



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

June 7, 2002

Rick Bennett, Registered Architect
1104 Park Ave. S.W.
Albuquerque, NM 87102

Re: Certification Submittal for Final Building Certificate of Occupancy for
Kicks 66 Service & Convenience Store, [J-20 / D022]
1200 Wyoming Blvd. N.E.
Architect's Stamp Dated 06/05/02

Dear Mr. Bennett:

The TCL / Letter of Certification submitted on June 6, 2002 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to Building and Safety and final C.O. has been logged in by Vicki Chavez in the Building Safety Section downstairs.

On future submittals please complete the Drainage and Transportation Information Sheet *FULLY* ("Contractor" or "Surveyor" are not so critical) so pertinent parties needing to be contacted can be notified.

Sincerely,

Mike Zamora, Commercial Plan Checker
Development and Building Services
Planning Department

c: Hydrology file
Mike Zamora

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: KICKS 66 SERVICE & CONVENIENCE STORE ZONE MAP/DRG. FILE #: 120/10022
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 1, BLOCK 7, MESA VILLAGE SUBDIVISION
 CITY ADDRESS: 1200 WYOMING BLVD. NE

ENGINEERING FIRM: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

OWNER: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

ARCHITECT: PKK BENNETT ARCHITECTS
 ADDRESS: 1104 PARK AVE. SW
 CITY, STATE: ALB., NM

CONTACT: PKK BENNETT
 PHONE: 242-1859
 ZIP CODE: 87102

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: BROWN DEVELOPMENT
 ADDRESS: 1108 PARK AVE. SW
 CITY, STATE: ALB., NM

CONTACT: LARRY CHAVEZ
 PHONE: 842-1687
 ZIP CODE: 87102

CHECK TYPE OF SUBMITTAL:

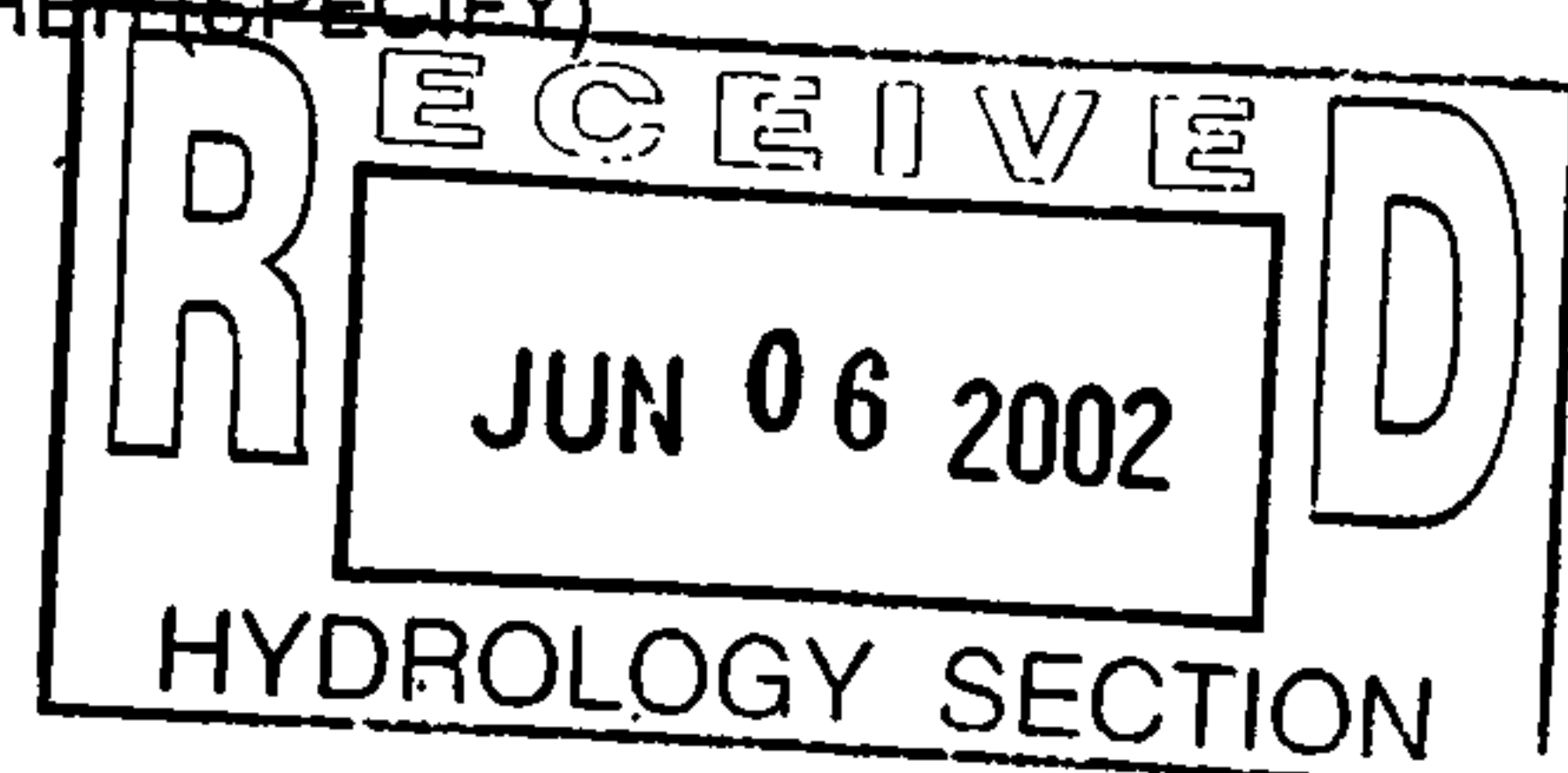
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 6/5/02 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

6/7/02 - C'd in GF to Vicki; 7/10 - Sent letter (dated 6/7); ✓ - logged in



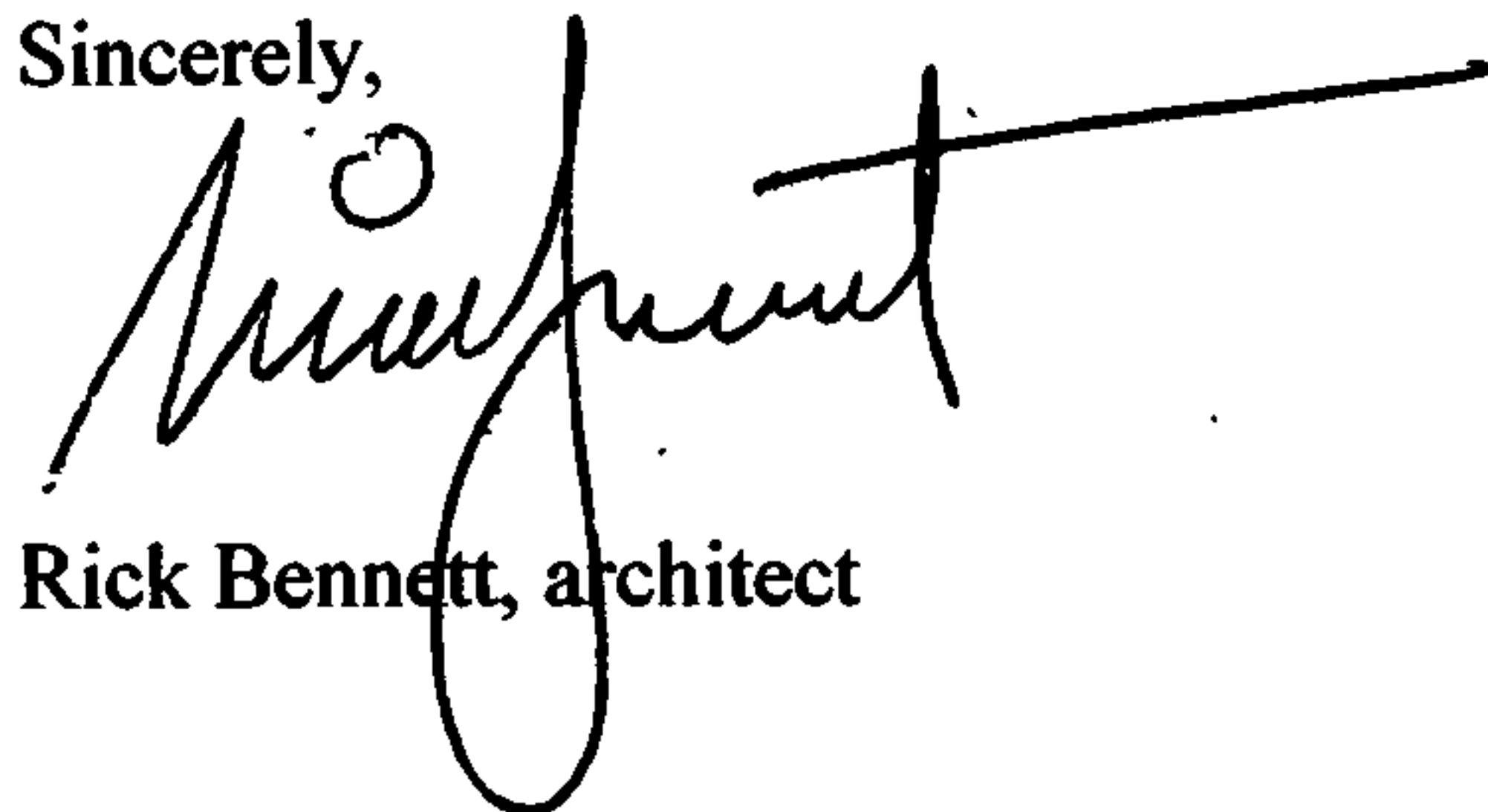
June 5, 2002

Traffic Engineer
City of Albuquerque
Planning Department
600 2nd Street NW
Albuquerque, NM 87102

Dear Sir,

I hereby provide Certification that the Kicks 66 Service and Convenience Store at 1200 Wyoming Blvd, NE has been built in substantial compliance with the enclosed approved Traffic Circulation Layout Plan, dated 4/17/02.

Sincerely,



Rick Bennett, architect





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 5, 2002

Dennis Lorenz, P.E.
Brasher & Lorenz
2201 San Pedro NE Building 1 Suite 220
Albuquerque, New Mexico 87110

RE: KICKS 66 (HERRERA GAS STATION) (J-20/D22)
(1200 Wyoming Blvd NE)
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
ENGINEERS STAMP DATED 2/21/2002
ENGINEERS CERTIFICATION DATED 5/31/2002

Dear Mr. Lorenz:

Based upon the information provided in your Engineers Certification submittal dated 6/3/2002, the above referenced site is approved for a Permanent Certificate of Occupancy.

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

Teresa A. Martin
Hydrology Plan Checker
Public Works Department
BLB

C: Vickie Chavez, COA
approval file
drainage file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: HERRERA KICKS 66 ZONE MAP/DRG. FILE #: J20-b22
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS 1,2,3,20,21 BLK 7 MESA VILLAGE
 CITY ADDRESS: 1200 WYOMING BLVD NE

ENGINEERING FIRM: BRASHER + LORENZ
 ADDRESS: 2201 SAN PEDRO NE
 CITY, STATE: ALBU NM

CONTACT: D. LORENZ
 PHONE: 888-6088
 ZIP CODE: 87110

OWNER: LOUIS HERRERA
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

ARCHITECT: PICK BENNETT
 ADDRESS: 1104 PARK SW
 CITY, STATE: ALBU NM

CONTACT: P. BENNETT
 PHONE: 242-1859
 ZIP CODE: 87102

SURVEYOR: JAKE ARGUELLAS
 ADDRESS: 2912 SAN YGNACIO SW
 CITY, STATE: _____

CONTACT: J. ARGUELLAS
 PHONE: 975-0098
 ZIP CODE: 87121

CONTRACTOR: BROWN DEV
 ADDRESS: 1104 PARK SW
 CITY, STATE: ALBU NM 87102

CONTACT: P. SANTILLANES
 PHONE: 242-1859
 ZIP CODE: 87102

CHECK TYPE OF SUBMITTAL:

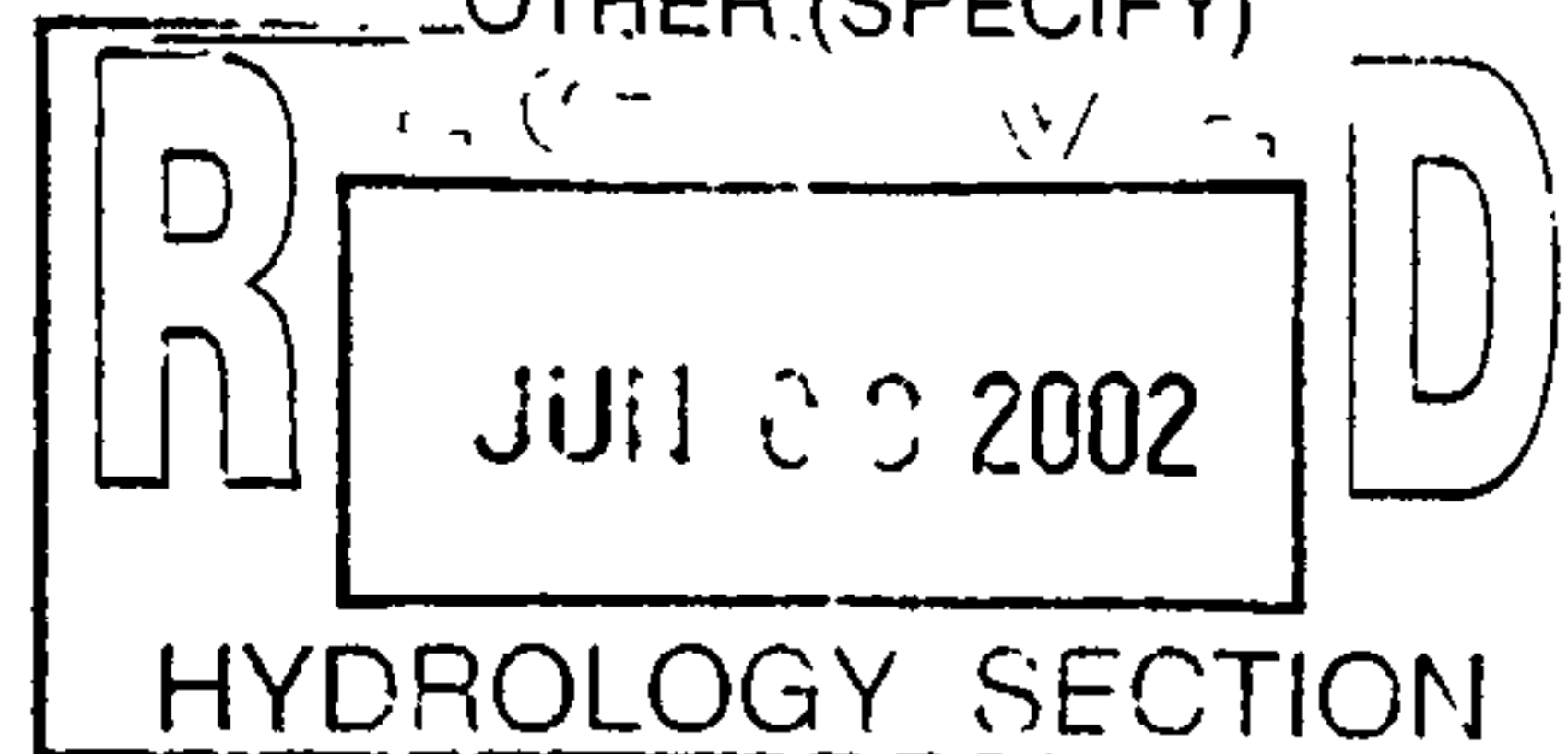
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
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- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
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- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 6.3.02 BY: DENNIS LORENZ

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 25, 2002

Dennis Lorenz, PE
Brasher & Lorenz Consulting Engineers
2201 San Pedro NE
Albuquerque, NM 87110

Re: Herrera Service Station Grading and Drainage Plan
Engineer's Stamp Dated 2-21-02, (J20/D22)

Dear Mr. Lorenz,


Based on your submittal dated 2-22-02, the above referenced plan is approved for Building Permit.


Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3984.

Sincerely,


Leslie Romero
Engineering Associate, PWD
Development and Building Services

c: Terri Martin, Hydrology 
File (2)

TRAINAGE INFORMATION SHEET
(REV. 11/01/2001)

PROJECT TITLE: HERRERA SERVICE STATION

DRB #: -

EPC#: -

ZONE MAP/DRG. FILE #:

J20/122

WORK ORDER#:

LEGAL DESCRIPTION:

CITY ADDRESS:

LOTS 1,2,3,20,21, BLK 7, MESA VILLAGE
1200 WYOMING NE

ENGINEERING FIRM:

BRASHER + LORENZ

ADDRESS:

2201 SAN PEDRO NE

CITY, STATE:

ABQ NM

CONTACT:

D. LORENZ

PHONE:

888-6088

ZIP CODE:

87110

OWNER:

LOUIS HERRERA

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

ARCHITECT:

RICK BENNETT

ADDRESS:

1104 PARK SW

CITY, STATE:

ABQ NM

CONTACT:

R. BENNETT

PHONE:

242-1859

ZIP CODE:

87102

SURVEYOR:

THOMAS PATRICK

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

CONTRACTOR:

UNKNOWN

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

CHECK TYPE OF SUBMITTAL:

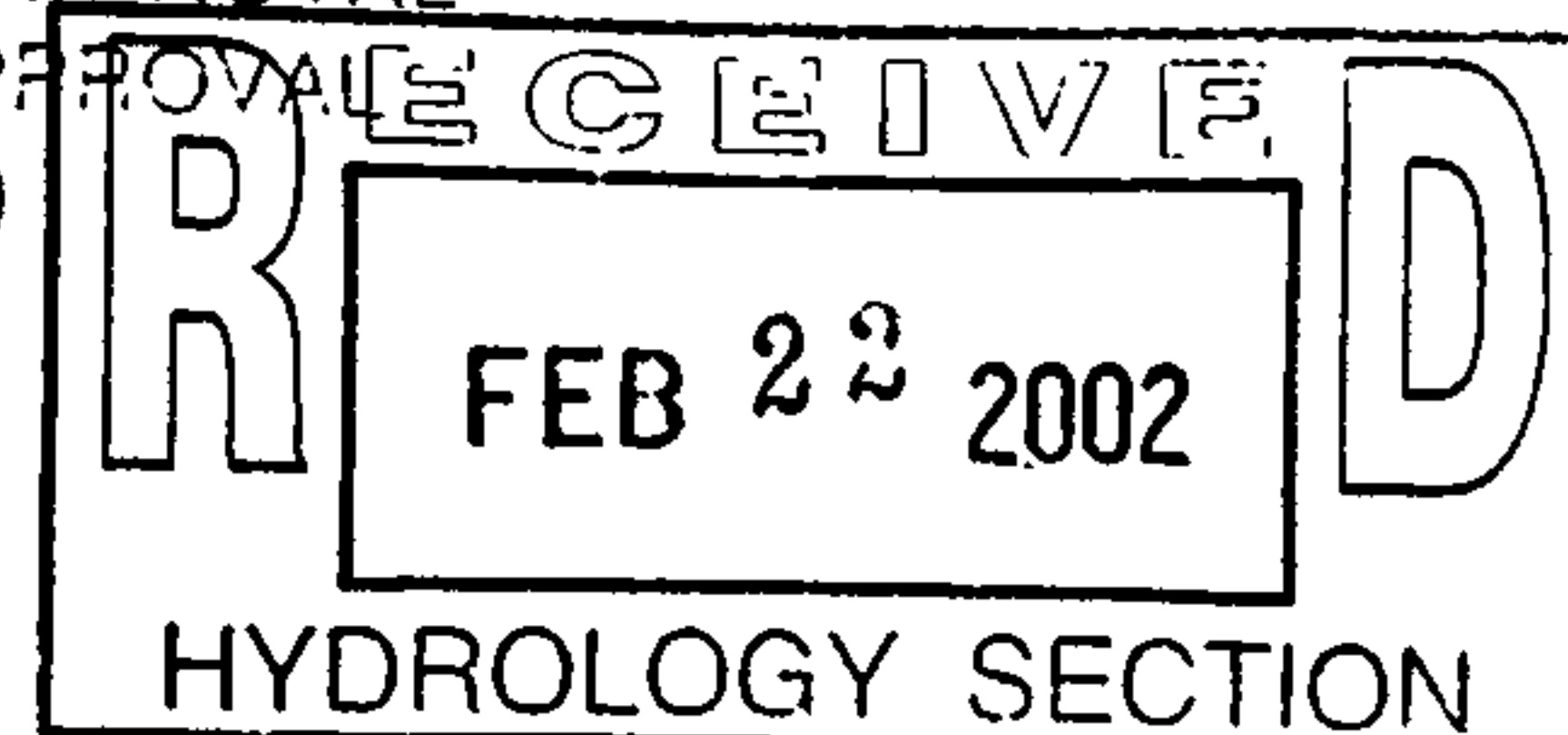
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☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
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☐ OTHER

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☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED

- ☒ YES
☐ NO
☐ COPY PROVIDED



DATE SUBMITTED:

2.8.02

BY

DENNIS LORENZ

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or



BRASHER & LORENZ, INC.

CONSULTING ENGINEERS

2201 San Pedro NE Bldg 1 Suite 220 • Albuquerque, NM 87110 • Phone (505) 888-6088 • Fax (505) 888-6188 • www.brasherlorenz.com

February 21, 2002

Carlos Montoya, PE
Hydrology Review Engineer
City of Albuquerque
PO Box 1293
Albuquerque, New Mexico 87102

**SUBJECT: HERRERA SERVICE STATION
J20/D22**

Dear Carlos:

Submitted herewith for review and approval is one copy of the revised Drainage Plan for the subject project. The Plan was revised per your comments issued February 15, 2002 as follows:

1. The plan now states that no off-site flows enter the site.
2. The hydrology calculations have been corrected. Please note that this project will not increase runoff due to re-development since the site is nearly 100% paved at the present time.
3. With regard to the north and south driveways, since the existing sidewalk is attached to the curb, and by respecting the ADA, I cannot position a 1-foot water block at the back of the proposed driveways. The site is positioned entirely above the south driveway at Mountain. The 1-foot water block position is located just north of the property line as shown by the attached sketch. I am unable to provide a 1-foot water block at the Summer driveway without complicating the finish floor of the building, and I don't want to turn the entry into a roller coaster. Therefore, I have analyzed the upstream basin and calculated the street depth at 0.44-ft. The energy grade line is 0.35-ft higher, requiring a 0.79-ft water block. The Plan provides a 0.80-ft water block. I hope this is adequate.

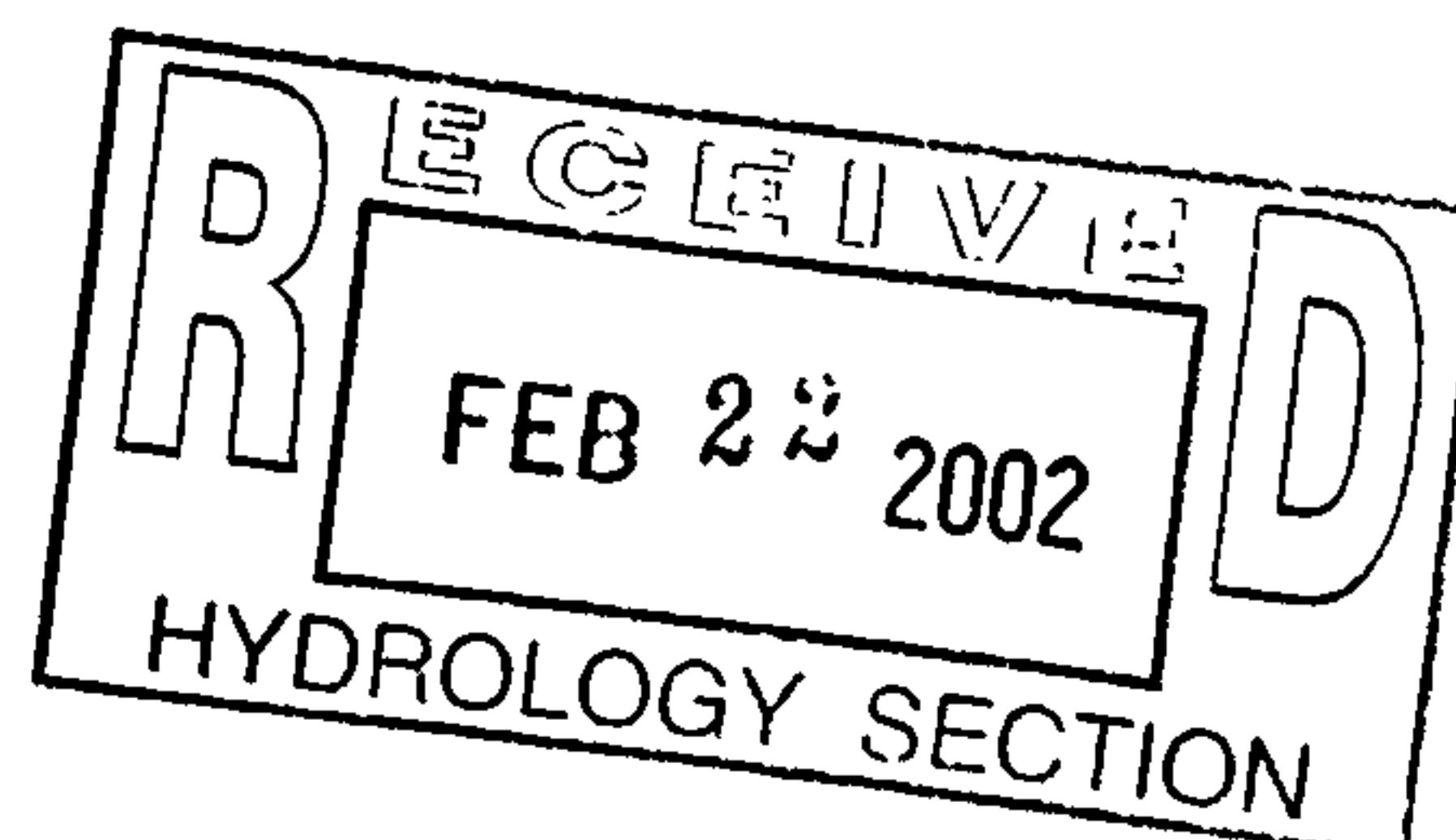
If you need additional information, or if I can be of any assistance, please feel free to call.

Sincerely,

BRASHER & LORENZ, INC.


Dennis A. Lorenz, PE
Principal

/dl/01528
encl





BRASHER & LORENZ
CONSULTING ENGINEERS

2201 San Pedro NE Building 1 Suite 220
Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-6188

PROJECT HERPERA
DATE 2.21.02 PAGE 1

DETERMINE REQ'D WATER BLOCK HT @
NORTH DRIVE PAV.

(A) ANYMO
P. ZONE 3
 $P_{360} = 2.60''$

BASIN AREA = 10.4 AC
SEE ATTACHED MAP

PER TABLE A.5 $\% D = 7\sqrt{N^2 + SN}$
 $N \approx 6.5 \text{ DU/AC}$
 $\% D = 53$

$A_0 = 0 \%$

$A_0 = 23.5$

$A_c = 23.5$

$A_d = 53$

$\Rightarrow Q_{360} = 42.4 \text{ CFS}$

(B) STREET DEPTH (SUMMER AVE @ DP)
 $FF = 32'$ $S = 1.6\%$

NATURAL CHANNELS

VARIABLES LIST:

Y - FLOW ELEVATION

Q - FLOWRATE

S - CHANNEL SLOPE

VARIABLE TO BE SOLVED (Y, Q OR S) ? Y

Enter up to 20 cross-section points.
Enter <Return> only for distance to end.

