSTEM SHALL BE A MAXIMUM OF 1:50 (2%).
3. MAXIMUM SLOPE OF A HANDICAP ACCESSIBLE ROUTE ALONG A SIDEWALK LEADING INTO A CURB RAMP BEFORE IT MUST BE CONSIDERED A RAMP IS 1:20 (5%).
4. ALL SLOPED SURFACES AT CURB RAMP SYSTEMS MUST HAVE A 'SIGNIFICANT COLOR CONTRAST' FOR THE SEEING IMPAIRED; THEREFORE, ALL SUCH SLOPES MUST BE STAINED BLACK OR PAINTED TO CONTRAST THE ADJACENT 'FLAT SIDEWALK'.
5. SAW CUT GROOVES AT LEAST 1/4" WIDE X 1/8" DEEP @ 2" O.C. MAX. GROOVES MUST BE PROVIDED PERPENDICULAR TO PATH OF TRAVEL. DETECTABLE UNDERFOOT FOR THE BLIND TO FEEL TEXTURE AND FOR WHEELCHAIR TRACTION. FURTHERMORE, ALL GROOVES MUST BE ARRANGED SO WATER WILL NOT ACCUMULATE.
6. DETECTABLE WARNING ON WALKING SURFACE SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER TO CENTER SPACING OF NOMINAL 2.35 INCHES AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.

VICINITY MAP



ZONE ATLAS NO. J-20



FINANCIAL DESIGN & CONSTRUCTION, INC.
Dallas, Texas 75231
Phone: (214) 363-8513
Fax: (214) 363-8513

**NEW BRANCH FACILITY FOR
NEW MEXICO CENTRAL
CREDIT UNION**
10001 LOMAS BLVD N.E.
ALBUQUERQUE, NEW MEXICO 87108

AB ARCHITECTS, INC.
6114 FARINGTON
ROWLETT, TX
Phone: 214-607-6136
Fax: 214-607-0299
abarch-b@tx.tx.com

NEAL B. BRASWELL
REGISTERED ARCHITECT
NO. 004622

ARCHITECT:	NEAL B. BRASWELL
REGISTRATION NUMBER:	004232
DATE:	ISSUED FOR
04.09.08	CONSTRUCTION
05.05.08	ADDENDUM NO. 2
05.14.08	ADDENDUM NO. 3
	ADDENDUM NO. 4

TRAFFIC CIRCULATION LAYOUT
MAY 29 2008
HYDROLOGY SECTION
AB PROJECT NO. 1315
SHEET NO.

TCL

B L O C K 2 7 16

(FILED AUGUST 11, 1981
VOL. C18, FOLIO 150) D

(1 0 6' R. O. W.)

NOTE: MANHOLES HAVE BEEN PAVED OVER

BASIS OF ELEVATIONS: ACS STATION 19-J21
1-3/4" ALUMINUM DISK, STAMPED "ACS BM, 19-J21", EPOXIED TO THE TOP
OF CURB AT BACK OF WALK, LOCATED IN THE NORTHEAST QUADRANT OF EUBANK
BOULEVARD, N.E. AND LOMAS BOULEVARD, N.E.
ELEV. 5441.47 (NAVD 88)
TBM "+" CHISELED ON TOP OF CONCRETE CURB AT SE PROPERTY CORNER
ELEV. 5437.94

**SURVEY INFORMATION BASED ON A SURVEY PREPARED
BY WAYJOHN SURVEYING, INC.
DATED: FEBRUARY 17, 2007**

	WV	WATER VALVE
	WM	WATER METER
	MH	SANITARY SEWER MANHOLE
	FH	FIRE HYDRANT
	PP	POWER POLE
	ANCH	ANCHOR
	LP	LIGHT POLE
	TEL	TELEPHONE RISER
	TS	TRAFFIC SIGNAL
	TB	TRAFFIC CONTROL BOX

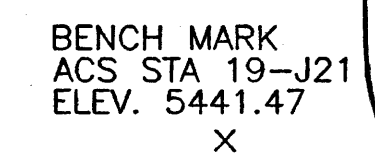
-X-87.1/2 SPOT ELEVATION
 UNLESS OTHERWISE INDICATED, SPOT
 ELEVATIONS ARE TO NATURAL GRADE

TC TOP OF CURB / CONCRETE
 FL FLOWLINE
 BW BACK OF WALK
 CHAIN LINK FENCE
 CONCRETE BLOCK WALL
 OVERHEAD POWER LINE

FLOOD INFORMATION:
THIS PROPERTY DOES LIE IN AN AREA COVERED BY A FORMAL F.E.M.A. FLOOD STUDY.
PROPERTY LIES WITHIN ZONE "X" (No Flood Hazard) AND IS NOT SUBJECT TO 100-YEAR FLOOD HAZARDS.
(NOTE: LOMAS BOULEVARD FLOODS ADJACENT TO THIS PROPERTY)
REFERENCE: FLOOD INSURANCE RATE MAP, ALBUQUERQUE, NEW MEXICO PANEL 350002 0358 F
EFFECTIVE DATE: NOVEMBER 19, 2003.

TRACT LETTERED "D", IN BLOCK NUMBERED TWENTY-SEVEN (27), OF MESA VILLAGE, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON NOVEMBER 28, 2005, IN MAP BOOK 2005C, FOLIO 380.

CONSULTING ENGINEERING • LAND PLANNING • SURVEYING
1420 GERONIMO DRIVE, SUITE A2 • EL PASO, TEXAS 79925 • (915) 778-4476
6336 GREENVILLE AVE, SUITE C • DALLAS, TEXAS 75206 • (214) 234-0011



ACS STA 12-J21
X = 415690.28
Y = 1487157.67
 $\Delta_{ac} -0^{\circ}09'43''$
G-G .99964809
NEW MEXICO STATE PLANE
COORDINATES, CENTRAL ZONE
NAD 1927

N 87° 46' 45" W GRID.
228.47' (GROUND)

7'0"± 1'-0"± 6"

3-#4 BARS CONTINUOUS

TOP OF CURB ELEV. VARIES 34.50-35.50

FINISH PAVEMENT

PROPOSED CONC. CURB

BOTTOM OF CURB ELEV. 33.00

BOTTOM OF SWALE ELEV. VARIES 34.00-33.00

SECTION A-A
SWALE ALONG WEST BOUNDARY LINE
NOT TO SCALE

AB ARCHITECTS, INC.
6114 FARINGDON
ROWLETT, TX
Phone: 214-923-6136
Fax: 214-607-0299
abarch-b@comcast.net

ARCHITECT: NEAL B. BRASWELL
REGISTRATION NUMBER: 16288

DATE	ISSUED FOR
10.5.07	REVIEW
11.2.07	REVIEW
11.7.07	REVIEW
11.19.07	REVIEW
2.19.08	REVIEW
4.18.08	REVIEW
4.21.08	REVIEW

GRADING PLAN

PROJECT NO. 1307.

SHEET NO.

C-1

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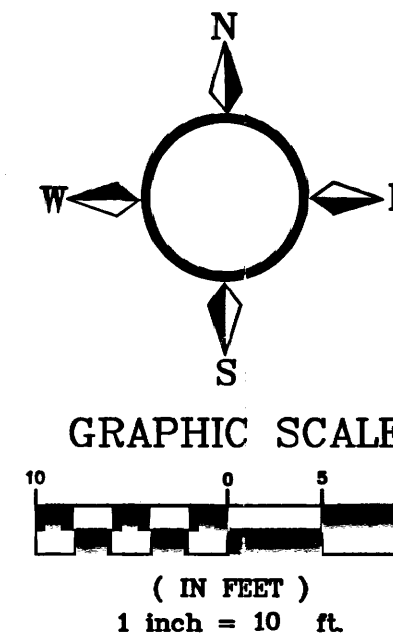
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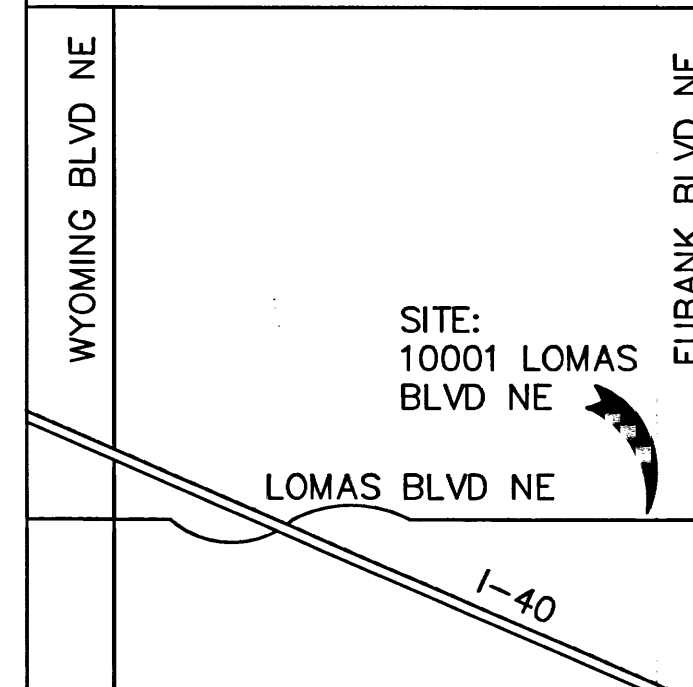
- | | | |
|--------|-------------------------------|---|
| ⊗ WV | WATER VALVE | SPOT ELEVATION |
| ⊗ WM | WATER METER | x67.12 UNLESS OTHERWISE INDICATED, SPOT ELEVATIONS ARE TO NATURAL GRADE |
| ⊗ MH | SANITARY SEWER MANHOLE | TC TOP OF CURB / CONCRETE |
| ⊗ FH | FIRE HYDRANT, NOT IN CONTRACT | FL FLOWLINE |
| ● PP | POWER POLE | BW BACK OF WALK |
| ▲ ANCH | ANCHOR | CHAIN LINK FENCE |
| ⊗ LP | LIGHT POLE | CONCRETE BLOCK WALL |
| ⊗ TEL | TELEPHONE RISER | OVERHEAD POWER LINE |
| ⊗ TS | TRAFFIC SIGNAL | |
| ⊗ TB | TRAFFIC CONTROL BOX | |

CURB RAMP CONSTRUCTION NOTES: (DESIGN ASSUMES A 8" HIGH CURB)

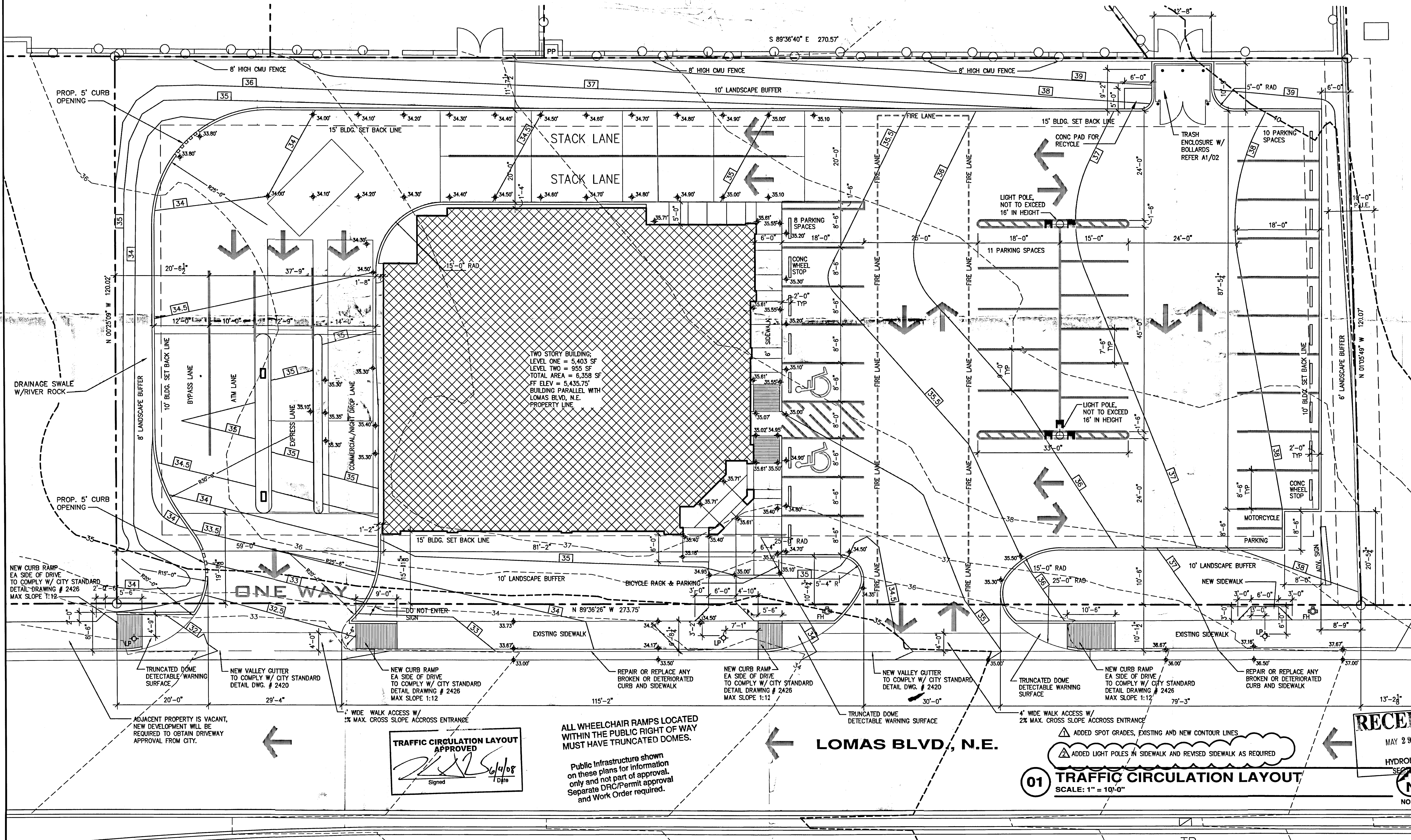
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VICINITY MAP



ZONE ATLAS NO. J-20



TRAFFIC CIRCULATION LAYOUT
APPROVED
Signed: [Signature] 6/4/08
Date: 6/4/08

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

LOMAS BLVD, N.E.