Q (CFS) ? 42.4
S (FT/FT) ? .016

CROSS-SECTION POINTS					
DIST	ELEV	COEFF	DIST	ELEV	COEFF
0	100.67	.017			
0	100.00	.017			
16	100.32	.017			
32	100.00	.017			
32	100.67	.017			

RESULTS

=====

Y= 100.44 FT \leftarrow

A= 8.96 SF

P= 32.89 FT

V= 4.73 FPS

F= 1.58 SUPER-CRITICAL FLOW

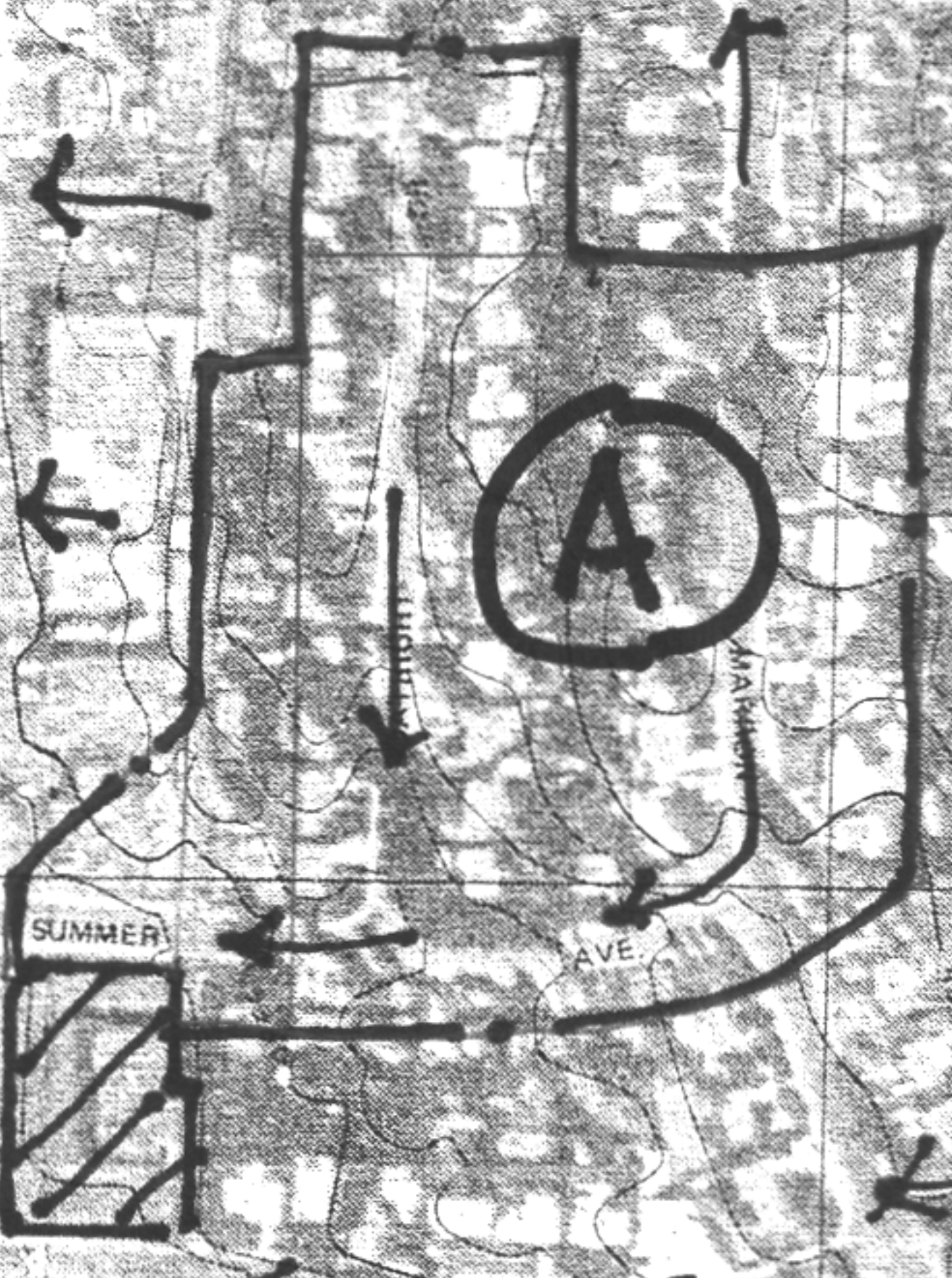
$E = V^2 / 2g = 0.35'$

WB H = .79' MIN.

100-YEAR FLOOD CONFINED TO CONSTRUCTED CHANNEL

N
1"=500'

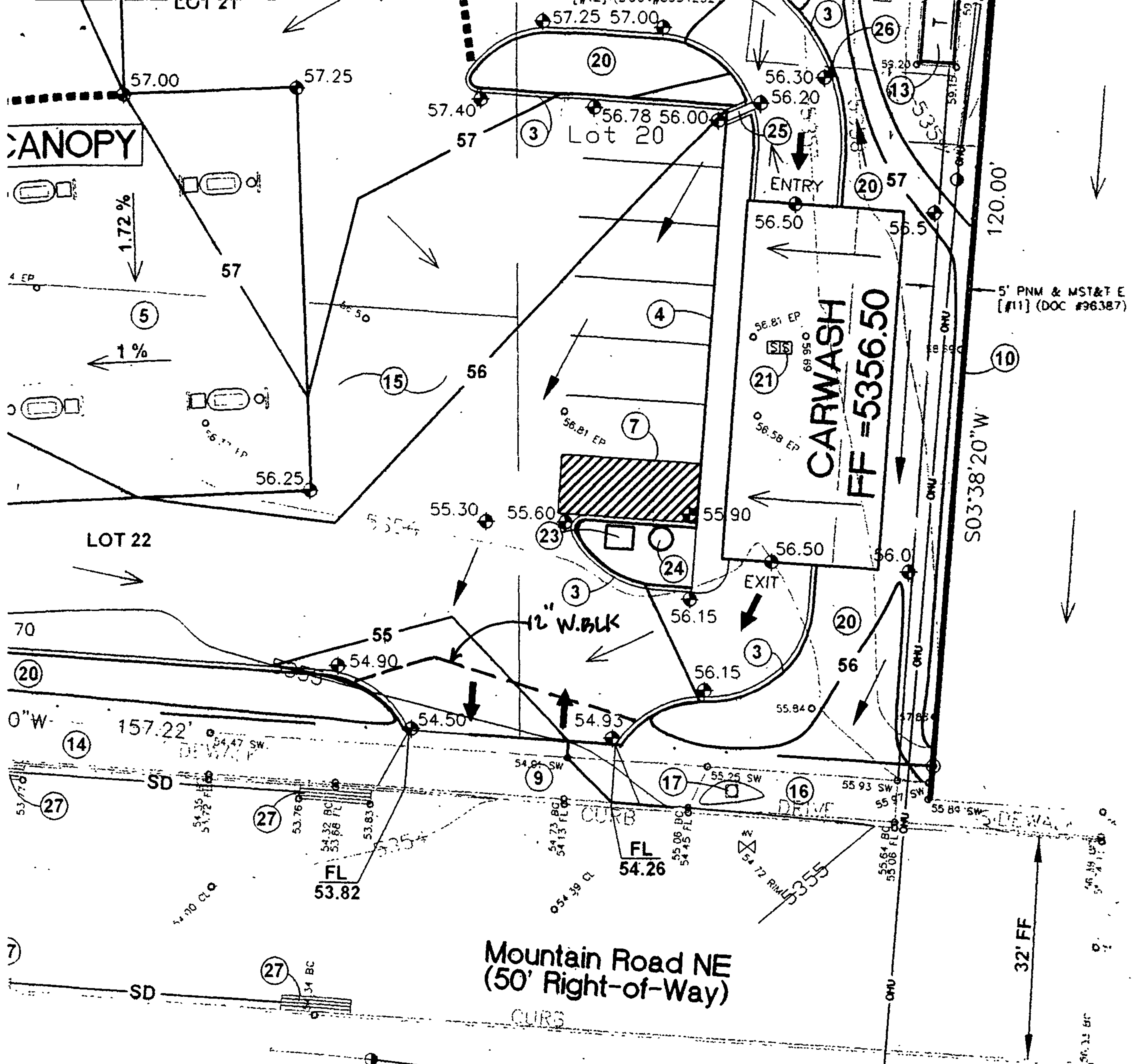
SITE



LIMIT OF DETAILED STUDY

LIMIT OF DETAILED STUDY





PROJECT HYDROLOGY								
Mesa Village Subdivision								
	3							
	2.60							
	4.90							
UNDEVELOPED (ALLOWED):								
	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)
	0.00	0.00	0.05	0.10	0.04	0.19	4.00	0.170



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 15, 2002

Dennis Lorenz, PE
Brasher & Lorenz Consulting Engineers
2201 San Pedro NE
Albuquerque, NM 87110

**Re: Herrera Service Station Grading and Drainage
Engineer's Stamp Dated 2-7-02, (J20/D22)**

Dear Mr. Lorenz,

Based on the information contained in your submittal dated 2-08-02, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- Is there any off site flows? If there are not, please state so on the plan.
- Please revise the proposed area in your calculations. The undeveloped area must equal the developed area.
- Please verify one-foot water blocks at the north and south entrances.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Carlos A. Montoya, PE
City Floodplain Administrator, PWD
Development and Building Services

c: Terri Martin, Hydrology
File (2)

DRAINAGE INFORMATION SHEET
(REV. 11/01/2001)

PROJECT TITLE: HERRERA SERVICE STATION ZONE MAP/DRG. FILE #: J20/D22
DRB #: — EPC#: — WORK ORDER#: —

LEGAL DESCRIPTION: LOTS 1,2,3,20,21, BLK 7, MESA VILLAGE
CITY ADDRESS: 1200 WYOMING NE

ENGINEERING FIRM: BRASHER + LORENZ
ADDRESS: 2201 SAN PEDRO NE
CITY, STATE: ALBUQUERQUE NM

CONTACT: D. LORENZ
PHONE: 888-6088
ZIP CODE: 87110

OWNER: LOUIS HERRERA
ADDRESS: —
CITY, STATE: —

CONTACT: —
PHONE: —
ZIP CODE: —

ARCHITECT: RICK BENNETT
ADDRESS: 1104 PARK SW
CITY, STATE: ALBUQUERQUE NM

CONTACT: R. BENNETT
PHONE: 242-1859
ZIP CODE: 87102

SURVEYOR: THOMAS PATRICK
ADDRESS: —
CITY, STATE: —

CONTACT: —
PHONE: —
ZIP CODE: —

CONTRACTOR: UNKNOWN
ADDRESS: —
CITY, STATE: —

CONTACT: —
PHONE: —
ZIP CODE: —

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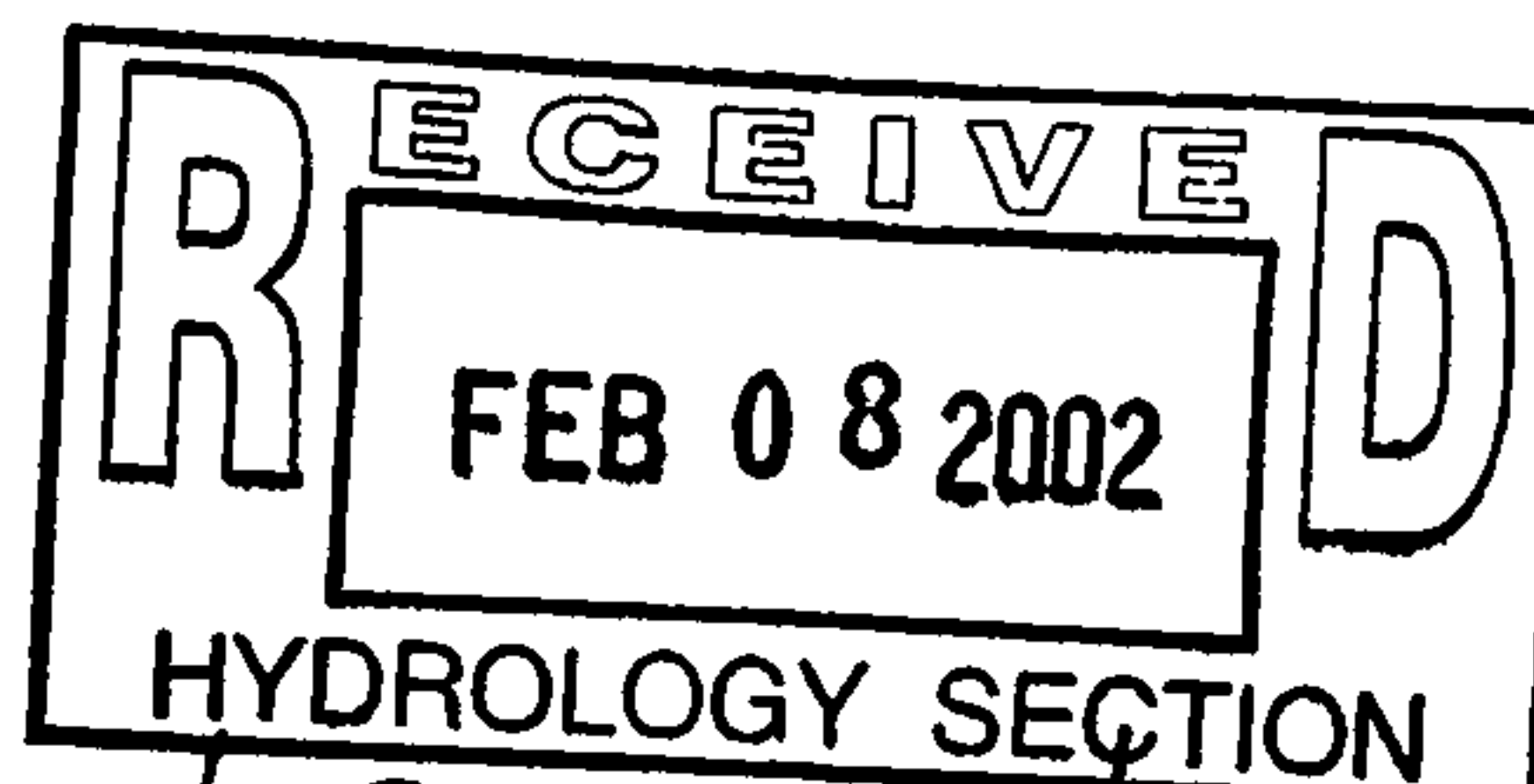
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☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
☐ NO
☐ COPY PROVIDED



DATE SUBMITTED: 2-8-02 BY: DENNIS LORENZ

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 6, 2001

Dennis A. Lorenz, P.E.
Brasher & Lorenz, Inc.
2201 San Pedro NE, Bldg 1 Suite 220
Albuquerque, NM 87110

RE: KICKS 66 - ARBY'S (J20-D22). GRADING AND DRAINAGE PLAN FOR GRADING PERMIT APPROVAL. ENGINEER'S STAMP DATED MARCH 15, 2001.