01 TRAFFIC CIRCULATION LAYOUT
SCALE: 1" = 10'-0"

RECEIVED
MAY 29 2008
HYDROLOGY

TRAFFIC CIRCULATION LAYOUT

AB PROJECT NO. 1315

SHEET NO.

TCL

NEW BRANCH FACILITY FOR
NEW MEXICO CENTRAL
CREDIT UNION
10001 LOMAS BLVD N.E.
ALBUQUERQUE, NEW MEXICO 87108

AB ARCHITECTS INC.
6114 FARINGDON
ROWLETT, TX
Phone: 214-923-6136
Fax: 214-607-0299
abarch-b@tx.rr.com

STATE OF NEW MEXICO
NEAL B. BRASWELL
REGISTERED ARCHITECT
NO. 004232
5.14.08

ARCHITECT: NEAL B. BRASWELL
REGISTRATION NUMBER: 004232

DATE	ISSUED FOR
04.09.08	CONSTRUCTION
05.05.08	ADDENDUM NO. 2
05.14.08	ADDENDUM NO. 3
05.14.08	ADDENDUM NO. 4

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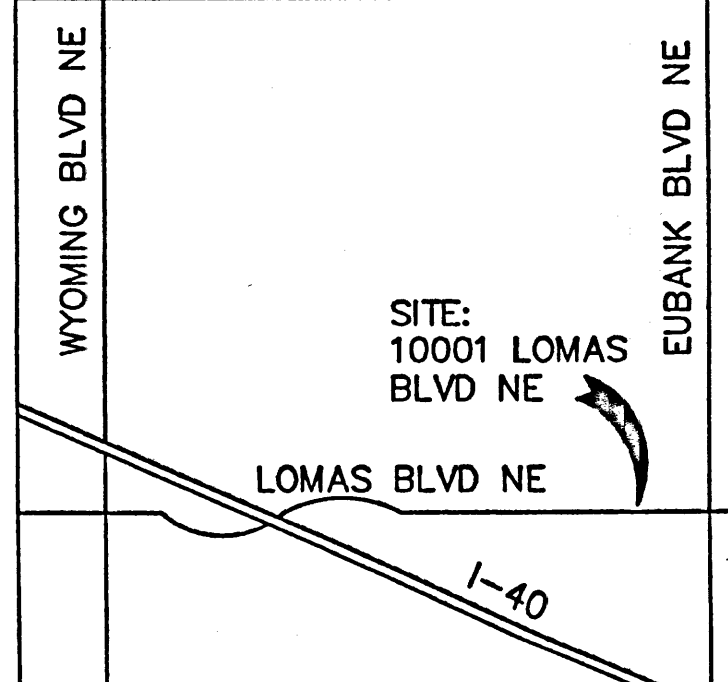
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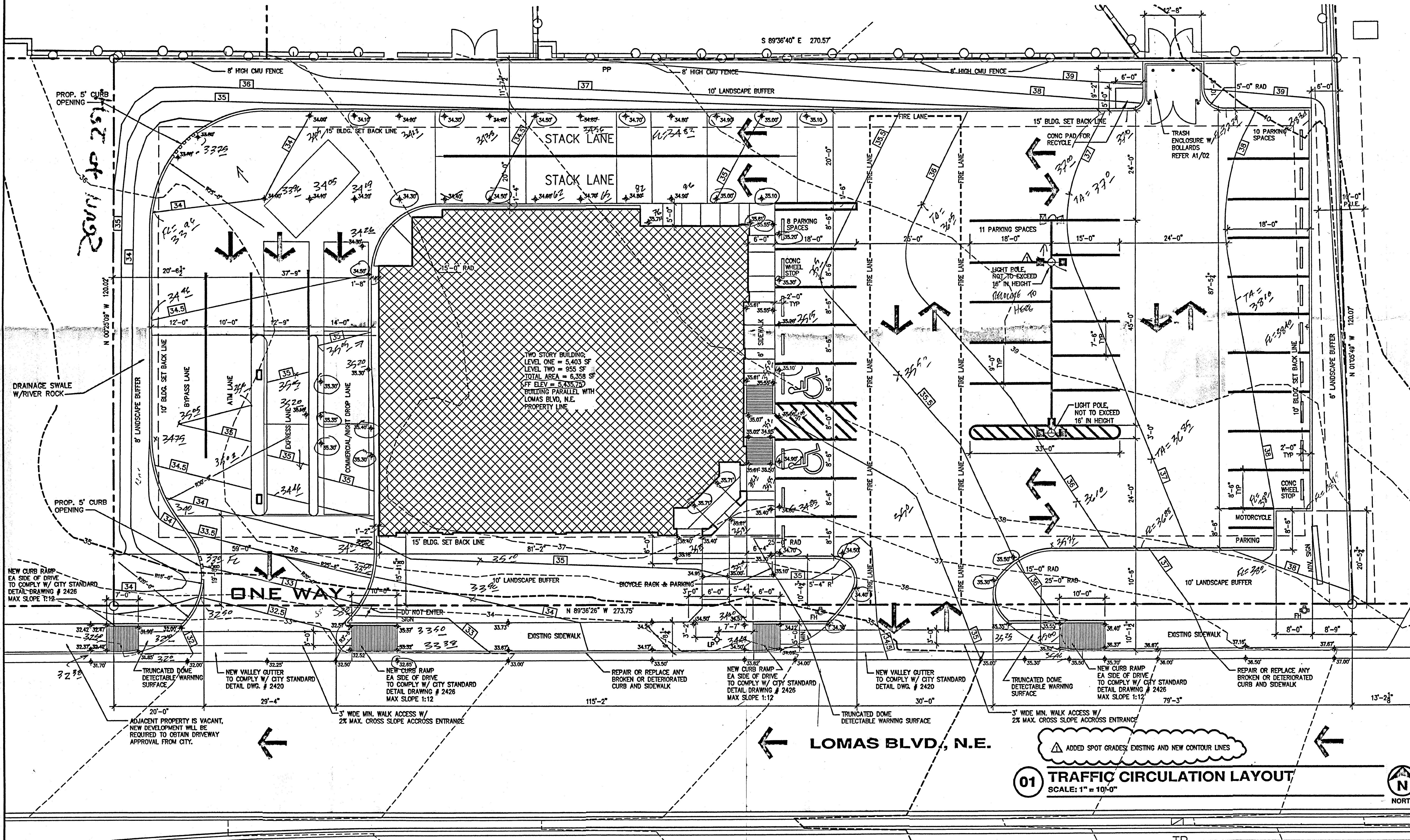
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VICINITY MAP

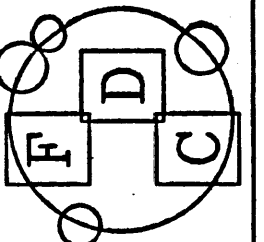


ZONE ATLAS NO. J-20



01 TRAFFIC CIRCULATION LAYOUT
SCALE: 1" = 10'-0"

FINANCIAL DESIGN
& CONSTRUCTION, INC.

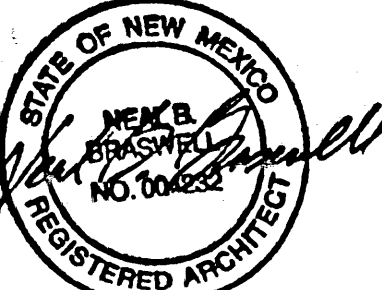


Dallas, Texas 75231
Phone: (214) 963-8513

8330 Meadow Road, Suite 200
Phone: 1-866-363-8515

NEW BRANCH FACILITY FOR
NEW MEXICO CENTRAL
CREDIT UNION
10001 LOMAS BLVD N.E.
ALBUQUERQUE, NEW MEXICO 87108

AB ARCHITECTS, INC.
6114 FARRINGTON
ROWLETT, TX
Phone: 214-923-6136
Fax: 214-607-0299
abarch-b@bcr.com



4-25-08
ARCHITECT: NEAL B. BRASWELL
REGISTRATION NUMBER: 004232
DATE ISSUED FOR
CONSTRUCTION
04.09.08 ADDENDUM NO. 2
04.23.08 ADDENDUM NO. 3

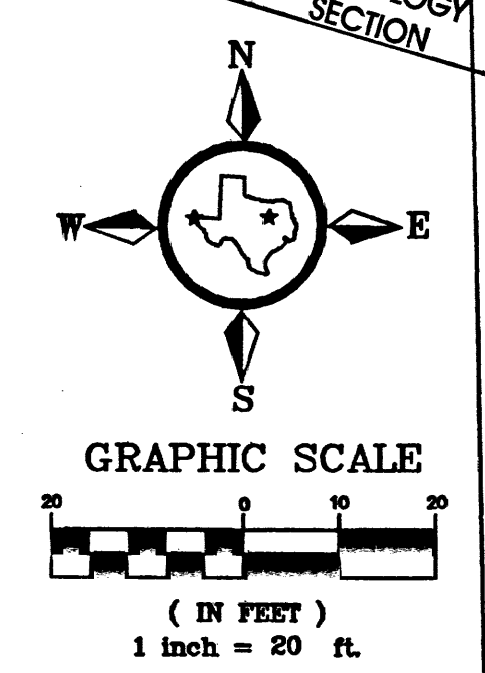
TRAFFIC
CIRCULATION
LAYOUT

AB PROJECT NO. 1315

SHEET NO.

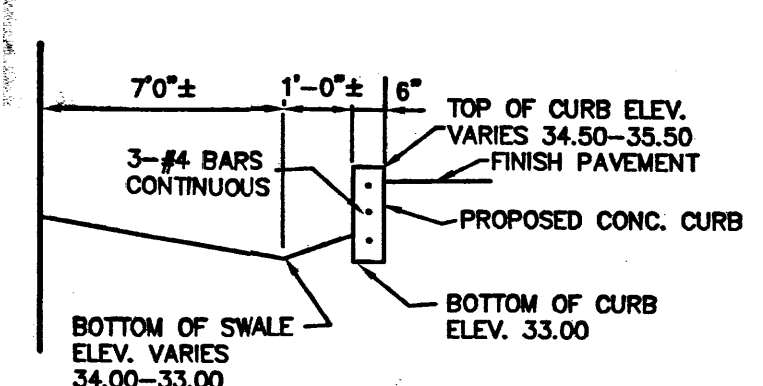
TCL

RECEIVED
APR 22 2008
HYDROLOGY
SECTION



BENCH MARK
ACS STA 19-J21
ELEV. 5441.47
X

ACS STA 12-J21
X = 415690.28
Y = 1487157.67
Δac = -0'09'43"
G-G .99964809
NEW MEXICO STATE PLANE
COORDINATES, CENTRAL ZONE
NAD 1927



SECTION A-A
SWALE ALONG WEST BOUNDARY LINE
NOT TO SCALE

FINANCIAL DESIGN
& CONSTRUCTION, INC.

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Phone: 1-866-363-8515 Fax: (214) 363-8513

NEW BRANCH FACILITY FOR
NEW MEXICO CENTRAL
CREDIT UNION
ALBUQUERQUE NEW MEXICO

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ROWLETT, TX
Phone: 214-923-6136
Fax: 214-607-0299
abarch-b@comcast.net

ARCHITECT: NEAL B. BRASWELL
REGISTRATION NUMBER: 16288

DATE	ISSUED FOR
10.5.07	REVIEW
11.2.07	REVIEW
11.7.07	REVIEW
11.19.07	REVIEW
2.19.08	REVIEW
4.16.08	REVIEW
4.21.08	REVIEW

GRADING
PLAN

RECEIVED
APR 22 2008
HYDROLOGY
SECTION
1307
SHEET NO.

EUBANK BOULEVARD, N.E.

TRACT F

TRACT E

MESA VILLAGE
(FILED JUNE 28, 1957 VOL. C3, FOLIO 92)

BLOCK 27

TRACT C
LANDS OF GREVEY

(FILED AUGUST 11, 1981
VOL. C18, FOLIO 150)

DRAINAGE SWALE
W/RIVER ROCK

PROP. 5' CURB
OPENING

PROP. 5' CURB
OPENING

LOMAS BOULEVARD, N.E.

(106' R.O.W.)

NOTE: MANHOLES HAVE BEEN PAVED OVER

BASIS OF ELEVATIONS:

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1-3/4" ALUMINUM DISK, STAMPED "ACS BM, 19-J21", EPOXYED TO THE TOP
OF CURB AT BACK OF WALK, LOCATED IN THE NORTHEAST QUADRANT OF EUBANK
BOULEVARD, N.E. AND LOMAS BOULEVARD, N.E.
ELEV. 5441.47 (NAVD 88)
TBM "4" CHISELED ON TOP OF CONCRETE CURB AT SE PROPERTY CORNER
ELEV. 5437.94

SURVEY DATA

SURVEY INFORMATION BASED ON A SURVEY PREPARED
BY WAYJOHN SURVEYING, INC.
DATED: FEBRUARY 17, 2007

LEGEND:

- | | | |
|------|------------------------|---|
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| LP | LIGHT POLE | CONCRETE BLOCK WALL |
| TEL | TELEPHONE RISER | OVERHEAD POWER LINE |
| TS | TRAFFIC SIGNAL | |
| TB | TRAFFIC CONTROL BOX | |
| 39 | PROPOSED CONTOUR LINE | |
| FSW | FINISH TOP OF SIDEWALK | |
| FP | FINISH TOP OF PAVING | |

BENCH MARK ACS STA 19-J21
1-3/4" ALUMINUM DISK EPOXYED TO TOP OF CURB,
NE QUADRANT OF LOMAS BLVD. & EUBANK BLVD, NE
ELEV. 5441.47
TBM "4" CHISELED ON TOP OF CONCRETE CURB AT SE PROPERTY CORNER
ELEV. 5437.94

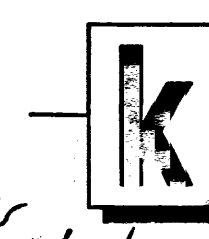
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REFERENCE: FLOOD INSURANCE RATE MAP, ALBUQUERQUE, NEW MEXICO PANEL 350002 0358 F
EFFECTIVE DATE: NOVEMBER 19, 2003.

AREA:
32665.59 SQ. FT.
0.7499 ACRE

DESCRIPTION:

TRACT LETTERED "D", IN BLOCK NUMBERED TWENTY-SEVEN (27), OF MESA
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IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON
NOVEMBER 28, 2005, IN MAP BOOK 2005C, FOLIO 380.

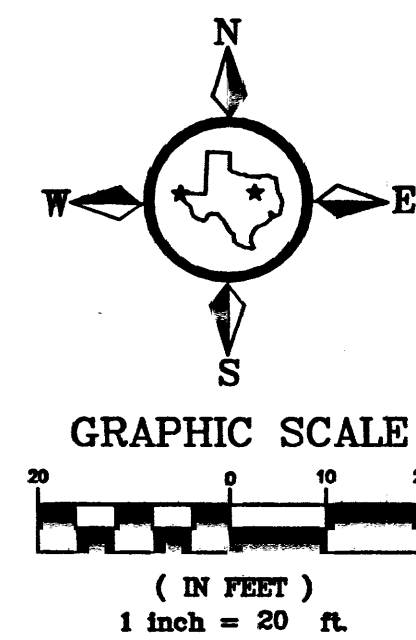
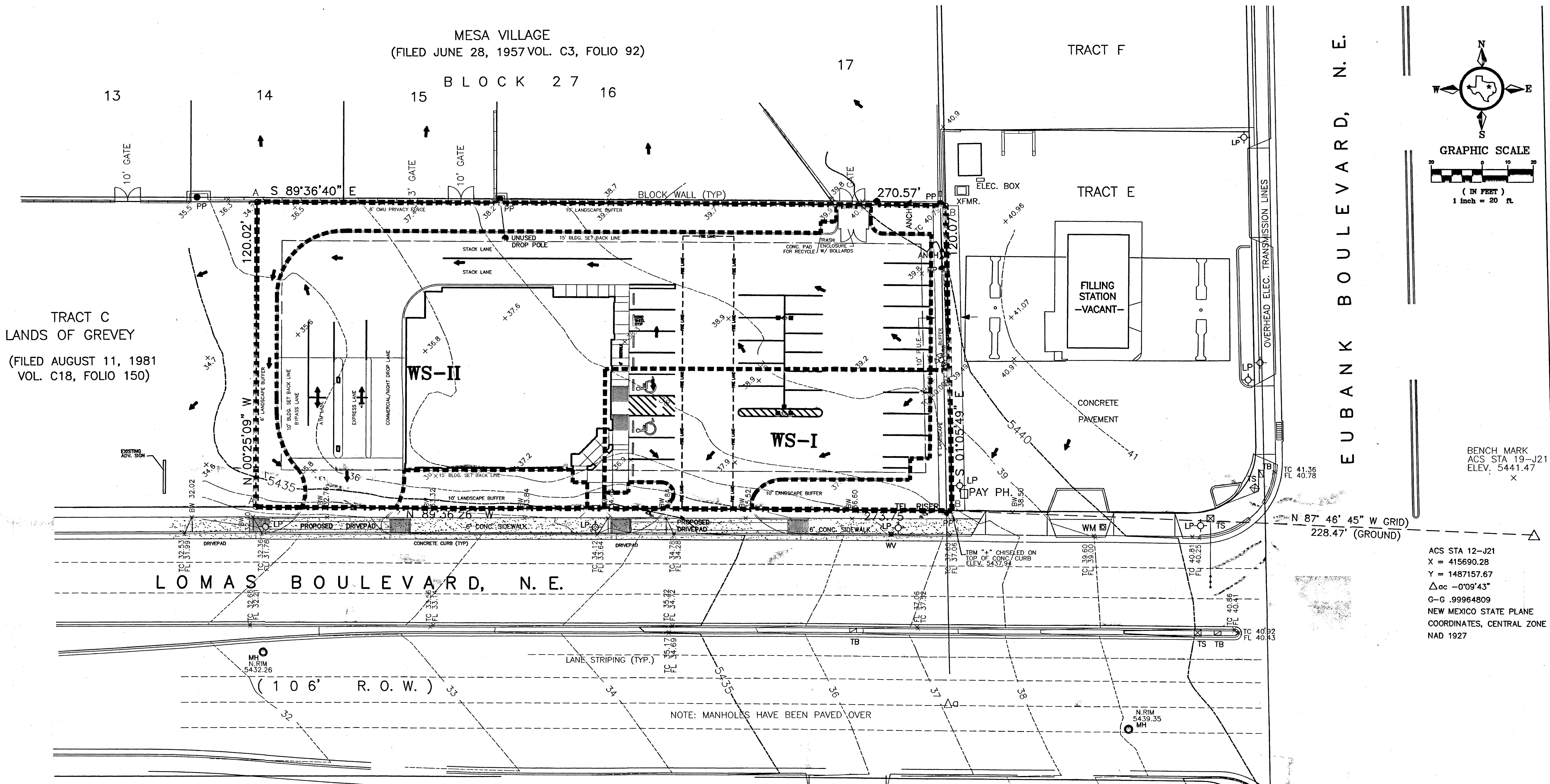


KISTENMACHER ENGINEERING COMPANY, INC.
CONSULTING ENGINEERING
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(214) 234-0011

MESA VILLAGE
(FILED JUNE 28, 1957 VOL. C3, FOLIO 92)

13 14 15 16 BLOCK 27 17

TRACT C
LANDS OF GREVEY
(FILED AUGUST 11, 1981
VOL. C18, FOLIO 150)



BENCH MARK
ACS STA 19-J21
ELEV. 5441.47
X

ACS STA 12-J21
X = 415690.28
Y = 1487157.67
Δac -0°09'43"
G-G .99964809
NEW MEXICO STATE PLANE
COORDINATES, CENTRAL ZONE
NAD 1927

BASIS OF ELEVATIONS:

BASIS OF ELEVATIONS: ACS STATION 19-J21
1-3/4" ALUMINUM DISK, STAMPED "ACS BM, 19-J21", EPOXIED TO THE TOP
OF CURB AT BACK OF WALK, LOCATED IN THE NORTHEAST QUADRANT OF EUBANK
BOULEVARD, N.E. AND LOMAS BOULEVARD, N.E.
ELEV. 5441.47 (NAVD 88)
TBM "+" CHISELED ON TOP OF CONCRETE CURB AT SE PROPERTY CORNER
ELEV. 5437.94

WATERSHED DESIGNATION	AREA, (ACRES)	TIME OF CONCENTRATION (MIN.)	RAINFALL INTENSITY, IN. / HR	C	100-YR Q (CFS)
WS-I PERVIOUS	0.04	12	5.61	0.52	0.12
WS-I IMPERVIOUS	0.14	12	5.61	0.94	0.74
WS-II PERVIOUS	0.13	12	5.61	0.52	0.38
WS-II IMPERVIOUS	0.45	12	5.61	0.94	2.37

LEGEND:

- WV WATER VALVE
- WM WATER METER
- MH SANITARY SEWER MANHOLE
- FH FIRE HYDRANT
- PP POWER POLE
- ANCH ANCHOR
- LP LIGHT POLE
- TEL. TELEPHONE RISER
- TS TRAFFIC SIGNAL
- TB TRAFFIC CONTROL BOX
- SPOT ELEVATION
UNLESS OTHERWISE INDICATED, SPOT
ELEVATIONS ARE TO NATURAL GRADE
- TC TOP OF CURB / CONCRETE
- FL FLOWLINE
- BW BACK OF WALK
- CHAIN LINK FENCE
- CONCRETE BLOCK WALL
- OVERHEAD POWER LINE
- WATERSHED BOUNDARY
- WS-I WATERSHED AREA

FLOOD INFORMATION:

THIS PROPERTY DOES LIE IN AN AREA COVERED BY A FORMAL F.E.M.A. FLOOD STUDY.
PROPERTY LIES WITHIN ZONE "X" (No Flood Hazard) AND IS NOT SUBJECT TO 100-YEAR FLOOD HAZARDS.
(NOTE: LOMAS BOULEVARD FLOODS ADJACENT TO THIS PROPERTY)
REFERENCE: FLOOD INSURANCE RATE MAP, ALBUQUERQUE, NEW MEXICO PANEL 350002 0358 F
EFFECTIVE DATE: NOVEMBER 19, 2003.

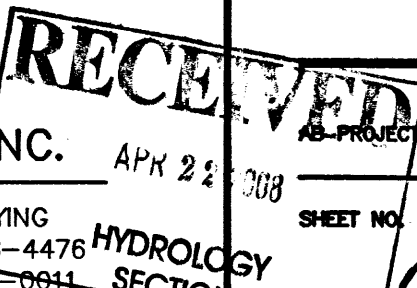
AREA:
32665.59 SQ. FT.
0.7499 ACRE

DESCRIPTION:

TRACT LETTERED "D", IN BLOCK NUMBERED TWENTY-SEVEN (27), OF MESA
VILLAGE, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED
IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON
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8330 Meadow Road, Suite 200 Dallas, Texas 75231
Phone: 1-866-363-8515 Fax: (214) 363-8513