Dear Mr.Lorenz:

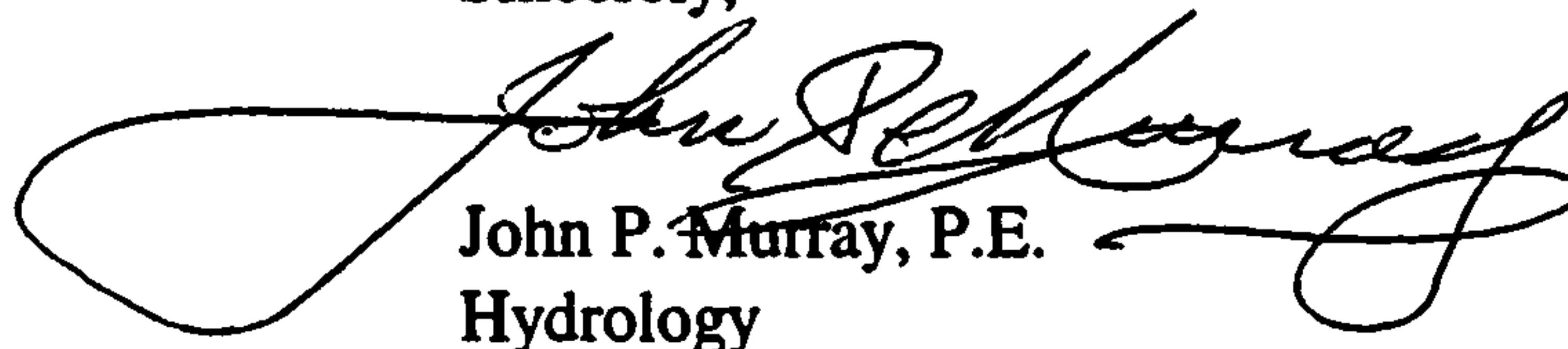
Based on the information provided on your March 19, 2001 submittal, the above referenced project is approved for Grading Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: Terri Martin
✓ File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Kicks 66-Arby's ZONE ATLAS/DRNG. FILE #: J-20/D22
 DRB #: _____ EPC #: _____ WORK ORDER #: _____
 LEGAL DESCRIPTION: Lots 1-3, 20 & 21 & 22 of Blck 7 of Mossman Subd. of Blcks 7 & 9 of Mesa Village
 CITY ADDRESS: 1200 Wyoming Blvd. NE
 ENGINEERING FIRM: BRASHER & LORENZ, INC. CONTACT: Dennis Lorenz
 ADDRESS: 2201 SAN PEDRO NE, BLD 1, STE 220 PHONE: (505) 888-6088
 OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 ARCHITECT: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 SURVEYOR: Thomas W. Patrick CONTACT: _____
 ADDRESS: NMPs 12651 PHONE: _____
 CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

____ DRAINAGE REPORT
☒ DRAINAGE PLAN
 ____ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
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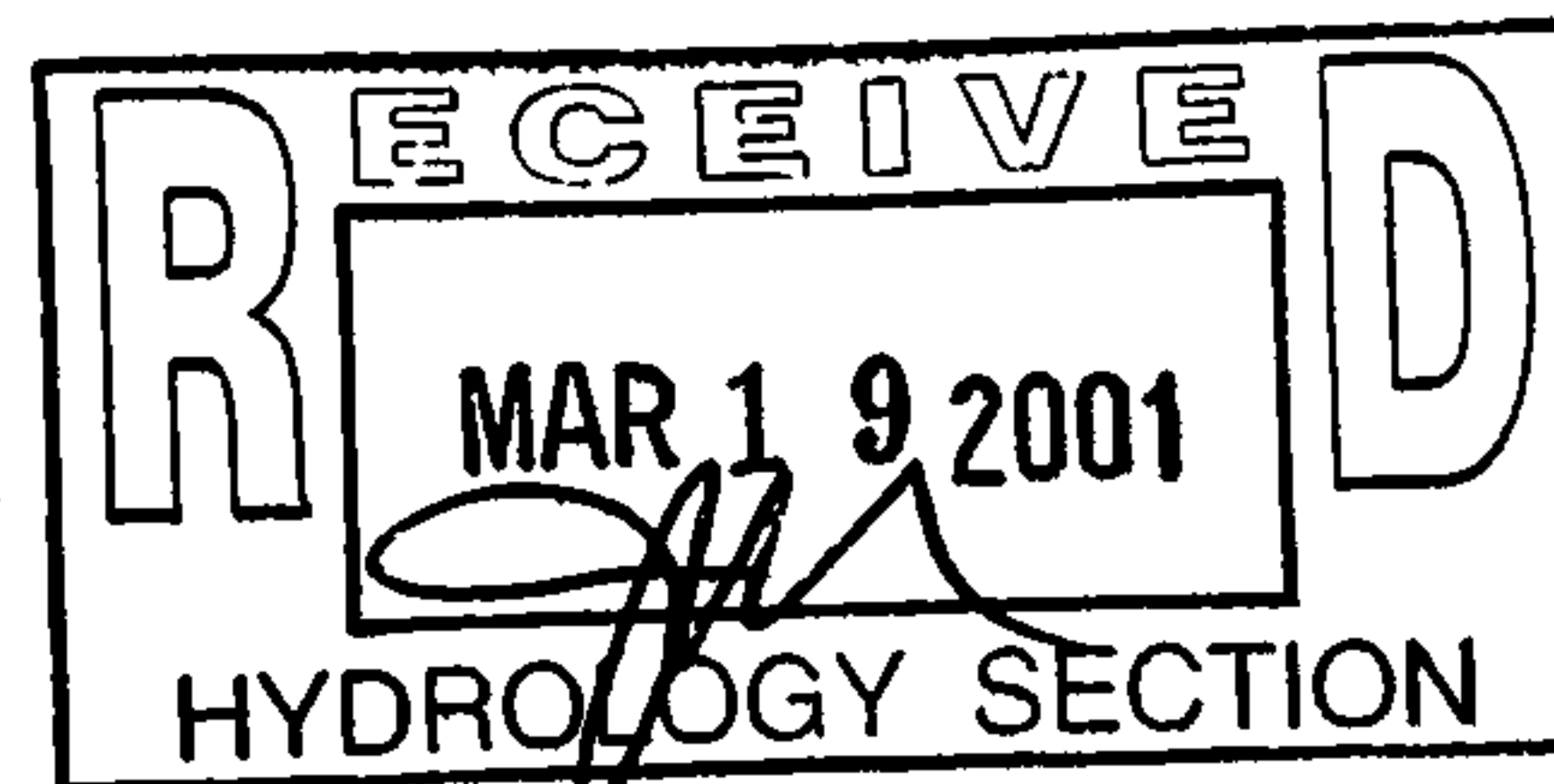
PRE-DESIGN MEETING:

____ YES
☒ NO
 ____ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

____ SKETCH PLAT APPROVAL
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 ____ CERTIFICATE OF OCCUPANCY APPROVAL
☒ GRADING PERMIT APPROVAL
 ____ PAVING PERMIT APPROVAL
 ____ S.A.D. DRAINAGE REPORT
 ____ DRAINAGE REQUIREMENTS
 ____ OTHER _____ (SPECIFY)

DATE SUBMITTED: March 19th, 2001
 BY: Donnie Duneman





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Public Works Department Transportation Development Services Section

February 14, 2002

Rick Bennett, Reg. Architect
Rick Bennett Arch.
1104 Park S.W.
Albuquerque, NM 87102

Re: TCL Submittal for Building Permit Approval for Herrera Service Station
1200 Wyoming N.E., [J20 / D022]
Architect's Stamp Dated None

Dear Mr. Bennett:

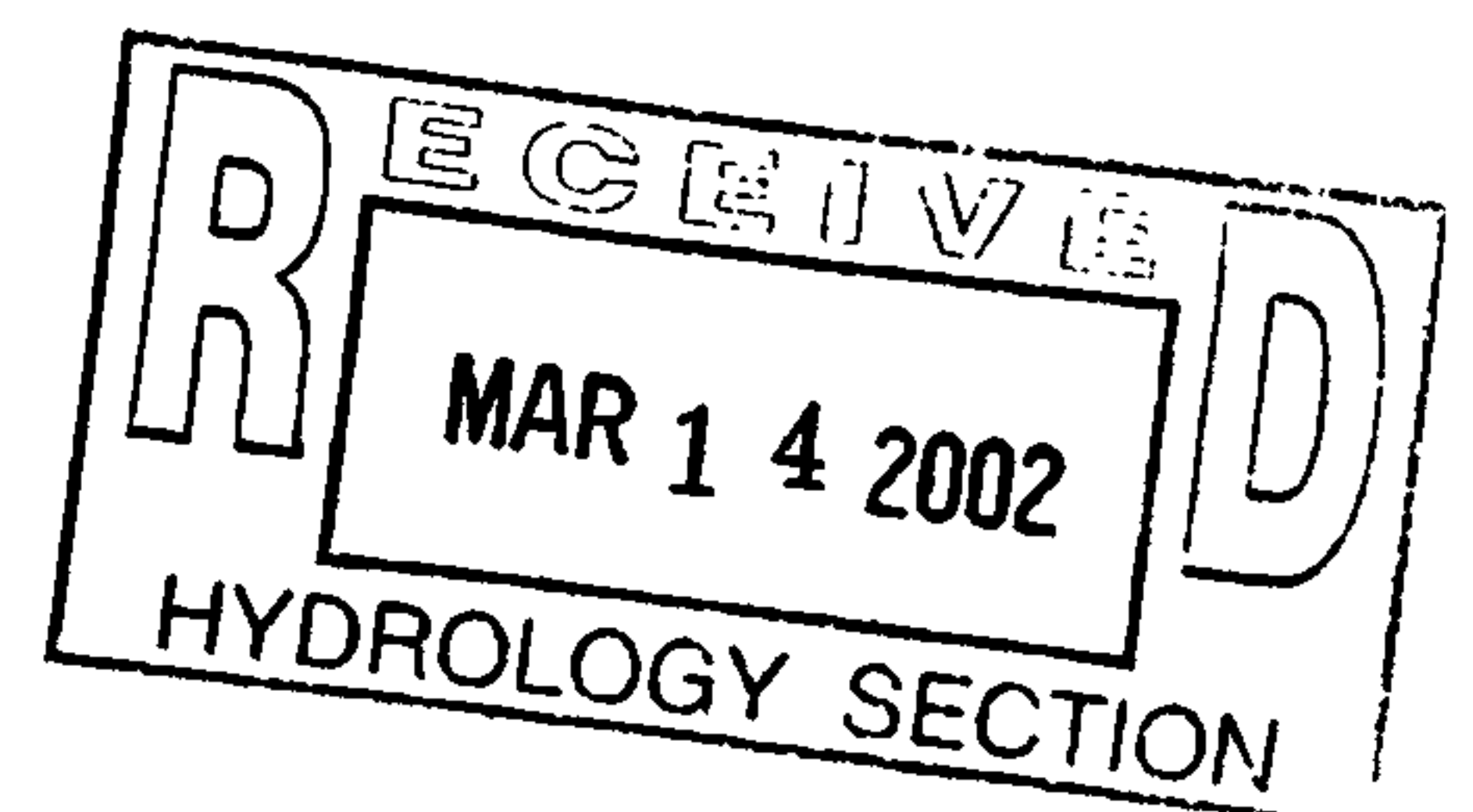
The location referenced above, dated Feb. 8, 2002, is not acceptable and requires modification to the Traffic Circulation Layout (TCL) prior to Building Permit release as stated on the attached PRELIMINARY TCL checklist, and red-lined TCL markup with comments.

Please resubmit revised TCL after addressing typed and marked up comments. Submit plan along with checklist and all current and past red-lined, mark-up copies.

Sincerely,

Mike Zamora
Commercial Plan Checker
Development and Building Services
Public Works Department

c: Engineer
Hydrology file
Mike Zamora





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

February 14, 2002

Rick Bennett, Reg. Architect
Rick Bennett Arch.
1104 Park S.W.
Albuquerque, NM 87102

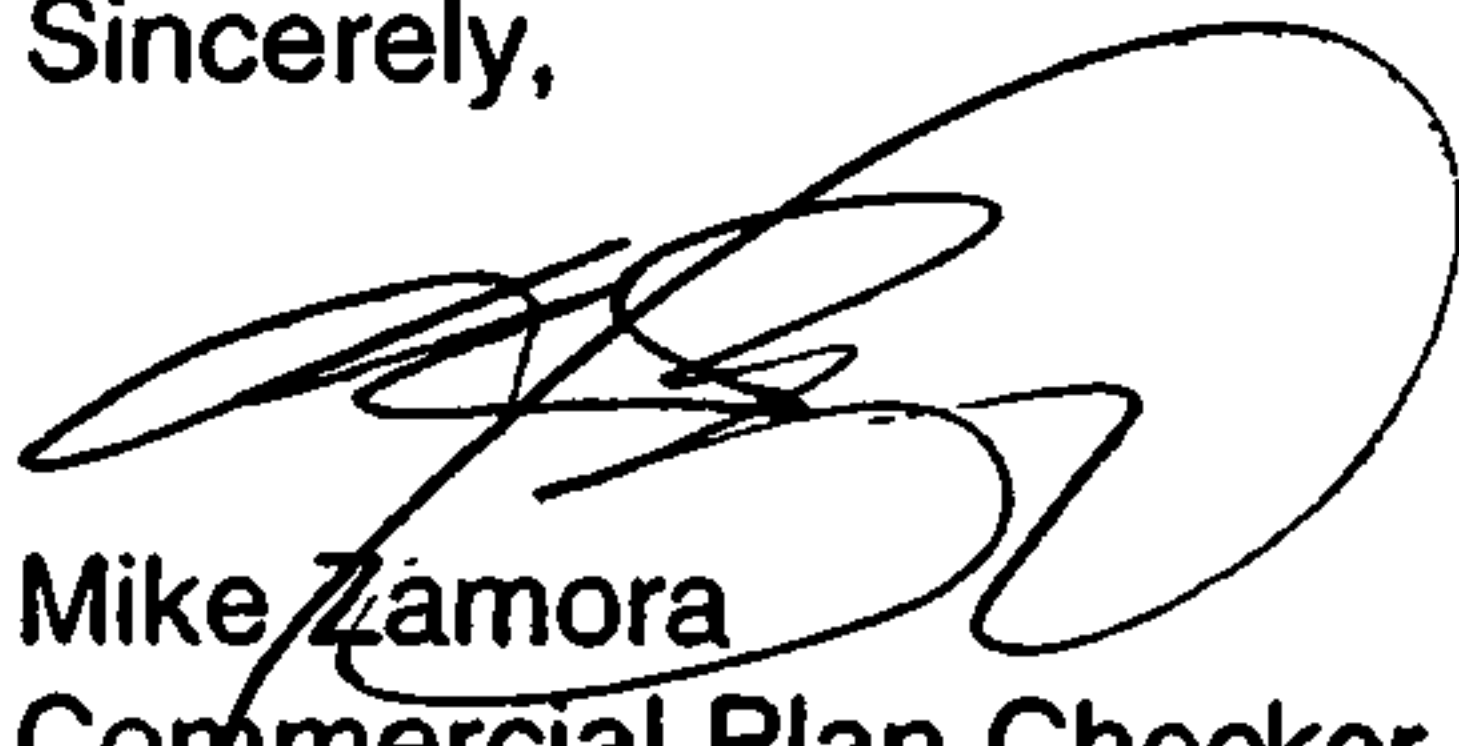
Re: TCL Submittal for Building Permit Approval for Herrera Service Station
1200 Wyoming N.E., [J20 / D022]
Architect's Stamp Dated None

Dear Mr. Bennett:

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Please resubmit revised TCL after addressing typed and marked up comments. Submit plan along with checklist and all current and past red-lined, mark-up copies.