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NEW MEXICO CENTRAL
CREDIT UNION
ALBUQUERQUE NEW MEXICO

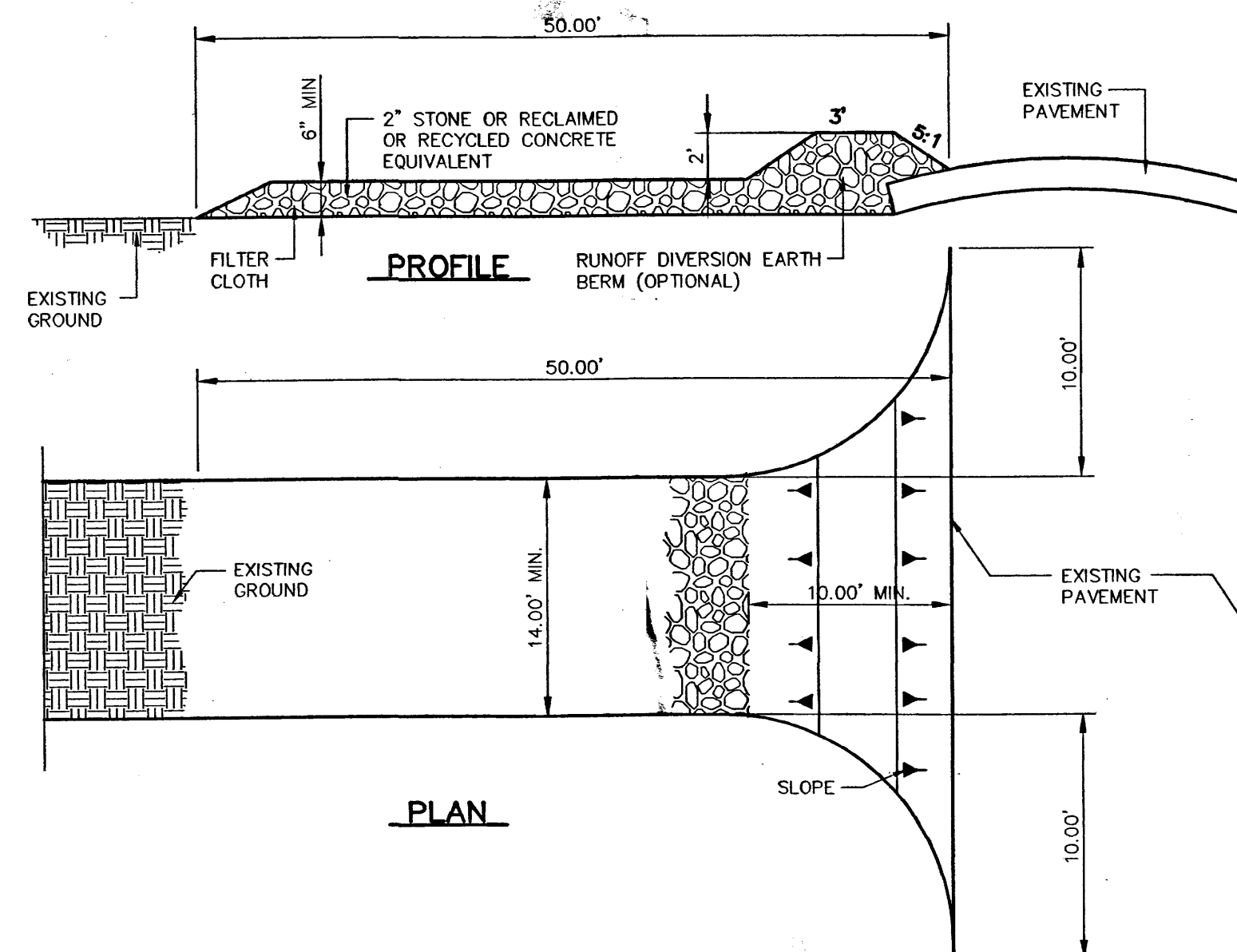
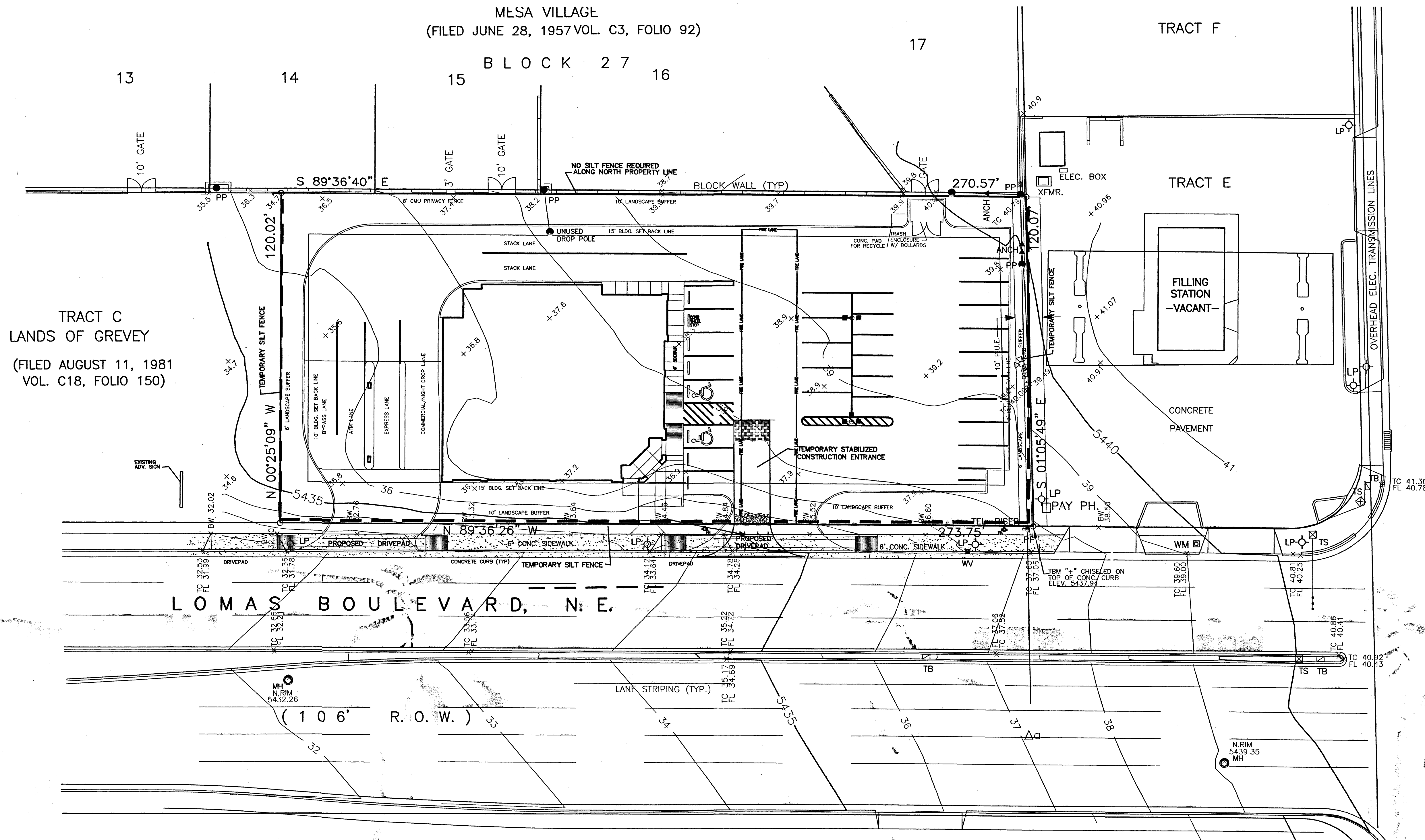
AB ARCHITECTS, INC.
6114 FARINGTON
ROWLETT, TX
Phone: 214-923-6136
Fax: 214-607-0299
abarch-b@comcast.net

ARCHITECT: NEAL B. BRASWELL
REGISTRATION NUMBER: 16288

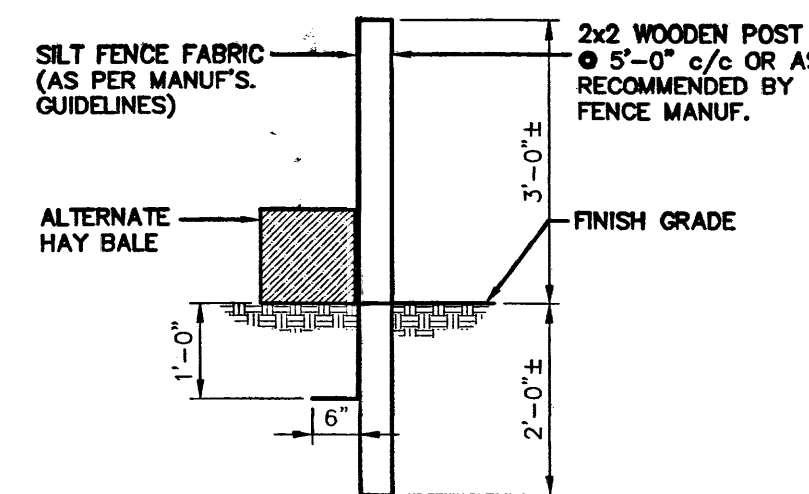
DATE	ISSUED FOR
10.5.07	REVIEW
10.2.07	REVIEW
10.7.07	REVIEW
10.19.07	REVIEW
4.16.08	REVIEW
4.21.08	REVIEW

DRAINAGE
PLAN

RECEIVED
NO. 1307
SHEET NO. C-2



STABILIZED CONSTRUCTION ENTRANCE
Dwg Name: STACE.dwg
SCALE: NOT TO SCALE



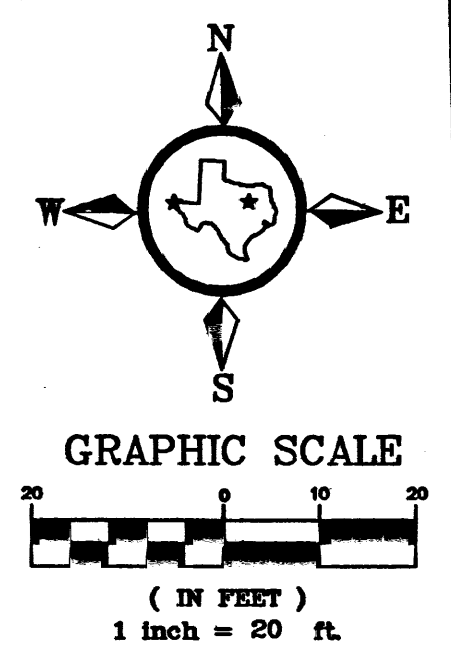
SILT FENCE DETAIL
Dwg Name: sifgfd.dwg
SCALE: 1/2" = 1'-0"

DESCRIPTION:
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DALLAS, TEXAS 75206 • (214) 234-1011



BENCH MARK
ACS STA 19-J21
ELEV. 5441.47
X

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8330 Meadow Road, Suite 200 Dallas, Texas 75231
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NEW BRANCH FACILITY FOR
NEW MEXICO CENTRAL CREDIT UNION
ALBUQUERQUE NEW MEXICO

AB ARCHITECTS, INC.
6114 FARINGDON
ROWLETT, TX
Phone: 214-923-6136
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abarch-b@comcast.net

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11.2.07	REVIEW
11.7.07	REVIEW
11.19.07	REVIEW
4.16.08	REVIEW
4.21.08	REVIEW

STORMWATER POLLUTION PREVENTION PLAN

AB PROJECT NO. 1307

RECEIVED

APR 22 2008

HYDROLOGY SECTION

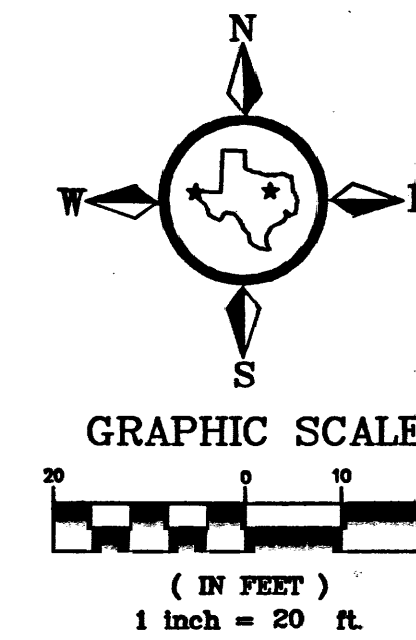
MESA VILLAGE
(FILED JUNE 28, 1957 VOL. C3, FOLIO 92)

BLOCK 27

17

TRACT F

TRACT C
LANDS OF GREVEY
(FILED AUGUST 11, 1981
VOL. C18, FOLIO 150)



EUBANK BOULEVARD, N. E.

LOMAS BOULEVARD, N. E.

(106' R.O.W.)

NOTE: MANHOLES HAVE BEEN PAVED OVER

LEGEND:

- | | | |
|--------|---|--|
| ⊗ WV | WATER VALVE | SPOT ELEVATION |
| ⊗ WM | WATER METER | UNLESS OTHERWISE INDICATED, SPOT ELEVATIONS ARE TO NATURAL GRADE |
| ⊗ MH | SANITARY SEWER MANHOLE | |
| ⊕ FH | FIRE HYDRANT | TC TOP OF CURB / CONCRETE |
| ● PP | POWER POLE | FL FLOWLINE |
| ▲ ANCH | ANCHOR | BW BACK OF WALK |
| ⊙ LP | LIGHT POLE | CHAIN LINK FENCE |
| ⊠ TEL | TELEPHONE RISER | CONCRETE BLOCK WALL |
| ⊠ TS | TRAFFIC SIGNAL | OVERHEAD POWER LINE |
| ⊠ TB | TRAFFIC CONTROL BOX | |
| —S— | PROPOSED SEWER LINE | |
| —W— | PROPOSED WATER LINE | |
| —C.D.— | PROPOSED TWO-WAY CLEANOUT | |
| —UE— | PROPOSED UNDERGROUND ELECTRIC/TELEPHONE CABLE | |
| —G— | PROPOSED GAS LINE | |

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HYDROLOGY
SECTION

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AB ARCHITECTS, Inc.
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ROWLETT, TX
Phone: 214-923-6136
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abarch-b@comcast.net

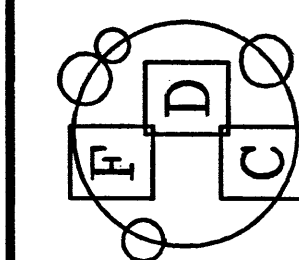
ARCHITECT: NEAL B. BRASWELL
REGISTRATION NUMBER: 16288

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11.2.07	REVIEW
11.7.07	REVIEW
11.19.07	REVIEW
4.16.08	REVIEW
4.21.08	REVIEW

UTILITY
PLAN

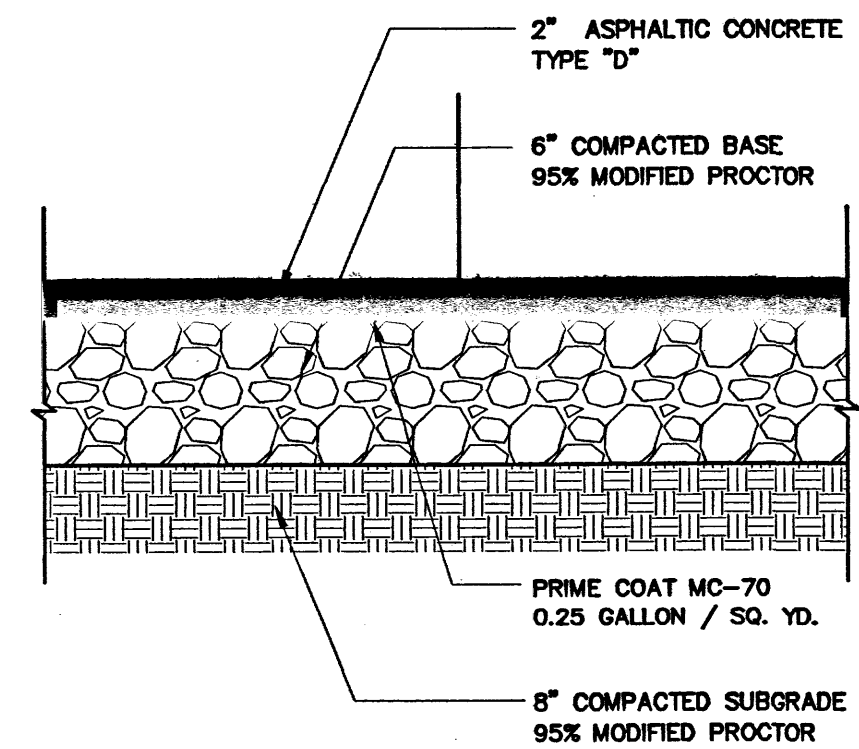
AB PROJECT NO. 1307

FINANCIAL DESIGN
& CONSTRUCTION, INC.