Sincerely,



Mike Zamora
Commercial Plan Checker
Development and Building Services
Public Works Department

c: Engineer
Hydrology file
Mike Zamora

DRAINAGE INFORMATION SHEET
(REV. 11/01/2001)

PROJECT TITLE: HERRERA SERVICE STATION

DRB #: — EPC#: — ZONE MAP/DRG. FILE #: J20/D22
WORK ORDER#: —

LEGAL DESCRIPTION: LOTS 1,2,3,20,21, BLK 7, MESA VILLAGE

CITY ADDRESS: 1200 WYOMING NE

ENGINEERING FIRM: BRASHER + LORENZ

ADDRESS: 2201 SAN PEDRO NE

CITY, STATE: ABQ NM

CONTACT: D. LORENZ

PHONE: 888-6088

ZIP CODE: 87110

OWNER: LOUIS HERRERA

ADDRESS: —

CITY, STATE: —

CONTACT: —

PHONE: —

ZIP CODE: —

ARCHITECT: RICK BENNETT

ADDRESS: 1104 PARK SW

CITY, STATE: ABQ NM

CONTACT: R. BENNETT

PHONE: 242-1839

ZIP CODE: 87102

SURVEYOR: THOMAS PATRICK

ADDRESS: —

CITY, STATE: —

CONTACT: —

PHONE: —

ZIP CODE: —

CONTRACTOR: UNKNOWN

ADDRESS: —

CITY, STATE: —

CONTACT: —

PHONE: —

ZIP CODE: —

CHECK TYPE OF SUBMITTAL:

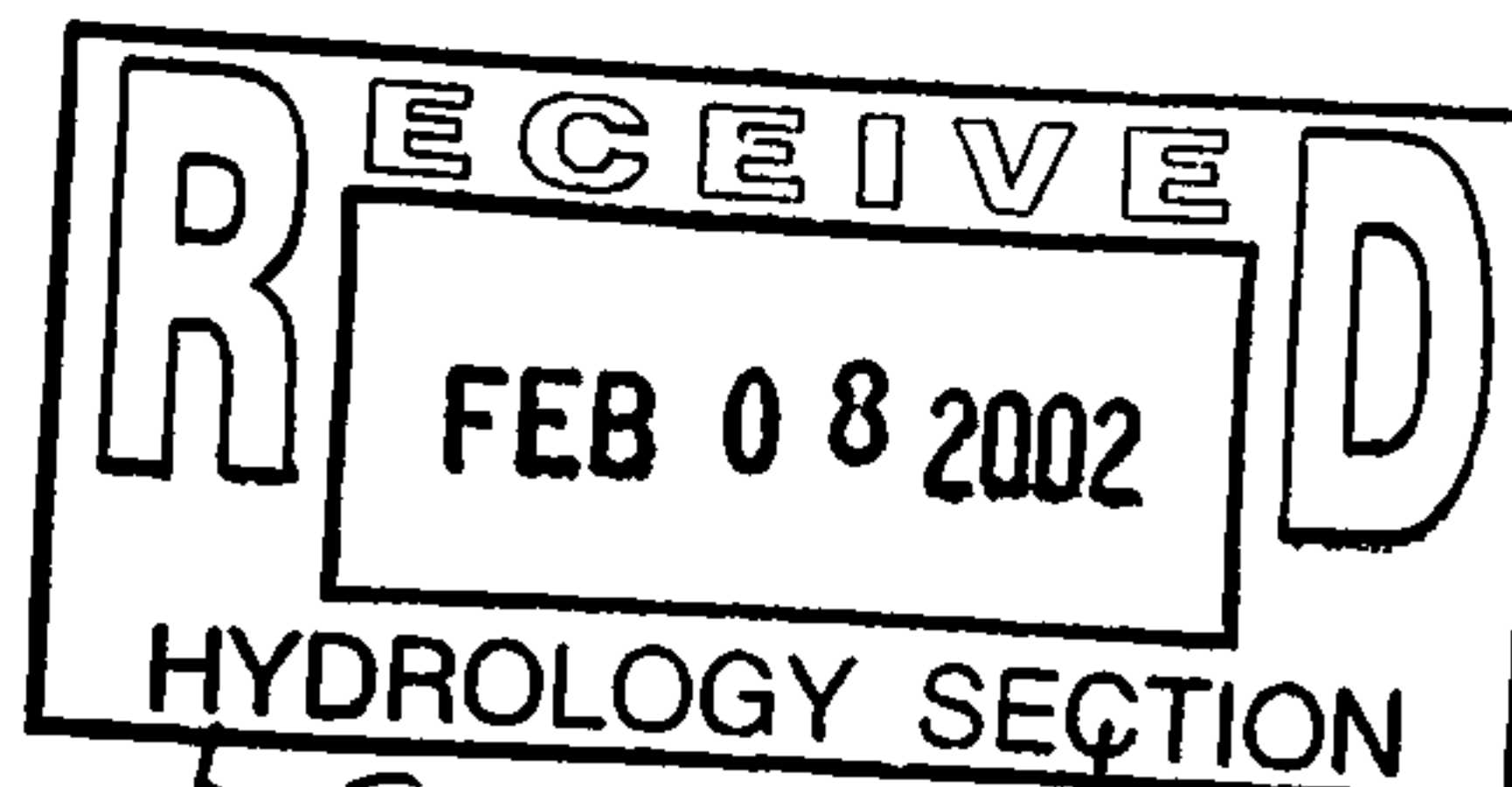
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☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
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☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
☐ NO
☐ COPY PROVIDED



DATE SUBMITTED 2.8.02

BY: DENNIS LORENZ

*NOTE: No Copy of
1st Marked up T.C.L.*

2/14/02 - Diss'd T.C.L. ; 2/14 - Cld Arch. - ✓

/logged in:

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5)
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

C:\T\TCL\117

U. 21.1

7-20-01

TRAFFIC CIRCULATION LAYOUT SITE PLAN CHECKLIST

REVISED DRAFT 9/18/01

The City Zoning Code requires the design of access and circulation for parking areas and drive through facilities to be satisfactory to the Traffic Engineer. The design of these parking areas is a melding of a number of objectives of a development including safety, efficiency, aesthetics, etc. From a vehicular transportation point of view, one of the most critical areas of concern is the location and manner of access from the adjacent street. The interface of the development adjacent to these areas also plays a major role in how safely and efficiently they operate. These guidelines for the layout of the parking areas represent engineering design standards that will result in good operational and safety characteristics. However, with the many variables in design and unique characteristics that can be encountered, the designer may need to investigate other means of satisfying desirable operational and safety characteristics. Prior to embarking on a design for these unusual conditions, the designer should contact the Traffic Engineer to reach agreement on the modifications to these guidelines. Traffic Circulation Layout (TCL) Site Plans are required for commercial and institutional buildings, multi-family residential buildings and commercial additions of 500 square feet or more.

NOTE: The following checklist is intended to be used as a guide for preparing your Traffic Circulation Layout Plan to meet any or all of the traffic requirements. It is only a guide. Some items may not be applicable to your particular project; some items may require more detail.

I. General Information:

- ✓ A. Completed Drainage/TCL Information Sheet-(DPM Volume 1, Chapter 17)
- B. Planning History-Relationship to approved site plans, masterplans, and/or sector plans site
- C. Description:
 - ① Vicinity map (zone atlas map) showing location of the development in relation to well-known landmarks, municipal boundaries and zone atlas map index number
 - ✓ 2. Address and legal description or copy of current plat
 - 3. All requests for variances from policies, ordinances or resolutions which are necessary to implement this plan must be specifically identified
 - ✓ 4. Type of development (restaurants, banks, convenience markets, service station, super markets, auto car wash, etc.)
 - 5. Size of development
 - ✓ 6. Parking spaces required by Zoning Code or prior EPC approved Site Development Plan
 - 7. Executive Summary-Provide a brief yet comprehensive discussion of the following:
 - ~~a.~~ General project location
 - ~~b.~~ Development concept for the site
 - ~~c.~~ Traffic circulation concept for the site
 - ~~d.~~ Impact on the adjacent sites
 - ~~e.~~ Reference any applicable Traffic Impact Studies (TIS) or previously approved plans
 - f. Variance required to accommodate unusual site constraints

✓ Item is acceptable

② Item Needs Completion

→ N/A

4. Item in the Subsection Needs Completion or Designer Should be Aware of This Item.

2/14/02 1200 Wyoming NE - Herrera Serv. Sta. -

1 Jan 2002

II. Plan Drawings:

- A** Professional Architect's/Engineer's stamp with signature and date
- B.** Drafting standards: (Reference City Standards, DPM Volume 2, Chapter 27)
- ✓ 1. North Arrow
 - ✓ 2. Scales-recommended engineer scales:
 - a. 1" = 20' for sites less than 5 acres
 - b. 1" = 50' for sites 5 acres or more
 - 3. Legend-see DPM manual, Volume 2, Tables 27.3a-27.3d for recommended standard symbols
 - ✓ 4. Plan drawings size: 24" x 36"
 - 5. Notes defining property line, rights-of-way, signs, street lights, fire hydrants, medians, water meter boxes, pavement limits and types, sidewalks, landscape areas, project limits, and all other areas whose definition would increase clarity

C. Existing Conditions:

- ✓ 1. On-site
 - ✓ Identification of all existing buildings, doors, structures, sidewalks, curbs, driveways, walls, etc., and anything that influences parking and circulation of the site
 - ✓ Indication of all access existing easements and rights-of-way on or adjacent to the site with dimensions and purpose shown
- 2. Off-site
 - a. Identification of the right-of-way width, medians, curb cuts, street widths, etc. (both sides of street) sidewalks

- D.** ^{NEW} Proposed Conditions: ^{NEW} Proposed conditions should generally be superimposed on the drawings showing existing on-site and off-site conditions. Separate sheets may be used for on-site and off-site areas depending upon circumstances.

1. On-site

- ✓ a. Indication of all proposed access easements and rights-of-way on or adjacent to the site with dimensions and purpose shown
- b. Slopes

~~(1)~~ Parking areas 1% min to 8% max

(2) Parking areas adjacent to major circulation aisles or adjacent to major entrances 1% min to 6% max, 4% on Major

~~(3)~~ Handicap parking 1% min to 2% max

~~(4)~~ Handicap ramps with slope of 1:12 must be provided where the sidewalk area where curbs intersect the pedestrian access to the building

Arterials,
per D.P.M.

- ✓ c. Clearly delineate project phasing. A key map is recommended.
- ✓ Parking stall sizes: (Reference City Standards, DPM, Figure 23.7.1)

e.

Circulation:

- (1) General layout dimensions: Figure 23.7.1 provides the layout relationships between parking stalls and aisle widths for both large and small car parking areas
- (2) Treatment of access points-Discuss how the curb cuts and/or drivepads comply with Chapter 23, Section 6
- (3) Internal aisle connection:
 - ~~(a)~~ Parking lots with parking spaces, spaces greater than or equal to 100 must have landscaped islands at the ends of each row of parking
 - (b) Landscape island radius for passenger car is 15 feet (see DPM Figure 23.7.2)
 - (c) Landscape island radius for delivery trucks, fire trucks, etc. is 25 feet or larger (see DPM figure 23.7.2)
- ~~(4)~~ Maximum aisle lengths: Aisle lengths required: 300-400 feet without internal circulation between aisles
- (5) Sidewalk connections:
 - ~~(a)~~ ~~Provide a 4' sidewalk from the public sidewalk to the buildings within the development.~~
 - (b) Provide a min 5' wide sidewalk when the stall will overhang the sidewalk
 - (c) Clear pedestrian route accessible should be provided when the parking space may overhang the sidewalk
- (6) Curbing: Provide a min 6" or max 8" high concrete barrier curb between landscaping and parking areas and/or drive aisles
- (7) Fire and emergency access: Provision for access by fire and emergency vehicles needs to be in accordance with the Albuquerque Fire Plan Checking Division
- (8) Service Areas:
 - (a) Circulation:
 - (1) Design vehicle route needs to be shown
 - ~~(2)~~ No truck ramps, refuse/compactors or similar facilities permitted within circulation aisle
 - (b) No backing into or from public street allowed
 - (c) Service vehicle and/or refuse vehicle maneuvering must be contained on-site
 - (d) Aisle width required:
 - 1) Two-way traffic is 30'
 - 2) One-way traffic is 20'

- (9) Layout of large parking area: (400 spaces or more)
- (a) Main aisles should provide good pedestrian and vehicle visibility and access
 - 1) Parking spaces shall not back into the main aisle
 - 2) Provide good pedestrian/vehicle visibility at main aisle
 - 3) Twenty-eight foot (28') is the maximum width for main aisle adjacent to building frontages
 - (b) Ring roads or partial ring roads are required for shopping centers larger than 250,000 square feet of building area
 - 1) Widths shall be determined based on traffic volumes
 - 2) Centers of 500,000 square feet may require turning lanes or additional lanes to accommodate projected traffic volumes
- (10) Signing, Striping: Adequate signing and striping needs to be incorporated into the design of the parking area which will help to convey to the motorist the proper use of the facility



Access point lanes and queuing: (See Table 23.7.1)

Drive through facilities-Discuss compliance with Chapter 23, Section 7

1. Off-site

- a. Rights-of-way and easements to accommodate existing or proposed public street infrastructures shall be provided when necessary to support this development
- b. Handicap ramps are required at street corners if site abuts the corners
CORNERS



City of Albuquerque
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
Public Works Department
Transportation Development Services Section

April 17, 2002

Patrick Whelan for Rick Bennett, Registered Architect
1104 Park Ave. S.W.
Albuquerque, NM 87102

Re: Traffic Circulation Layout (TCL) Submittal for Building Permit Approval for
Kicks 66 Service and Convenience Store, [J20 / D022]
1200 Wyoming Blvd. N.E.
Architect's Stamp Dated 04/12/02

Dear Mr. Whelan:

The TCL submittal, dated April 17, 2002, is sufficient for acceptance by this office and is stamped and signed as such. Four copies have been made as required: two for submittal of building permit plans, one kept by this office and one to be kept by you to be used for certification of the site for final C.O. for Hydrology/Transportation.

When the superintendent of this project calls for a Temporary C.O. immediate issuance is no longer possible at that time. An exact copy of the approved TCL is required, with mark ups (preferably in red ink) showing incomplete work remaining, along with a letter of certification, prior to issuance of Temporary C.O.

When site is complete and a Final C.O. is needed, a Letter of Certification (specifically stating "Certification"), stating that the site was built in substantial compliance with the approved plan, needs to be included with the above-mentioned exact copy of the TCL with as built information, in red ink. A second option would be to place a typed or stamped Statement of Certification on the approved TCL copy. Letter and/or TCL package must be stamped with the designer's seal, signed and dated for that certification. All documentation must be submitted with a completed Drainage and Transportation Information Sheet (also used for the Grading and Drainage submittal) to Hydrology at the Development Services Center. D & T Information Sheet needs to be completely filled in ("contractor" and "surveyor" are not critical) so appropriate parties can be contacted, as necessary.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. to confirm that Final C.O. has been issued to the superintendent, call Building Safety at 924-3306.

Sincerely,


Mike Zamora, Commercial Plan Checker
Development and Building Services
Planning Department

c: Engineer
Hydrology file
Mike Zamora

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/11/2002)

PROJECT TITLE: KICKS 66 CONVENIENCE STORE ZONE MAP/DRG. FILE #: J-20
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT, BLOCK 7, MESA VILLAGE SUBDIVISION
CITY ADDRESS: 1200 WYOMING BLVD. N.E. ALB. NM

ENGINEERING FIRM: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

OWNER: LOUIS HERRERA
ADDRESS: 43565 YORKSHIRE CT.
CITY, STATE: ASHBURN, VA

CONTACT: LOUIS HERRERA
PHONE: 703-390-5113
ZIP CODE: 20147

ARCHITECT: PEK BENNETT ARCHITECTS
ADDRESS: 1104 PARK AVE. SW
CITY, STATE: ALB. NM

CONTACT: PATRICK WHELAN
PHONE: 242-1859
ZIP CODE: 87102

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: BROWN DEVELOPMENT
ADDRESS: 1100 PARK AVE. SW
CITY, STATE: ALB. NM

CONTACT: LARRY CHAVEZ
PHONE: 842-1687
ZIP CODE: 87102

CHECK TYPE OF SUBMITTAL:

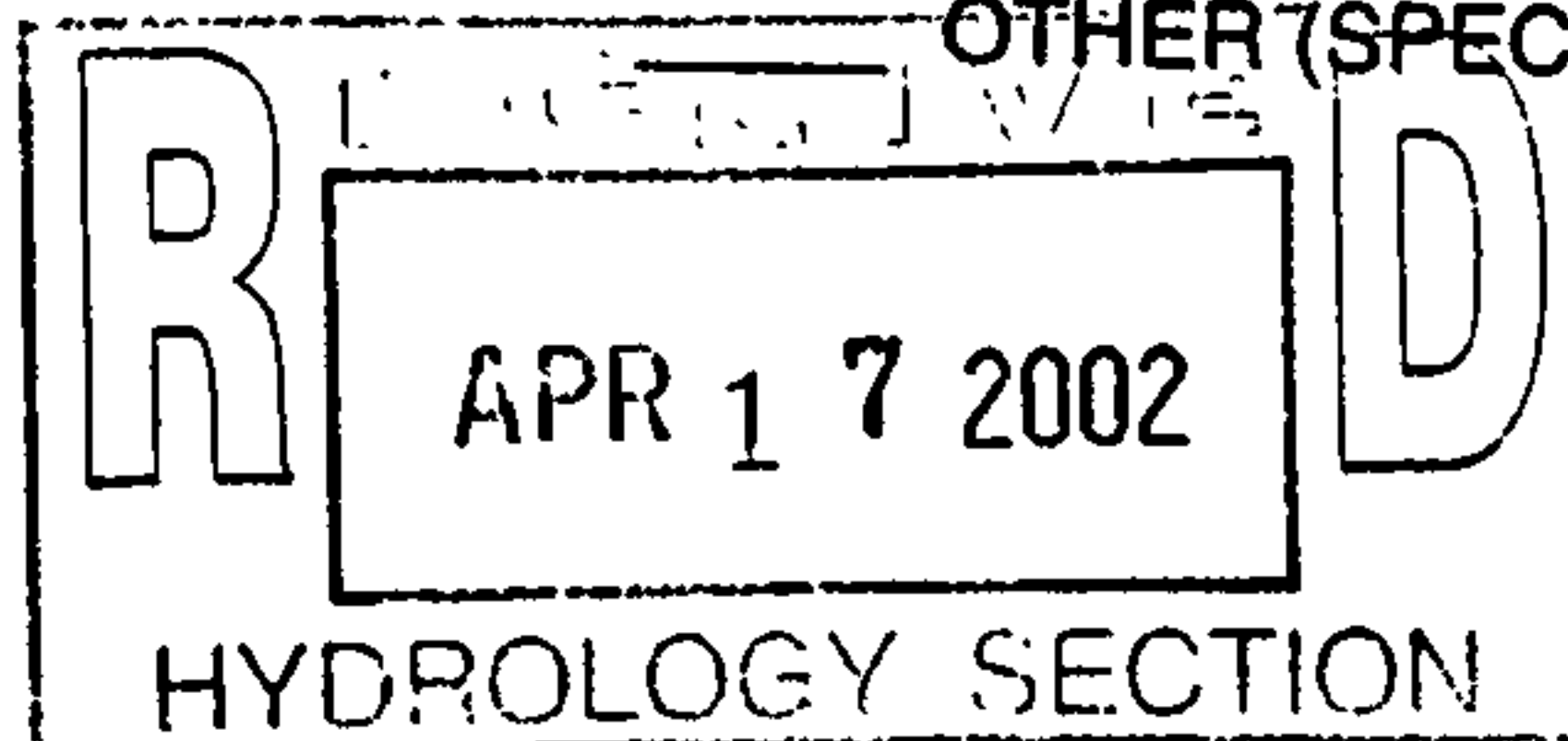
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- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
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- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
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- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
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- ☒ FOUNDATION PERMIT APPROVAL
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- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
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- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 4/17/02 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

4/17/02 - App'd T.C.L. Arch. inserted in plan set; V - logged in.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Public Works Department Transportation Development Services Section

April 17, 2002

Patrick Whelan for Rick Bennett, Reg. Architect
Rick Bennett Architects
1104 Park Ave. S.W.
Albuquerque, NM 87102

Re: Certification Submittal for Final Building Certificate of Occupancy for
Kicks 66 Service/Convenience Store, [J20 / D022]
1200 Wyoming Blvd. N.E.
Architect's Stamp, Dated - None, subsequent plan "walked through" and
approved

Dear Mr. Whelan:

The TCL submitted for second review, dated April 12, 2002 is not yet sufficient for acceptance by this office. It requires completion of the items not yet addressed on the checklist or the original mark up and items called out on the TCL revised by the designer.

Please submit the corrected TCL again to Hydrology along with all documentation and mark-up copies.

Sincerely,

Mike Zamora, Commercial Plan Checker
Development and Building Services
Planning Department

c: Engineer
Hydrology file
Mike Zamora

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

J-20/D22

PROJECT TITLE: KICKS 66 CONVENIENCE STORE ZONE MAP/DRG. FILE #: J 20
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 1 BLOCK 7 MESA VILLAGE SUBDIVISION
 CITY ADDRESS: 1200 WYOMING BLVD. NE

ENGINEERING FIRM: BRASHER LORENZ
 ADDRESS: 2201 SAN PEDRO NE
 CITY, STATE: ALB. NM

CONTACT: DENNIS LORENZ
 PHONE: 888-6088
 ZIP CODE: 87110

OWNER: LOUIS HEFFERA
 ADDRESS: 43565 YORKSHIRE CT.
 CITY, STATE: ASHBURN, VA

CONTACT: LOUIS HEFFERA
 PHONE: 703-396-5113
 ZIP CODE: 20147

ARCHITECT: RICK BENNETT ARCHITECTS
 ADDRESS: 1104 PARK AVE. SW
 CITY, STATE: ALB., NM

CONTACT: PATRICK WHELAN
 PHONE: 242-1859
 ZIP CODE: 87102

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: BROWN DEVELOPMENT
 ADDRESS: 1108 PARK AVE. SW
 CITY, STATE: ALB., NM

CONTACT: LARRY CHAVEZ
 PHONE: 842-1687
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- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
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- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 4/12/02 BY: [Signature]

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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

4/17/02 - Rev'd Arch came in Addressed Comments will bring in Copies for Permit App'l.
✓ - logged in; sent letter (dated 4/17/02) WYOMING 1 NEW3



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

April 3, 2002

Patrick Whelan for Rick Bennett, Reg. Architect
Rick Bennett Architect
1104 Park Ave.S.W.
Albuquerque, NM 87102

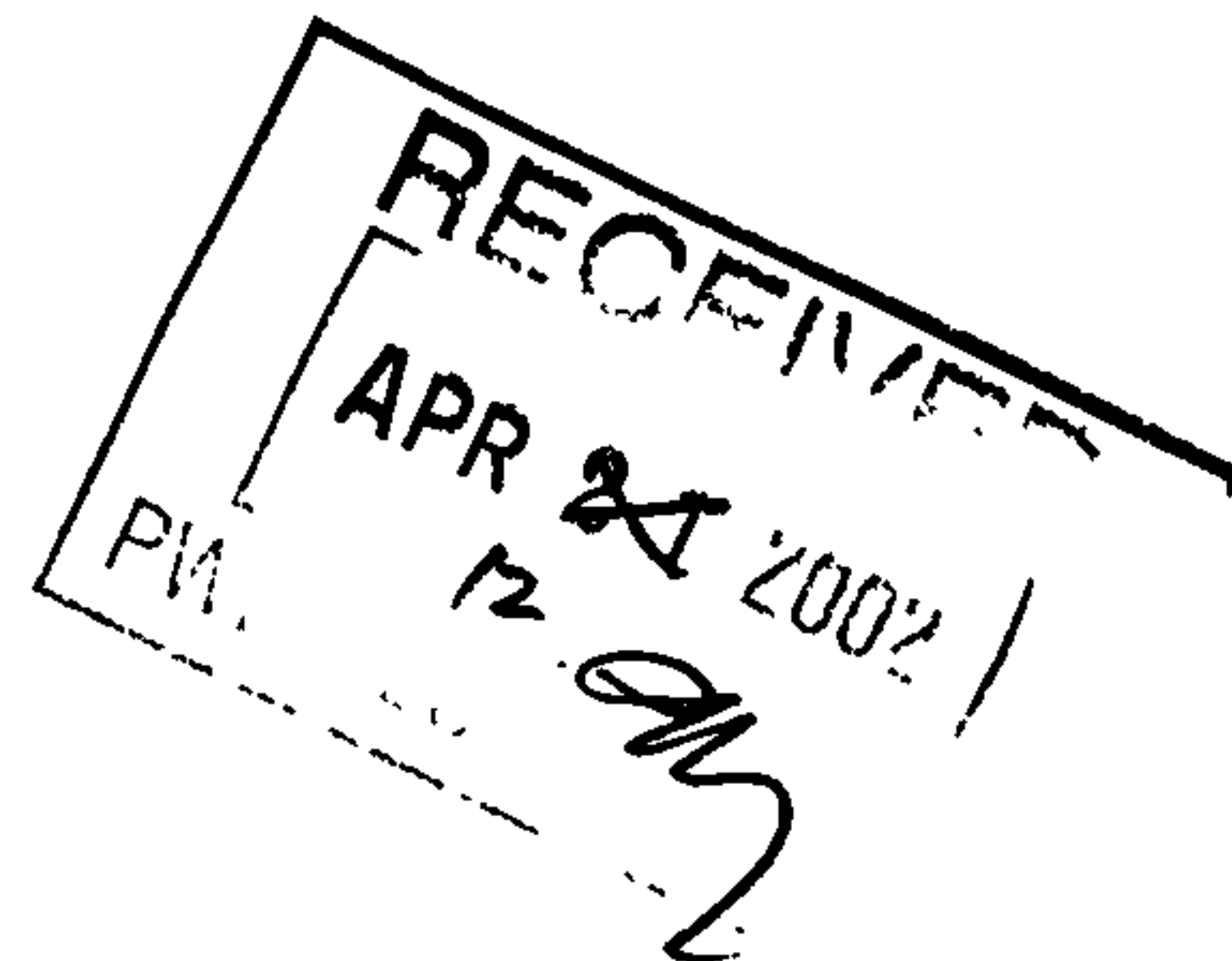
Re: Traffic Circulation Layout (TCL) Submittal for Final Building Permit Approval
Kicks 66 Convenience Store, [J20 / D022]
1200 Wyoming N.E.
Architect's Stamp Dated 03/29/02

Dear Mr. Whelan:

The TCL submitted for second review, dated April 01, 2002 is not yet sufficient for acceptance by this office. It requires completion of the items not yet addressed on the most recent submittal by the designer, the checklist or the previous mark ups. Please resubmit revised TCL after addressing marked up comments, along with checklist and all previous red-lined, mark-up copies. Submit package with fully completed Drainage and Transportation Information Sheet, for all upcoming submittals.