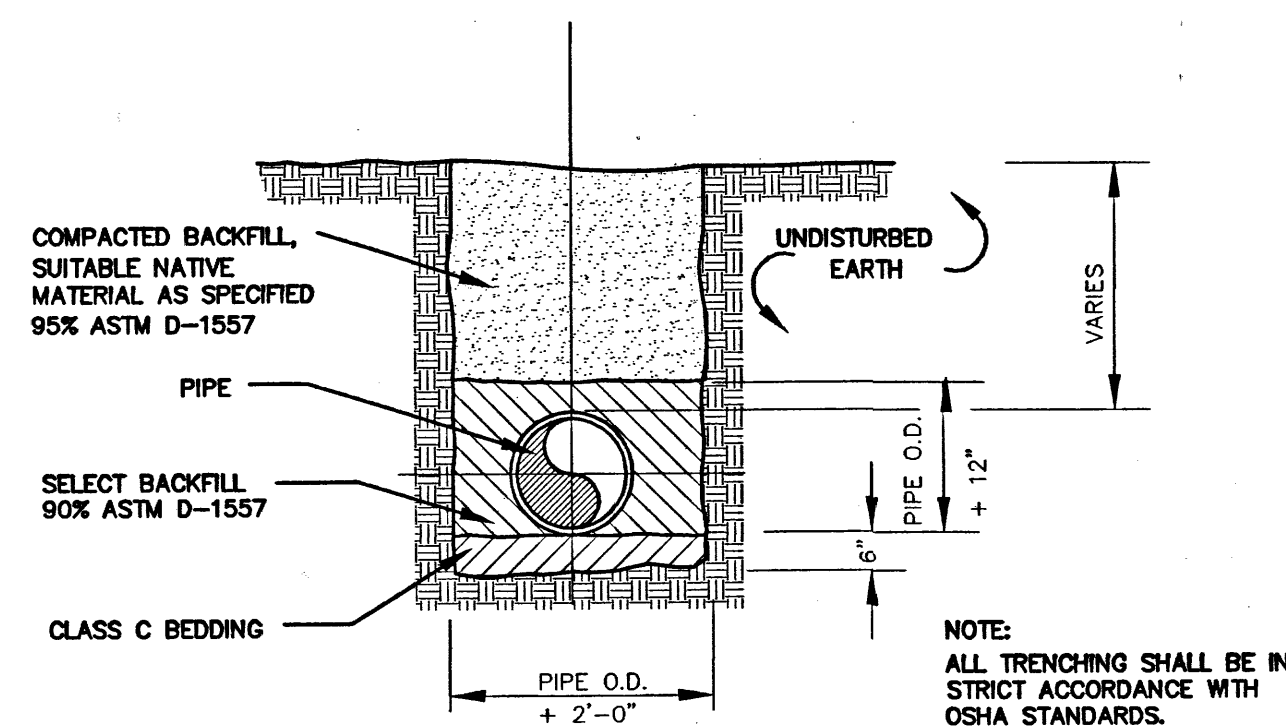


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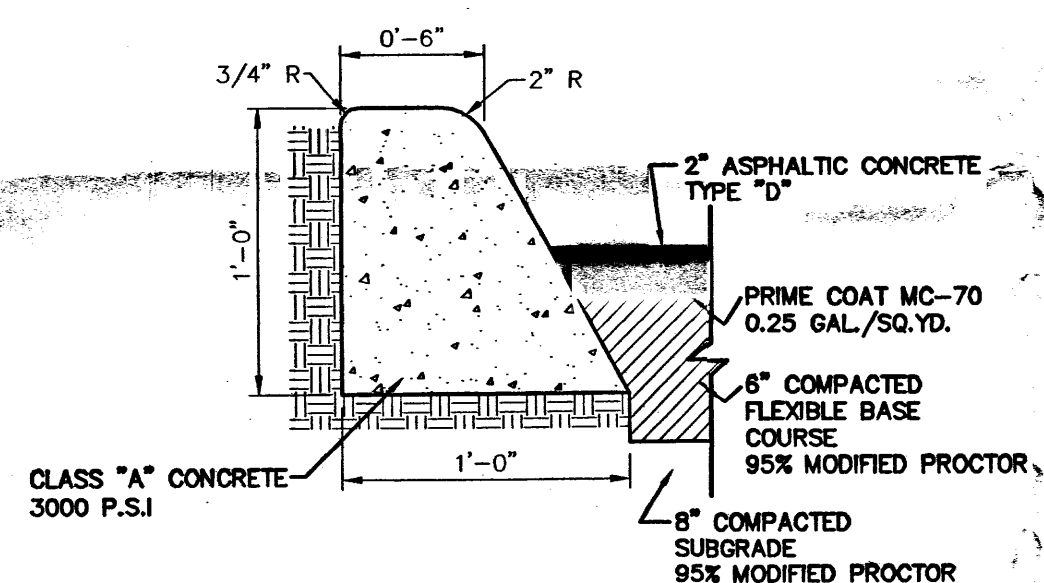
C-4



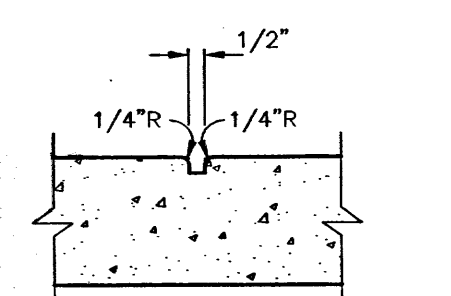
ASPHALT PAVING SECTION
SCALE: 1 1/2" = 1'



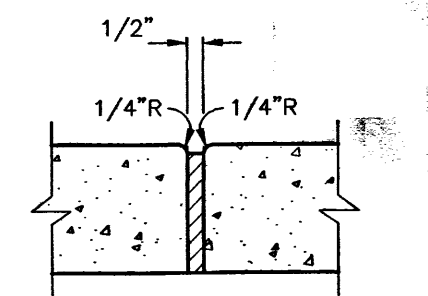
TYPICAL TRENCH AND BACKFILL DETAIL
SCALE: NOT TO SCALE



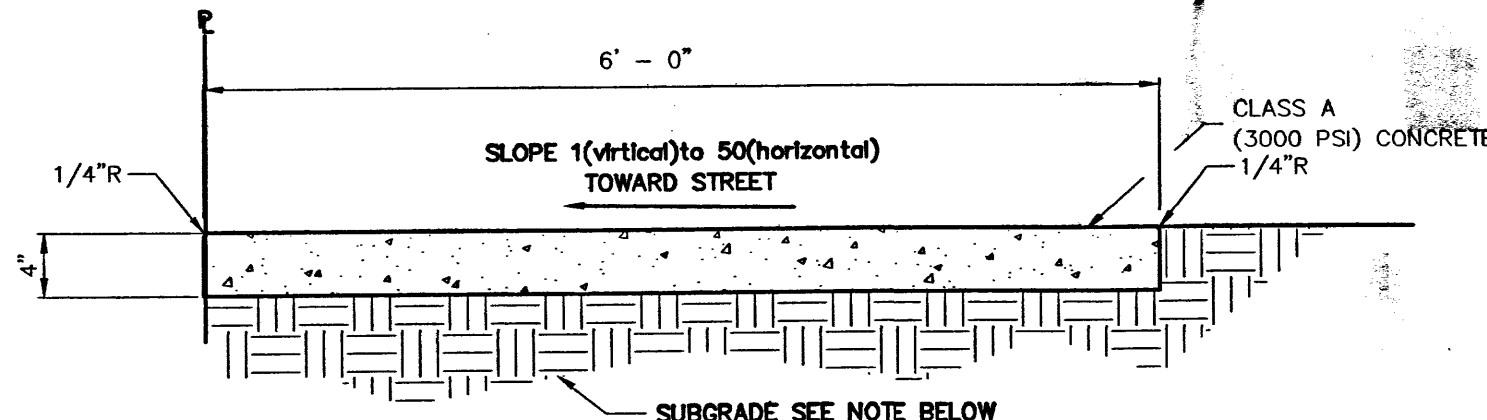
STANDARD CONCRETE CURB
SCALE: 1 1/2" = 1'



CONTRACTION JOINT
SCALE: NOT TO SCALE

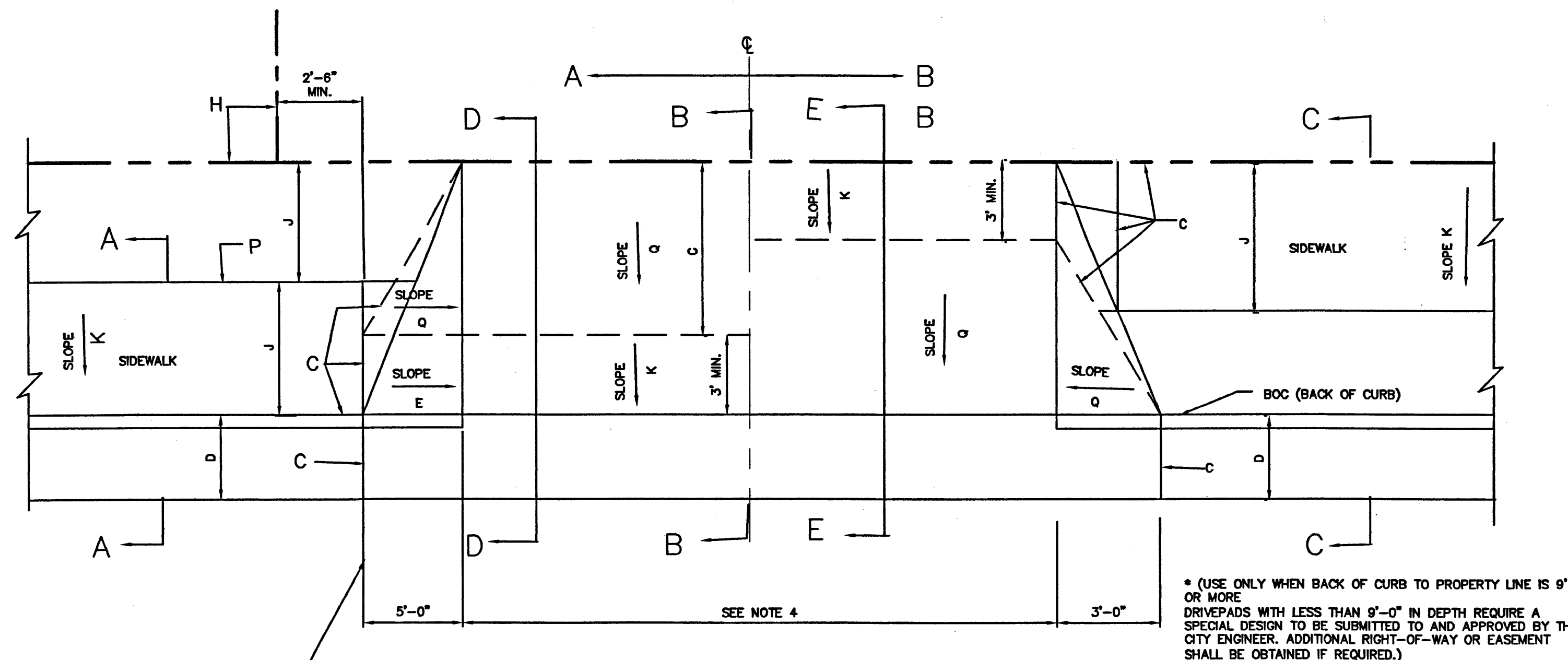


EXPANSION JOINT
SCALE: NOT TO SCALE

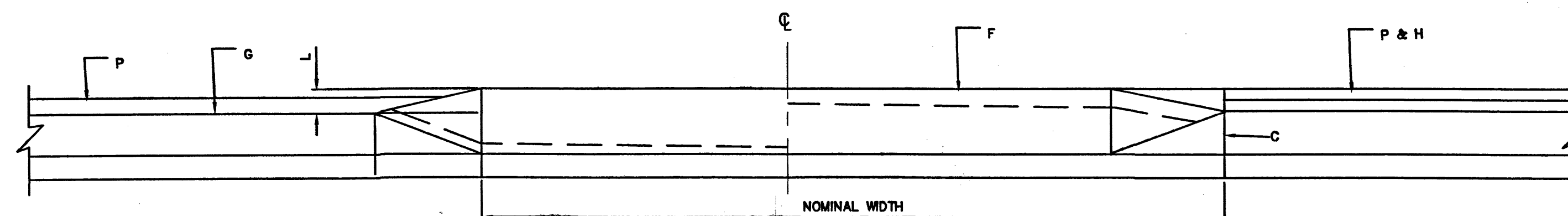


SIDEWALK DETAIL
SCALE: 1" = 1'

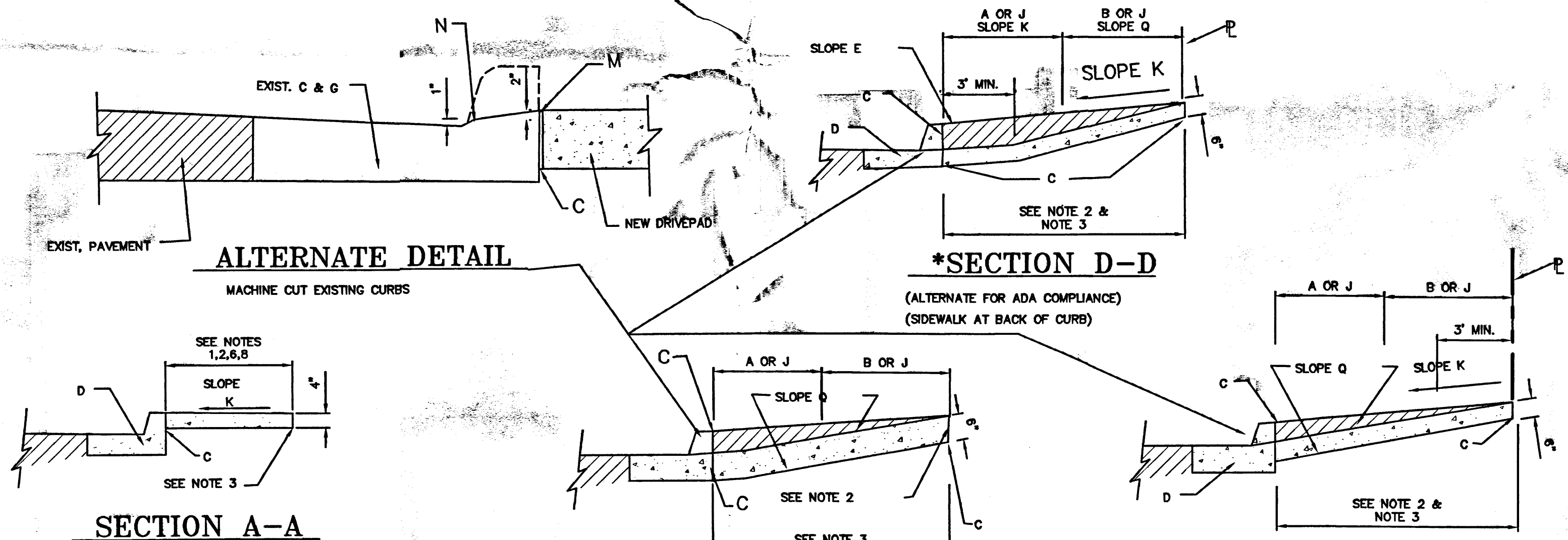
- GENERAL NOTES:**
1. ALL EXPANSION JOINTS SHALL BE PREFORMED BITUMINOUS FIBER 1/2" THICK AASHTO M-33.
 2. ALL CONCRETE TO BE 3000 P.S.I., CLASS "A".
 3. SCORED CONTRACTION JOINTS TO BE PLACED IN ALL SIDEWALKS AT 8'-0" C/C.
 4. 1/2" EXPANSION JOINTS TO BE PLACED IN ALL SIDEWALKS AT 20'-0".
 5. SUBGRADE UNDER SIDEWALKS TO BE COMPACTED IN ACCORDANCE WITH SECTION 301.
 6. COMPACTION TESTS WHERE REQUIRED BY CITY ENGINEER MUST BE PAID FOR BY DEVELOPER.
 7. SIDEWALK WIDTHS SHALL BE IN ACCORDANCE WITH CHAPTER 23 OF THE DEVELOPMENT PROCESS MANUAL.
 8. DEVIATION FROM CITY OF ALBUQUERQUE STANDARDS SHALL BE SUMITTED TO THE TRAFFIC ENGINEERING FOR APPROVAL PRIOR TO CONSTRUCTION.



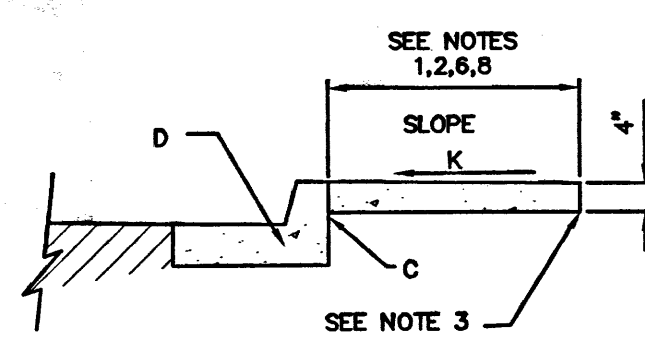
PLAN



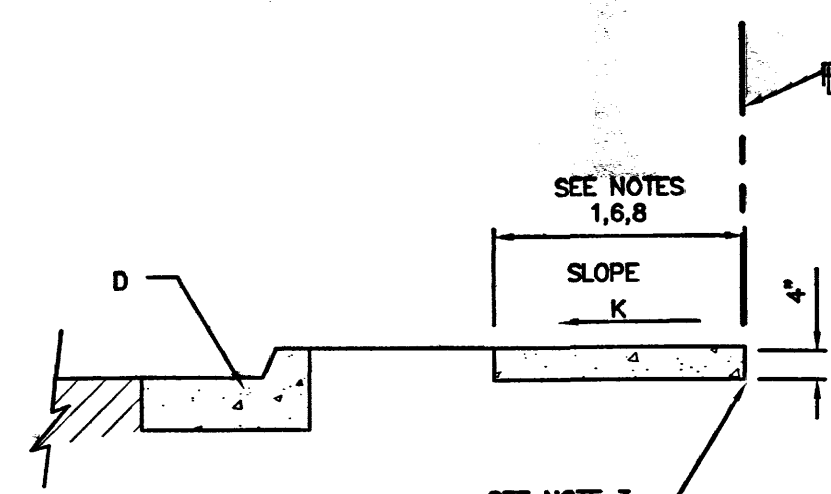
ELEVATION



ALTERNATE DETAIL
MACHINE CUT EXISTING CURBS

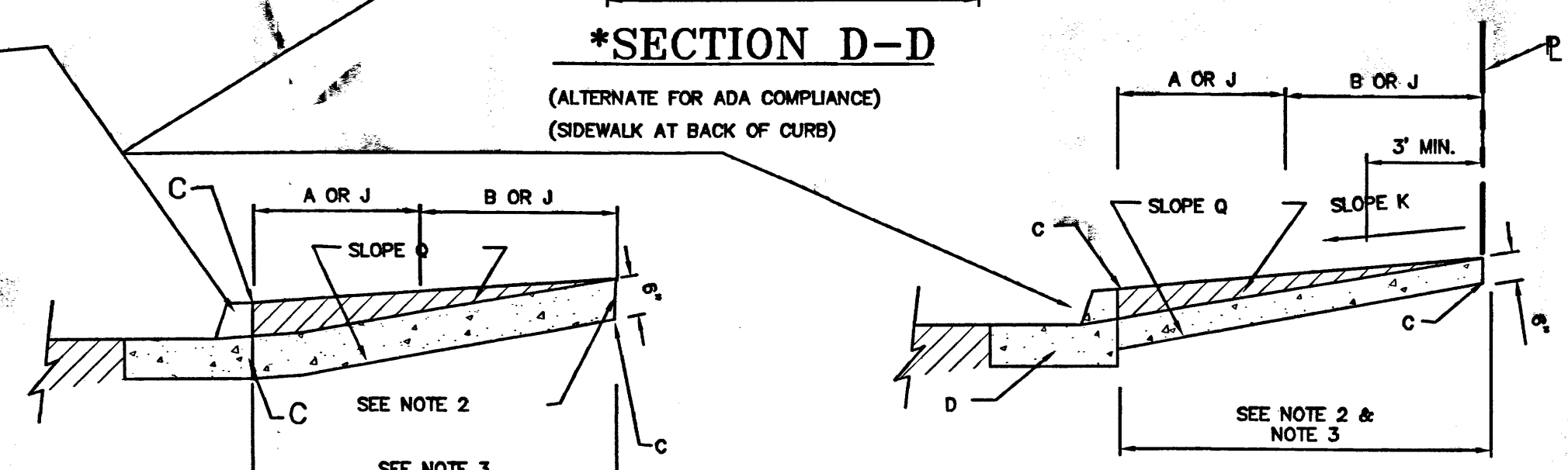


SECTION A-A

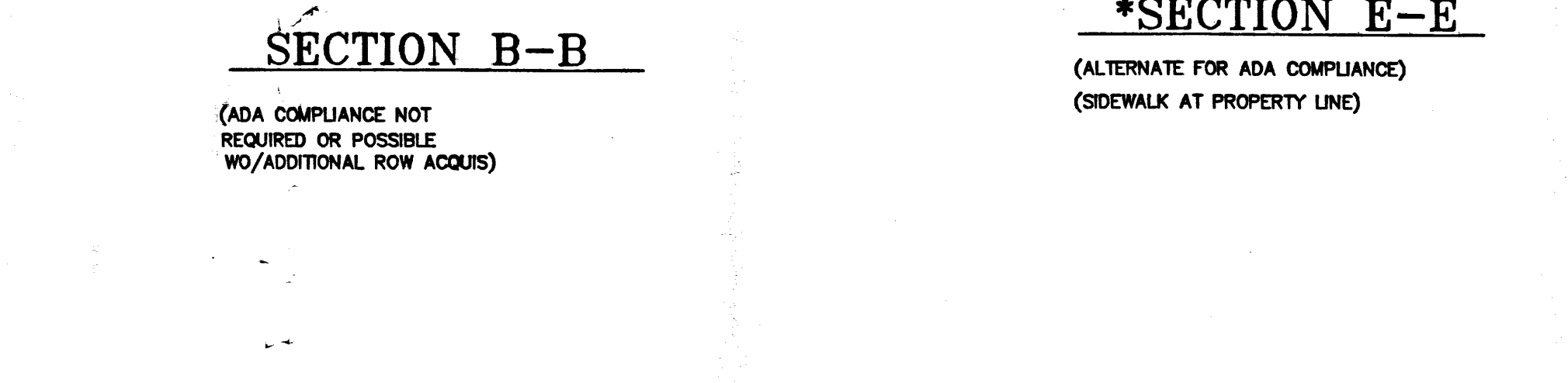


SECTION B-B

SECTION C-C



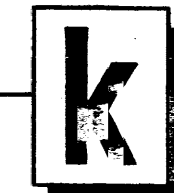
SECTION D-D
(ALTERNATE FOR ADA COMPLIANCE)
(SIDEWALK AT BACK OF CURB)



SECTION E-E
(ALTERNATE FOR ADA COMPLIANCE)
(SIDEWALK AT PROPERTY LINE)

DRIVEPAD DETAILS
NOT TO SCALE

- GENERAL NOTES**
1. DEVIATIONS FROM STANDARD SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
 2. REQUEST FOR SIDEWALK VARIATIONS SHALL BE SUBMITTED TO THE DEVELOPMENT REVIEW BOARD.
 3. USE 1/2" EXP. JT. WHERE SIDEWALK OR DRIVEPAD ABUTS BLDGS., FENCES, WALLS OR OTHER IMMOVABLE OBJECTS.
 4. ALL DRIVEPADS SHALL BE A MIN. THICKNESS OF 6" AND SHALL BE CONSTRUCTED FROM BACK OF CURB TO P/L.
 5. DRIVEPADS WIDER THAN 18' (NOMINAL) SHALL HAVE A 1/2" EXP. JT. AT MIDPOINT. DRIVEPADS WIDER THAN 36' SHALL HAVE 2 OR MORE 1/2" EXP. JTS. EQUALLY SPACED. MAX. SPACING IS 18' APART.
 6. SIDEWALK AT THE BACK OF CURB SHALL BE USED ONLY WHEN VARIANCE IS APPROVED.
 7. FOR SIDEWALK WIDTH, SEE CHAPTER 23 THE DEVELOPMENT PROCESS MANUAL.
 8. SUBGRADE UNDER SIDEWALK & DRIVEPAD SHALL BE COMPACTED AS PER SECTION 301.
 9. ADA-AMERICANS WITH DISABILITIES ACT.
- CONSTRUCTION NOTES**
- A. CURB TYPE SIDEWALK.
 - B. OFFSET SIDEWALK.
 - C. 1/2" EXPANSION JOINT ADJACENT TO FIELD CONDITIONS ON REPLACEMENT WORK.
 - D. CURB AND GUTTER.
 - E. SLOPE TO BE ADJUSTED TO PROVIDE A UNIFORM TRANSITION BETWEEN SIDEWALK AND DRIVEPAD (NOT TO EXCEED 1 (VERTICAL) TO 10 (HORIZONTAL)).
 - F. TOP OF DRIVEPAD.
 - G. TOP OF CURB.
 - H. PROPERTY LINE.
 - I. VARIABLE WIDTH.
 - J. SLOPE 1 (VERTICAL) TO 50 (HORIZONTAL).
 - K. THE FINISH GRADE ELEVATION DIFFERENCE BETWEEN TOP OF DRIVEPAD AT PROPERTY LINE AND TOP OF CURB AS DETERMINED BY A SLOPE OF 1 (VERTICAL) TO 50 (HORIZONTAL) FROM TOP OF CURB TO TOP OF DRIVEPAD, AND ANY DEVIATION FROM THIS SLOPE MUST BE APPROVED BY THE CITY ENGINEER.
 - L. SAW CUT EXISTING CONCRETE FROM BACKSIDE OF CURB WITH SLOPE TOWARD FLOWLINE.
 - M. EXPOSED CUT EDGES SHALL BE GROUND SMOOTH/ ROUNDED TO REMOVE SHARP EDGE.
 - N. SLOPE REQUIRED TO MEET GIVEN OR SET BOUNDARY ELEVATIONS (PROPERTY LINE OR DOC. ETC.)