Sincerely,

Mike Zamora
Commercial Plan Checker
Development and Building Services
Public Works Department



c: Engineer
Hydrology file
Mike Zamora



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

March 27, 2002

Patrick Whelan for Rick Bennett, Reg. Architect
Rick Bennett Architect
1104 Park Ave. S.W.
Albuquerque, NM 87102

Re: Certification Submittal for Final Building Certificate of Occupancy for
Kicks 66 Convenience Store, [J20 / D022]
1200 Wyoming Blvd. N.E.
Architect's Stamp Dated 03/04/02

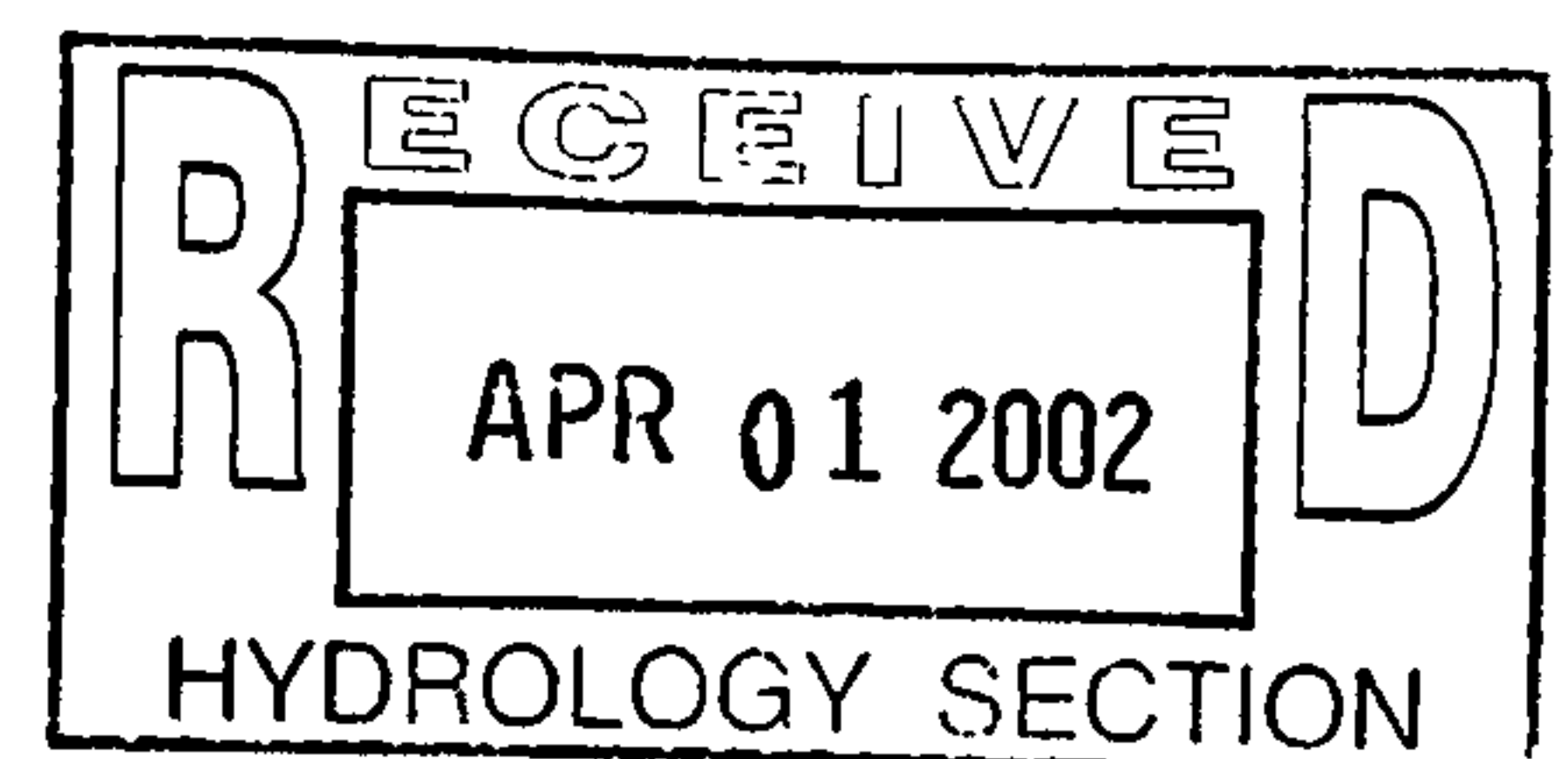
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Please submit the corrected TCL again to Hydrology along with all documentation and all mark-up copies.

Sincerely,

Mike Zamora
Commercial Plan Checker
Development and Building Services
Public Works Department



c: Engineer
Hydrology file
Mike Zamora



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

March 27, 2002

Patrick Whelan for Rick Bennett, Reg. Architect
Rick Bennett Architect
1104 Park Ave. S.W.
Albuquerque, NM 87102

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1200 Wyoming Blvd. N.E.
Architect's Stamp Dated 03/04/02

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Development and Building Services
Public Works Department

c: Engineer
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DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

J-20/D22

PROJECT TITLE: KICK 66 CONVENIENCE STORE ZONE MAP/DRG. FILE #: J20
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 1 BLOCK 7 MESA VILLAGE SUBDIVISION
 CITY ADDRESS: 1200 WYOMING BLVD. NE

ENGINEERING FIRM: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

OWNER: LOUIS HERRERA
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

ARCHITECT: PICK BENNETT ARCHITECTS
 ADDRESS: 1104 PARK AVE. S.W.
 CITY, STATE: ALB., NM 87102

CONTACT: PATRICK WHELAN
 PHONE: 242-1859
 ZIP CODE: 87102

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

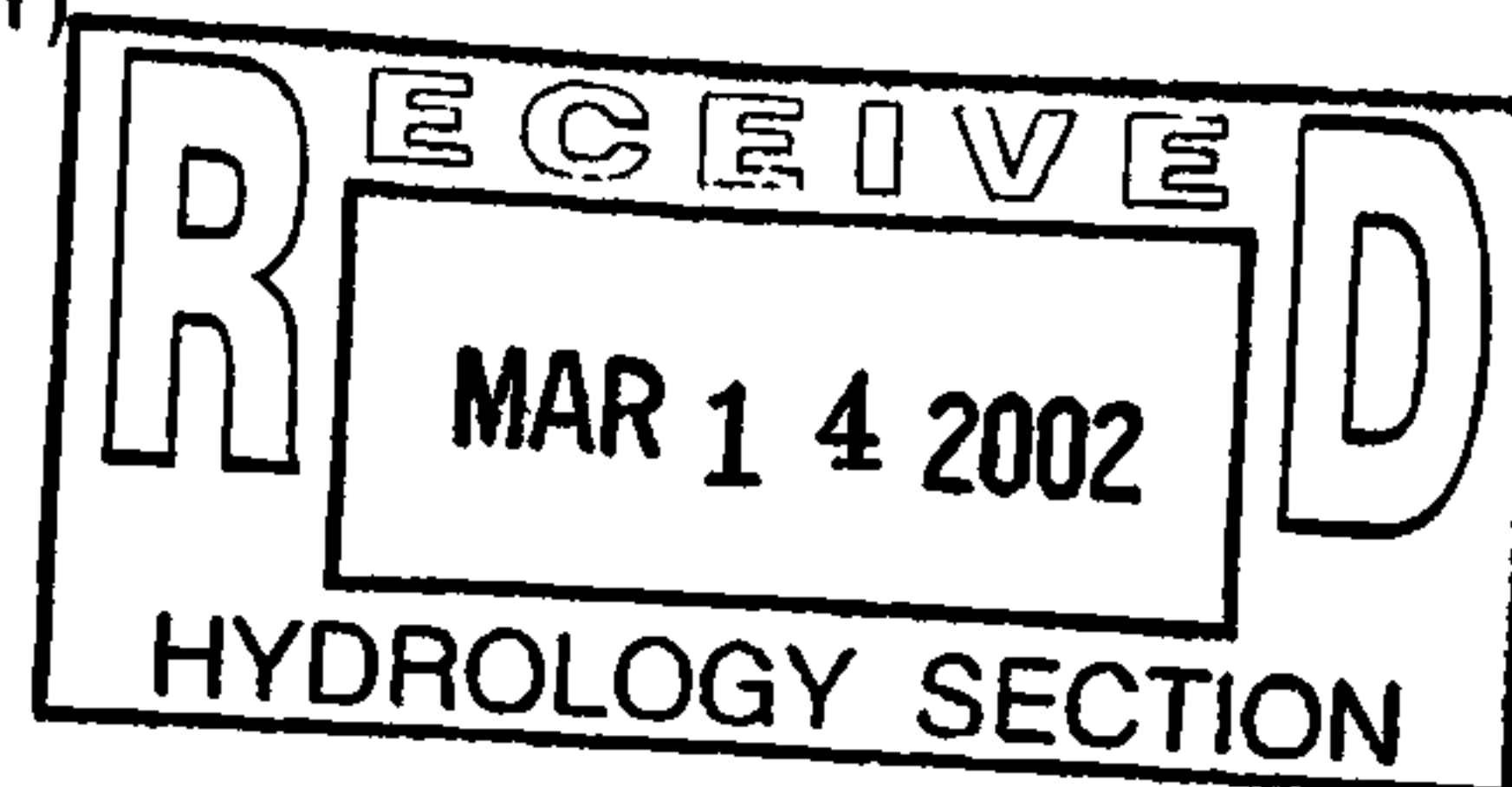
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
☒ NO
☐ COPY PROVIDED



DATE SUBMITTED: 3/14/02 BY: PATRICK WHELAN

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

3/27/02 - Diss'd T.C.L.; 3/27 - C'd Arch-L.N.M.; logged in

TRAFFIC CIRCULATION LAYOUT SITE PLAN CHECKLIST

REVISED DRAFT 9/18/01

The City Zoning Code requires the design of access and circulation for parking areas and drive through facilities to be satisfactory to the Traffic Engineer. The design of these parking areas is a melding of a number of objectives of a development including safety, efficiency, aesthetics, etc. From a vehicular transportation point of view, one of the most critical areas of concern is the location and manner of access from the adjacent street. The interface of the development adjacent to these areas also plays a major role in how safely and efficiently they operate. These guidelines for the layout of the parking areas represent engineering design standards that will result in good operational and safety characteristics. However, with the many variables in design and unique characteristics that can be encountered, the designer may need to investigate other means of satisfying desirable operational and safety characteristics. Prior to embarking on a design for these unusual conditions, the designer should contact the Traffic Engineer to reach agreement on the modifications to these guidelines. Traffic Circulation Layout (TCL) Site Plans are required for commercial and institutional buildings, multi-family residential buildings and commercial additions of 500 square feet or more.

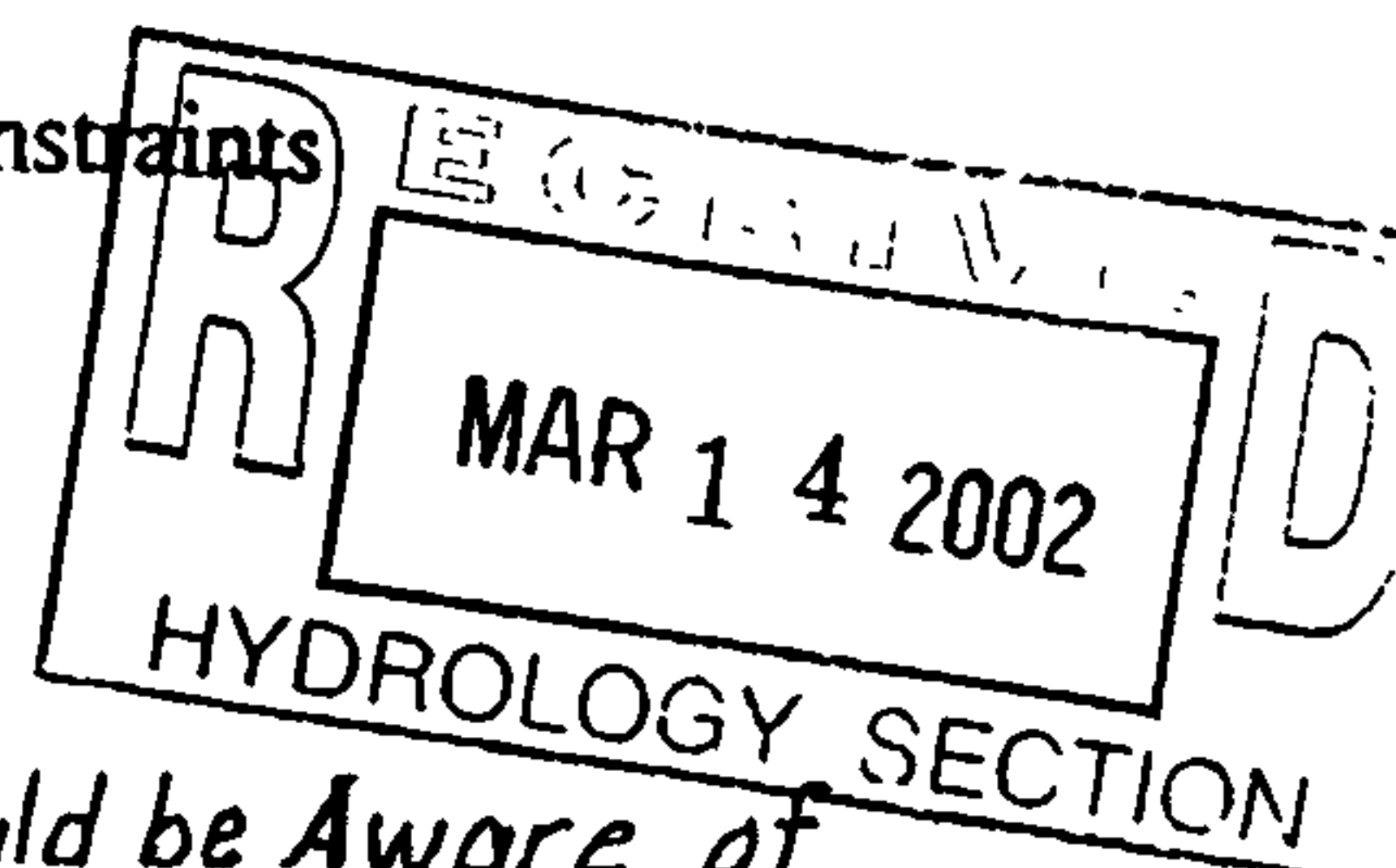
NOTE: The following checklist is intended to be used as a guide for preparing your Traffic Circulation Layout Plan to meet any or all of the traffic requirements. It is only a guide. Some items may not be applicable to your particular project; some items may require more detail.

I. General Information:

- ☒ A. Completed Drainage/TCL Information Sheet-(DPM Volume 1, Chapter 17)
- ☒ B. Planning History-Relationship to approved site plans, masterplans, and/or sector plans site
- ☒ C. Description:
 - ☒ 1. Vicinity map (zone atlas map) showing location of the development in relation to well-known landmarks, municipal boundaries and zone atlas map index number
 - ☒ 2. Address and legal description or copy of current plat
 - ☒ 3. All requests for variances from policies, ordinances or resolutions which are necessary to implement this plan must be specifically identified
 - ☒ 4. Type of development (restaurants, banks, convenience markets, service station, super markets, auto car wash, etc.)
 - ☒ 5. Size of development
 - ☒ 6. Parking spaces required by Zoning Code or prior EPC approved Site Development Plan
 - ☒ 7. Executive Summary-Provide a brief yet comprehensive discussion of the following:
 - ☒ a. General project location
 - ☒ b. Development concept for the site
 - ☒ c. Traffic circulation concept for the site
 - ☒ d. Impact on the adjacent sites
 - ☒ e. Reference any applicable Traffic Impact Studies (TIS) or previously approved plans
 - ☒ f. Variance required to accommodate unusual site constraints

- ☒ Item is acceptable
- ☒ 2. Item Needs Completion
- ☒ 3. N/A

4. Item in the Subsection Needs Completion or Designer Should be Aware of This Item.



2/14/02 1307 (12)44000000 NE - Herrera Serv. Sta. - 1/25/2002

II. Plan Drawings:



Professional Architect's/Engineer's stamp with signature and date
Drafting standards: (Reference City Standards, DPM Volume 2, Chapter 27)

- ✓ 1. North Arrow
- ✓ 2. Scales-recommended engineer scales:
 - a. 1" = 20' for sites less than 5 acres
 - b. 1" = 50' for sites 5 acres or more
- ✓ 3. Legend-see DPM manual, Volume 2, Tables 27.3a-27.3d for recommended standard symbols
- ✓ 4. Plan drawings size: 24" x 36"
- ✓ 5. Notes defining property line, rights-of-way, signs, street lights, fire hydrants, medians, water meter boxes, pavement limits and types, sidewalks, landscape areas, project limits, and all other areas whose definition would increase clarity

C. Existing Conditions:

- ✓ 1. On-site
 - ✓ a. Identification of all existing buildings, doors, structures, sidewalks, curbs, drivepads, walls, etc., and anything that influences parking and circulation of the site
 - ✓ b. Indication of all access existing easements and rights-of-way on or adjacent to the site with dimensions and purpose shown
- 2. Off-site
 - a. Identification of the right-of-way width, medians, curbs, cuts, street widths etc. (both sides of street)

D. ^{NEW} Proposed Conditions:

~~Proposed~~ conditions should generally be superimposed on the drawings showing existing on-site and off-site conditions. Separate sheets may be used for on-site and off-site areas depending upon circumstances.