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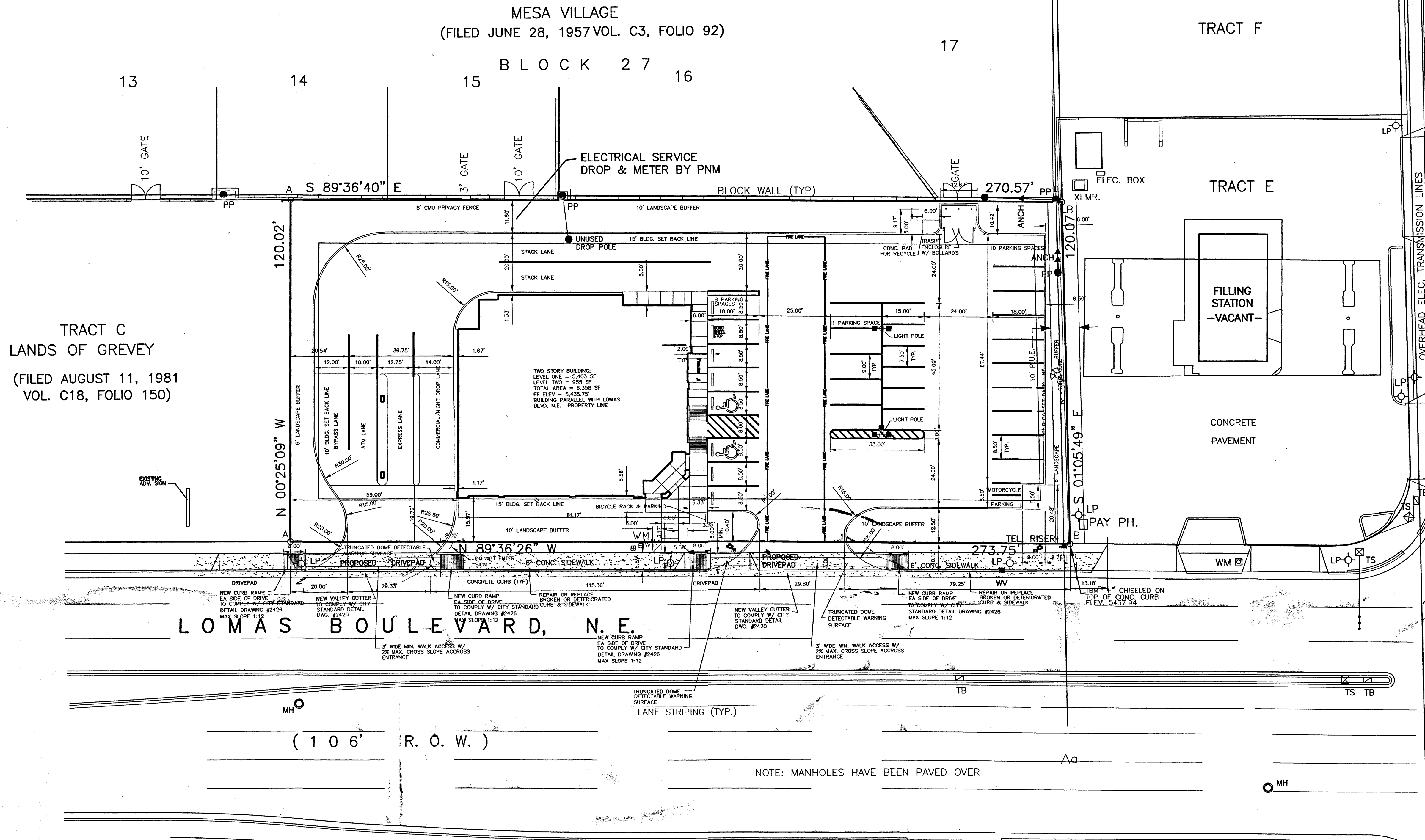
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4.21.08	REVIEW

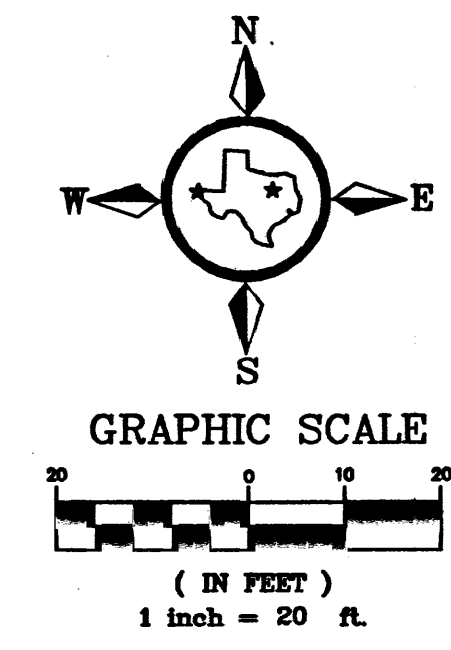
SITE DETAILS

AS PROJECT NO. **1307**

C-5



EUBANK BOULEVARD, N.E.



TRACT C
LANDS OF GREVEY
(FILED AUGUST 11, 1981
VOL. C18, FOLIO 150)

MESA VILLAGE
(FILED JUNE 28, 1957 VOL. C3, FOLIO 92)

TRACT F

LOMAS BOULEVARD, N.E.

NOTE: MANHOLES HAVE BEEN PAVED OVER

ADDRESS AND LEGAL DESCRIPTION:
10001 LOMAS BLVD., N.E.
TRACT 13, BLOCK 27, MESA VILLAGE EUBANK AND LOMAS BLVD. NW CORNER
SIZE OF SITE: 0.7499 ACRES
EXISTING ZONING: C-1
BUILDING SIZE: 6,358 SQUARE FEET
PARKING SPACES REQUIRED: 1 SPACE PER 300 SF. 21 SPACES REQUIRED. 28 PROVIDED.
(6 COMPACT SPACES @ 7.5' X 15', 5 SPACES @ 9.0' X 18', 16 SPACES @ 8.5' X 18', AND
2 HC SPACES @ 8.5' X 18') TWO MOTORCYCLE SPACES PROVIDED, BICYCLE RACK PROVIDED
ADJACENT TO ENTRY.

EXECUTIVE SUMMARY:
A. THE PROJECT IS LOCATED AT 10001 LOMAS BLVD., N.E., EAST OF UPTOWN AND NORTHEAST OF ALBUQUERQUE INTERNATIONAL AIRPORT. ZONE ATLAS NUMBER J-20.
B. THE DEVELOPMENT CONCEPT FOR THE SITE IS A NEW CREDIT UNION WITH DRIVE UP LANES.
C. TRAFFIC CIRCULATION IS INDICATED WITH ARROWS ON THE PLAN.
D. IMPACT ON THE ADJACENT SITE IS LOW. THE DEVELOPMENT SHOULD ENHANCE THE AREA AESTHETICS.
E. THE OWNER AND DESIGN ARCHITECT DID MEET WITH THE CITY AS PART OF A PRE-APPLICATION DISCUSSION. APPLICATION DATED 03-05-07. PA#07-182. THOSE PRESENT REPRESENTING THE CITY WERE CARMEN MARRONE, TONY LOYD AND ROBERT PIERSON. CARMEN SIGNED THE PRE-APPLICATION DISCUSSION DOCUMENT ON 03-17-07. NO TRAFFIC IMPACT STUDIES WERE REQUESTED.
F. NO VARIANCE IS REQUESTED.

LEGEND:

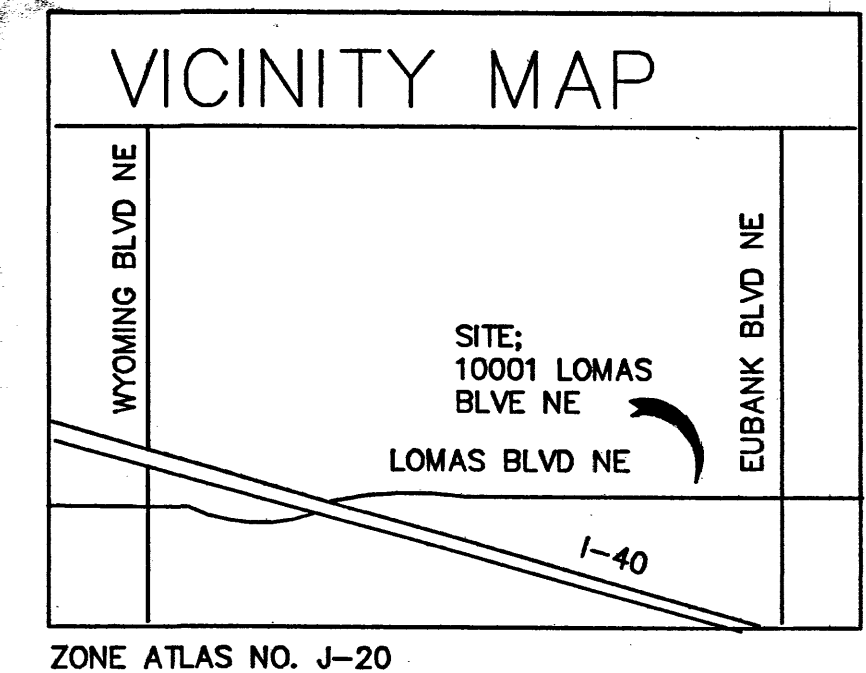
- WV WATER VALVE
- WM WATER METER
- MH SANITARY SEWER MANHOLE
- FH FIRE HYDRANT
- PP POWER POLE
- ANCH ANCHOR
- LP LIGHT POLE
- TEL TELEPHONE RISER
- TS TRAFFIC SIGNAL
- TB TRAFFIC CONTROL BOX
- SPOT ELEVATION
UNLESS OTHERWISE INDICATED, SPOT ELEVATIONS ARE TO NATURAL GRADE
- TC TOP OF CURB / CONCRETE
- FL FLOWLINE
- BW BACK OF WALK
- CHAIN LINK FENCE
- CONCRETE BLOCK WALL
- OVERHEAD POWER LINE

CURB RAMP CONSTRUCTION NOTES: (DESIGN ASSUMES A 6" HIGH CURB)

1. MAXIMUM SLOPE OF A CURB RAMP SYSTEM SHALL BE 1:12 (8.33%)
2. SLOPE AND CROSSLOPE OF A SIDE WALK LEADING INTO A CURB RAMP SYSTEM SHALL BE A MAXIMUM OF 1:50 (2%)
3. MAXIMUM SLOPE OF A HANDICAP ACCESSIBLE ROUTE ALONG A SIDEWALK LEADING INTO A CURB RAMP BEFORE IT MUST BE CONSIDERED A RAMP IS 1:20 (5%)
4. ALL SLOPED SURFACES AT CURB RAMP SYSTEMS MUST HAVE A 'SIGNIFICANT COLOR CONTRAST' FOR THE SEEING IMPAIRED; THEREFORE, ALL SUCH SLOPES MUST BE STAINED BLACK OR PAINTED TO CONTRAST THE ADJACENT 'FLAT SIDEWALK'.
5. SAW CUT GROOVES AT LEAST 1/8" WIDE X 1/8" DEEP @ 2" O.C. MAX. GROOVES MUST BE PROVIDED PERPENDICULAR TO PATH OF TRAVEL. DETECTABLE UNDERFOOT FOR THE BLIND TO FEEL TEXTURE AND FOR WHEELCHAIR TRACTION. FURTHERMORE, ALL GROOVES MUST BE ARRANGED SO WATER WILL NOT ACCUMULATE.
6. DETECTABLE WARNING ON WALKING SURFACE SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER TO CENTER SPACING OF NOMINAL 2.35 INCHES AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.

DESCRIPTION:

TRACT LETTERED "D", IN BLOCK NUMBERED TWENTY-SEVEN (27), OF MESA VILLAGE, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON NOVEMBER 28, 2005, IN MAP BOOK 2005C, FOLIO 380.



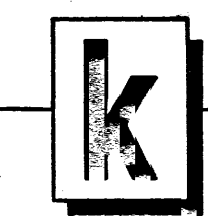
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8330 Meadow Road, Suite 200 Dallas, Texas 75231
Phone: 1-866-363-8515 Fax: (214) 363-8513

NEW BRANCH FACILITY FOR
NEW MEXICO CENTRAL CREDIT UNION
ALBUQUERQUE NEW MEXICO

AB ARCHITECTS, INC.
6114 FARINGTON
ROWLETT, TX
Phone: 214-923-6136
Fax: 214-607-0299
abarch-b@comcast.net

DATE	ISSUED FOR
10.5.07	REVIEW
11.2.07	REVIEW
11.7.07	REVIEW
11.19.07	REVIEW
4.16.08	REVIEW
4.21.08	REVIEW

TRAFFIC CIRCULATION PLAN

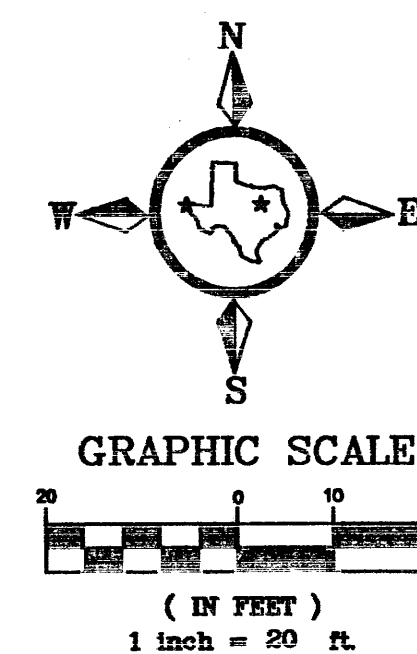
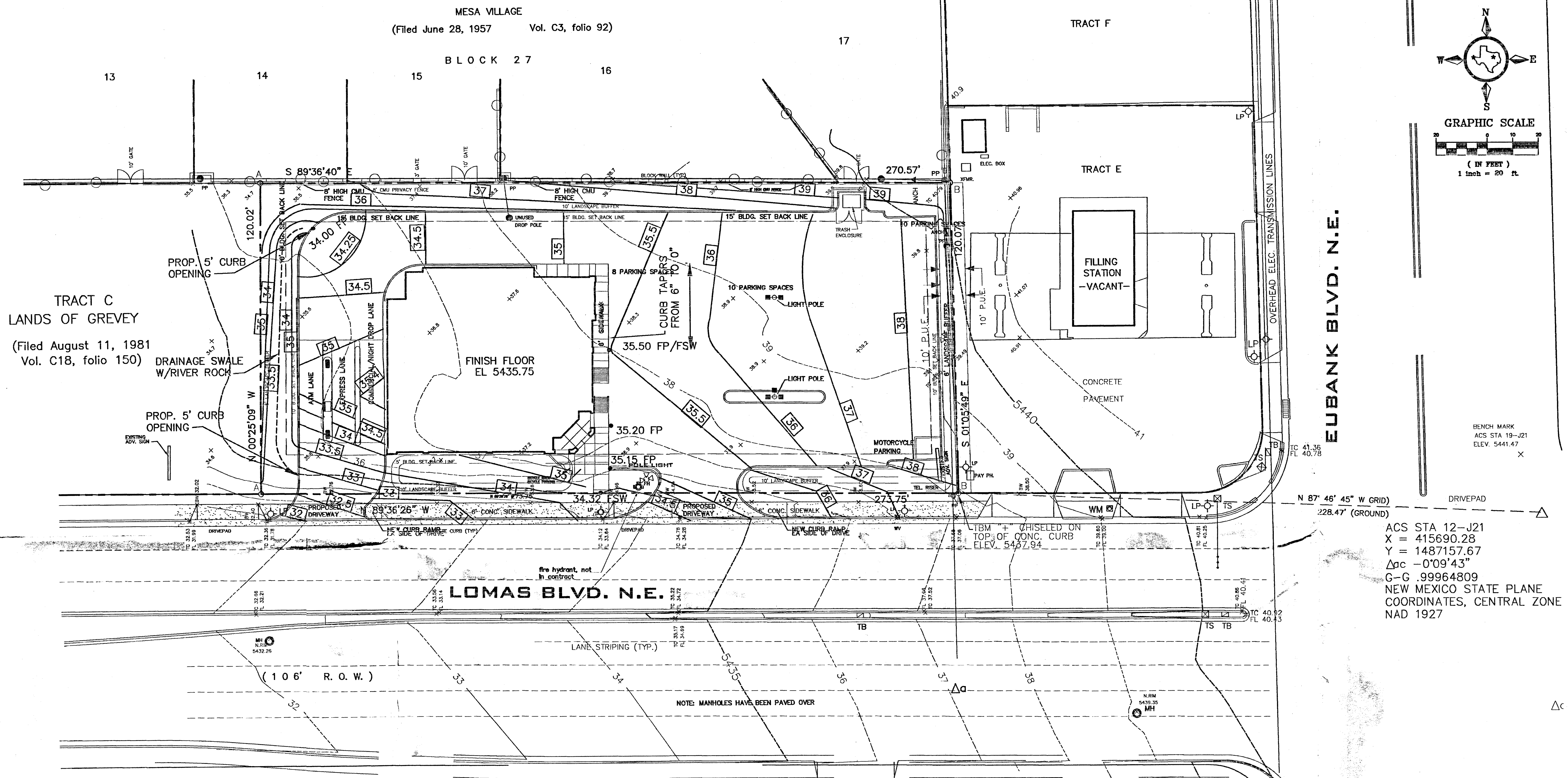


KISTENMACHER ENGINEERING COMPANY, INC.

CONSULTING ENGINEERING
1420 GERONIMO DRIVE, SUITE A2 • LAND PLANNING • SURVEYING
6336 GREENVILLE AVE, SUITE C • EL PASO, TEXAS 79925 • (915) 778-4476
DALLAS, TEXAS 75206 • (214) 234-0011

RECEIVED
APR 25 2008
SHEET NO. 1307
HYDROLOGY SECTION

C-6



EUBANK BLVD. N.E.

ACS STA 12-J21
X = 415690.28
Y = 1487157.67
Δpc -0'09'43"
G-G .99964809
NEW MEXICO STATE PLANE
COORDINATES, CENTRAL ZONE
NAD 1927

BASIS OF ELEVATIONS:

Basis of elevations: ACS STATION 19-J21
1-3/4" aluminum disk, stamped "ACS BM, 19-J21", epoxied to the top of curb at back of walk, located in the Northeast quadrant of Eubank Boulevard, N.E. and Lomas Boulevard, N.E.
ELEV. 5441.47 (NAVD 88)
TBM: -

SURVEY DATA
SURVEY INFORMATION BASED ON A SURVEY PREPARED BY WAYJOHN SURVEYING, INC.
DATED: FEBRUARY 17, 2007

NOTE:
SLOPES
PARKING LOTS REQUIRE A SLOPE BETWEEN 1% MIN. AND 8% MAX.
PARKING AREAS ADJACENT TO MAJOR CIRCULATION AISLES OR ADJACENT TO MAJOR ENTRANCES 1% MIN. AND 6% MAX.
HANDICAP PARKING 1% MIN. AND 2% MAX.

LEGEND:

- WV WATER VALVE
- WM WATER METER
- MH SANITARY SEWER MANHOLE
- FH FIRE HYDRANT
- PP POWER POLE
- ANCH ANCHOR
- LP LIGHT POLE
- TEL TELEPHONE RISER
- TS TRAFFIC SIGNAL
- TB TRAFFIC CONTROL BOX
- SPOT ELEVATION
UNLESS OTHERWISE INDICATED, SPOT ELEVATIONS ARE TO NATURAL GRADE
- TOP OF CURB / CONCRETE
- FLOWLINE
- BACK OF WALK
- CHAIN LINK FENCE
- CONCRETE BLOCK WALL
- OVERHEAD POWER LINE
- PROPOSED CONTOUR LINE
- FSW FINISH TOP OF SIDEWALK
- FP FINISH TOP OF PAVING

BENCH MARK ACS STA 19-J21
1-3/4" Aluminum disk epoxied to top of curb, NE quadrant of Lomas Blvd. & Eubank Blvd, NE
ELEV. 5441.47
TBM "+" Chiseled on top of concrete curb at SE property corner
ELEV. 5437.94

FLOOD INFORMATION:

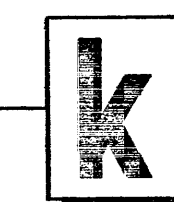
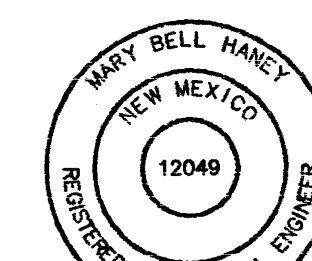
THIS PROPERTY DOES LIE IN AN AREA COVERED BY A FORMAL F.E.M.A. FLOOD STUDY. PROPERTY LIES WITHIN ZONE "X" (No Flood Hazard) AND IS NOT SUBJECT TO 100-YEAR FLOOD HAZARDS. (NOTE: LOMAS BOULEVARD FLOODS ADJACENT TO THIS PROPERTY)
REFERENCE: FLOOD INSURANCE RATE MAP, ALBUQUERQUE, NEW MEXICO PANEL 350002 0358 F
EFFECTIVE DATE: NOVEMBER 19, 2003.

AREA:

32665.59 sq. ft.
0.7499 Acre

DESCRIPTION:

Tract lettered "D", in Block numbered Twenty-seven (27), of MESA VILLAGE, as the same is shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on November 28, 2005, in Map Book 2005C, folio 380.



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ROWLETT, TX
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Fax: 214-607-0299
abarch-b@comcast.net

ARCHITECT: NEAL B. BRASWELL
REGISTRATION NUMBER: 16268

DATE	ISSUED FOR
10.5.07	REVIEW
11.19.07	REVIEW
2.19.08	REVIEW

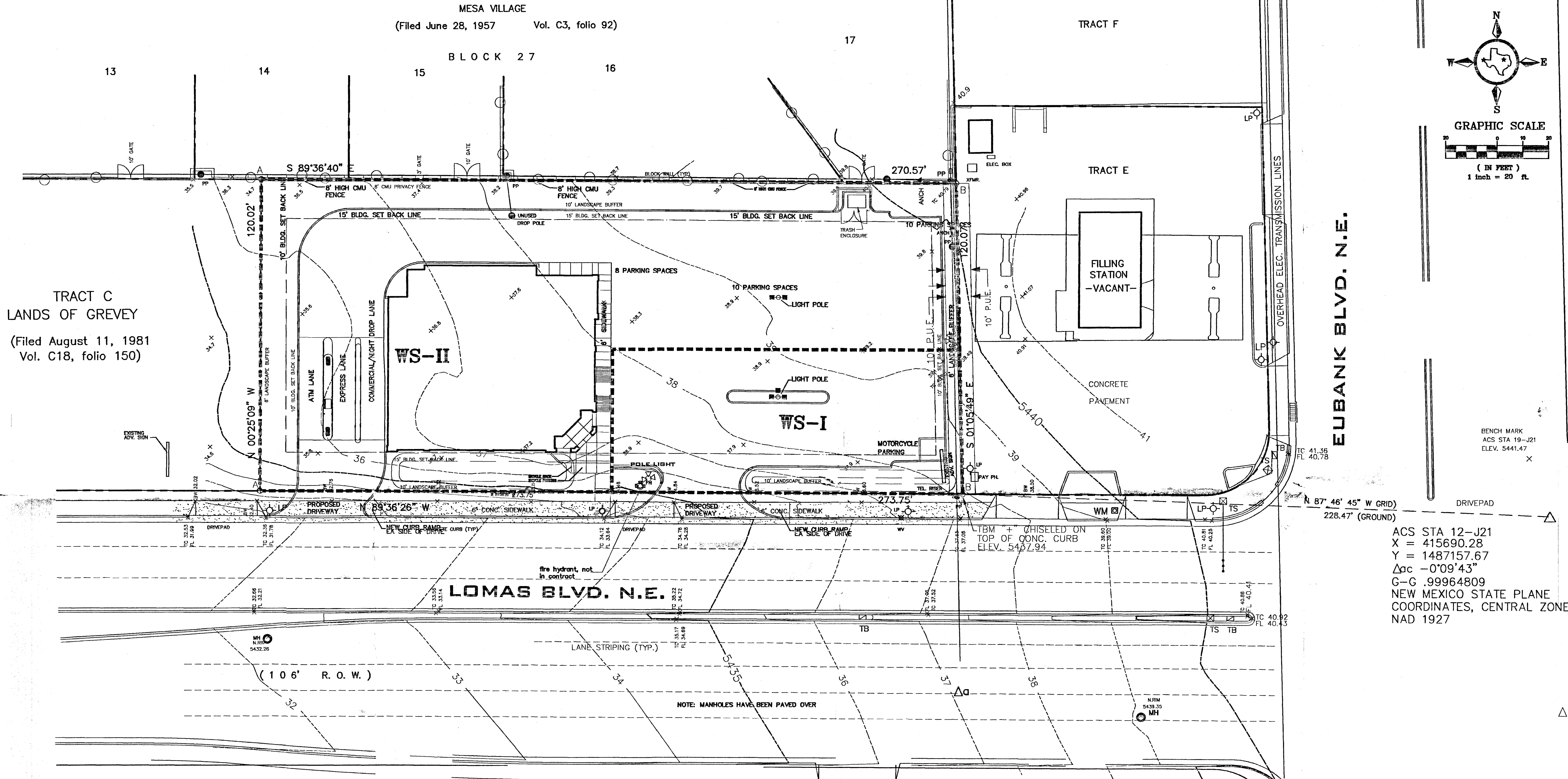
RECEIVED
MAR 17 2008
HYDROLOGY SECTION

GRADING PLAN

AS PROJECT NO. 1307

SHEET NO.

C-1



BASIS OF ELEVATIONS:

Basis of elevations: ACS STATION 19-J21
 1-3/4" aluminum disk, stamped "ACS BM, 19-J21", epoxied to the top of curb at back of walk, located in the Northeast quadrant of Eubank Boulevard, N.E. and Lomas Boulevard, N.E.
 ELEV. 5441.47 (NAVD 88)
 TBM: -

WATERSHED DESIGNATION	AREA, (ACRES)	TIME OF CONCENTRATION (MIN.)	RAINFALL INTENSITY, IN. / HR	C	100-YR Q (CFS)
WS-I	0.17	5	6.25	0.90	0.96
WS-II	0.58	5	6.25	0.90	3.26

LEGEND:

- WV WATER VALVE
- WM WATER METER
- MH SANITARY SEWER MANHOLE
- FH FIRE HYDRANT
- PP POWER POLE
- ANCH ANCHOR
- LP LIGHT POLE
- TEL. TELEPHONE RISER
- TS TRAFFIC SIGNAL
- TB TRAFFIC CONTROL BOX
- SPOT ELEVATION
- UNLESS OTHERWISE INDICATED, SPOT ELEVATIONS ARE TO NATURAL GRADE
- TC TOP OF CURB / CONCRETE
- FL FLOWLINE
- BW BACK OF WALK
- CHAIN LINK FENCE
- CONCRETE BLOCK WALL
- OVERHEAD POWER LINE
- WATERSHED BOUNDARY
- WS-I WATERSHED AREA

BENCH MARK ACS STA 19-J21
 1-3/4" Aluminum disk epoxied to top of curb, NE quadrant of Lomas Blvd. & Eubank Blvd, NE
 ELEV. 5441.47
 TBM "+" Chiseled on top of concrete curb at SE property corner
 ELEV. 5437.94

FLOOD INFORMATION:

THIS PROPERTY DOES LIE IN AN AREA COVERED BY A FORMAL F.E.M.A. FLOOD STUDY. PROPERTY LIES WITHIN ZONE "X" (No Flood Hazard) AND IS NOT SUBJECT TO 100-YEAR FLOOD HAZARDS.
 (NOTE: LOMAS BOULEVARD FLOODS ADJACENT TO THIS PROPERTY)
 REFERENCE: FLOOD INSURANCE RATE MAP, ALBUQUERQUE, NEW MEXICO PANEL 350002 0358 F
 EFFECTIVE DATE: NOVEMBER 19, 2003.

AREA:

32665.59 sq. ft.
 0.7499 Acre

DESCRIPTION:

Tract lettered "D", in Block numbered Twenty-seven (27), of MESA VILLAGE, as the same is shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on November 28, 2005, in Map Book 2005C, folio 380.



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 abarch-b@comcast.net

ARCHITECT: NEAL B. BRASWELL
 REGISTRATION NUMBER: 16258

DATE	ISSUED FOR
10.5.07	REVIEW
10.2.07	REVIEW

RECEIVED
 MAR 7 2008
 HYDROLOGY SECTION
 DRAINAGE PLAN

AB PROJECT NO. **1307**
 SHEET NO.

C-2