1. On-site

- ~~a.~~ Indication of all proposed access easements and rights-of-way on or adjacent to the site with dimensions and purpose shown
- b. Slopes

- ~~(1)~~ Parking areas 1% min to 8% max
- (2) Parking areas adjacent to major circulation aisles or adjacent to major entrances 1% min to 6% max, 4% on Major
- ~~(3)~~ Handicap parking 1% min to 2% max
- ~~(4)~~ Handicap ramps with slope of 12:1 must be provided where the sidewalk area where curbs intersect the pedestrian access to the building



Clearly delineate project phasing. A key map is recommended.
Parking stall sizes: (Reference City Standards, DPM, Figure 23.7.1)

Provide on future projects.

sidewalks

Arterials per D.P.M.

c.

Circulation:

(1) General layout dimensions: Figure 23.7.1 provides the layout relationships between parking stalls and aisle widths for both large and small car parking areas

(2) Treatment of access points-Discuss how the curb cuts and/or drivepads comply with Chapter 23, Section 6

(3) Internal aisle connection:

(a) Parking lots with parking spaces, spaces greater than or equal to 100 must have landscaped islands at the ends of each row of parking

(b) Landscape island radius for passenger car is 15 feet (see DPM Figure 23.7.2)

(c) Landscape island radius for delivery trucks, fire trucks, etc. is 25 feet or larger (see DPM figure 23.7.2)

(4) Maximum aisle lengths: Aisle lengths required: 300-400 feet without internal circulation between aisles

(5) Sidewalk connections:

(a) ~~Provide a 4' sidewalk from the public sidewalk to the buildings within the development.~~

(b) Provide a min 5' wide sidewalk when the stall will overhang the sidewalk

(c) Clear pedestrian route accessible should be provided when the parking space may overhang the sidewalk

(6) Curbing: Provide a min 6" or max 8" high concrete barrier curb between landscaping and parking areas and/or drive aisles

(7) Fire and emergency access: Provision for access by fire and emergency vehicles needs to be in accordance with the Albuquerque Fire Plan Checking Division

(8) Service Areas:

(a) Circulation:

(1) Design vehicle route needs to be shown

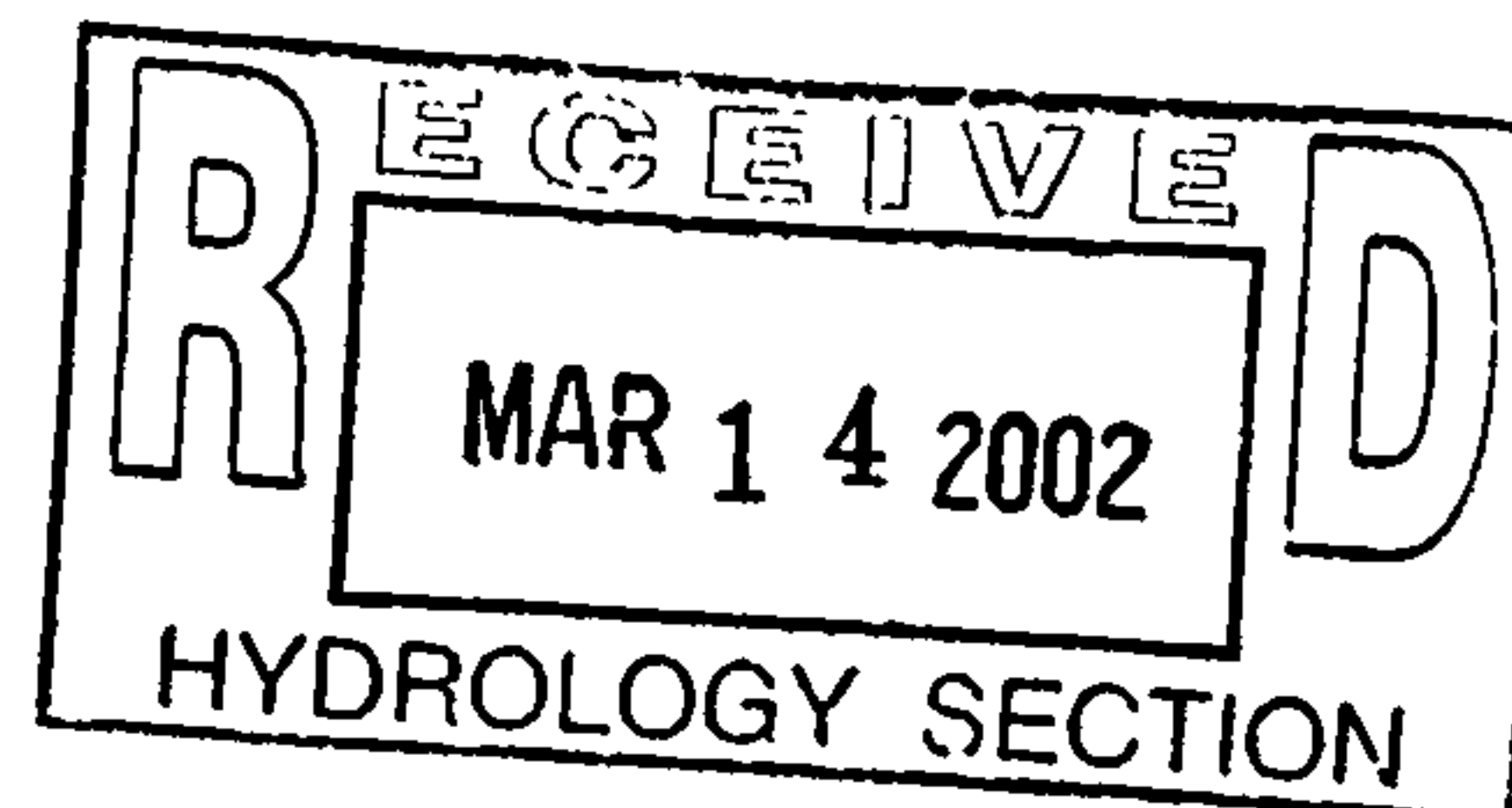
(2) No truck ramps, refuse/compactors or similar facilities permitted within circulation aisle

(3) No backing into or from public street allowed
Service vehicle and/or refuse vehicle maneuvering must be contained on-site

(4) Aisle width required:

1) Two-way traffic is 30'

2) One-way traffic is 20'



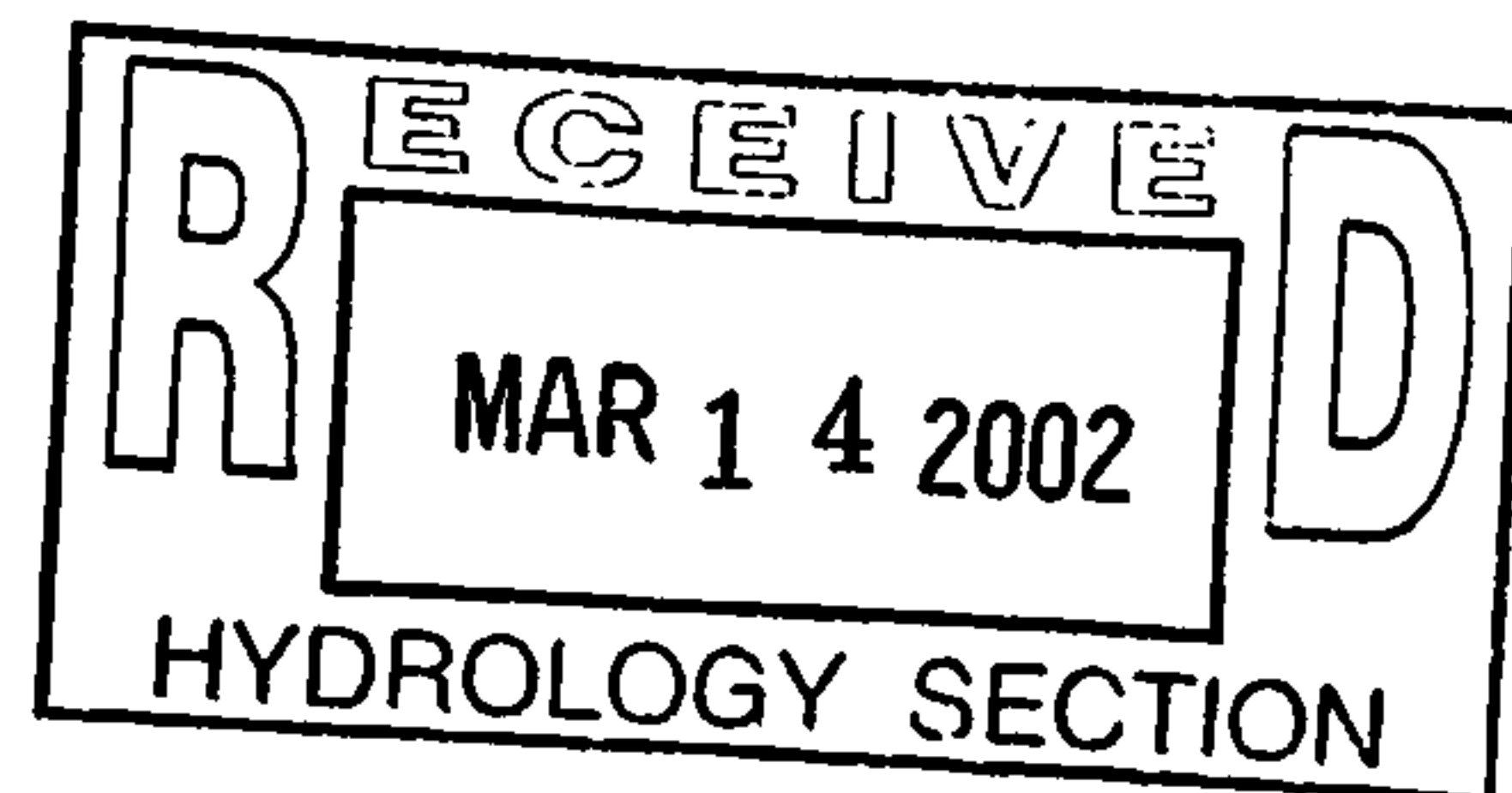
- (9) **Layout of large parking area: (400 spaces or more)**
- (a) **Main aisles should provide good pedestrian and vehicle visibility and access**
- 1) **Parking spaces shall not back into the main aisle**
 - 2) **Provide good pedestrian/vehicle visibility at main aisle**
 - 3) **Twenty-eight foot (28') is the maximum width for main aisle adjacent to building frontages**
- (b) **Ring roads or partial ring roads are required for shopping centers larger than 250,000 square feet of building area**
- 1) **Widths shall be determined based on traffic volumes**
 - 2) **Centers of 500,000 square feet may require turning lanes or additional lanes to accommodate projected traffic volumes**
- (10) **Signing, Striping: Adequate signing and striping needs to be incorporated into the design of the parking area which will help to convey to the motorist the proper use of the facility**

✓
✓
Access point lanes and queuing: (See Table 23.7.1)

Drive through facilities-Discuss compliance with Chapter 23, Section 7

1. Off-site

- a. **Rights-of-way and easements to accommodate existing or proposed public street infrastructures shall be provided when necessary to support this development**
- b. **Handicap ramps are required at street corners if site abuts the corners-**
CORNERS





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

April 3, 2002

Patrick Whelan for Rick Bennett, Reg. Architect
Rick Bennett Architect
1104 Park Ave.S.W.
Albuquerque, NM 87102

Re: Traffic Circulation Layout (TCL) Submittal for Final Building Permit Approval
Kicks 66 Convenience Store, [J20 / D022]
1200 Wyoming N.E.
Architect's Stamp Dated 03/29/02

Dear Mr. Whelan:

The TCL submitted for second review, dated April 01, 2002 is not yet sufficient for acceptance by this office. It requires completion of the items not yet addressed on the most recent submittal by the designer, the checklist or the previous mark ups. Please resubmit revised TCL after addressing marked up comments, along with checklist and all previous red-lined, mark-up copies. Submit package with fully completed Drainage and Transportation Information Sheet, for all upcoming submittals.

Sincerely,

Mike Zamora
Commercial Plan Checker
Development and Building Services
Public Works Department

c: Engineer
Hydrology file
Mike Zamora

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

J-20/D22

PROJECT TITLE: KICK 66 CONVENIENCE STORE ZONE MAP/DRG. FILE #: J-20
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 1, BLOCK 7 MESA VILLAGE SUBDIVISION
CITY ADDRESS: 1200 WYOMING BLVD. NE

ENGINEERING FIRM: BRASHER LORENZ
ADDRESS: 2201 SAN PEDRO
CITY, STATE: ALB., NM

CONTACT: DENNIS LORENZ
PHONE: 888-6088
ZIP CODE: 87110

OWNER: LOUIS HERRERA
ADDRESS: 8608 VINTNER DR. NE
CITY, STATE: ALB., NM

CONTACT: LOUIS HERRERA
PHONE: 783-390-5113
ZIP CODE: 87122

ARCHITECT: PICK BENNETT ARCHITECTS
ADDRESS: 1104 PARK AVE. SW
CITY, STATE: ALB., NM

CONTACT: PATRICK WHELAN
PHONE: 242-1859
ZIP CODE: 87102

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: BROWN DEVELOPMENT
ADDRESS: 1008 PARK AVE. SW
CITY, STATE: ALB., NM

CONTACT: LARRY CHAVEZ
PHONE: 242-1687
ZIP CODE: 87102

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERTIFICATION (TCL)
- ☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

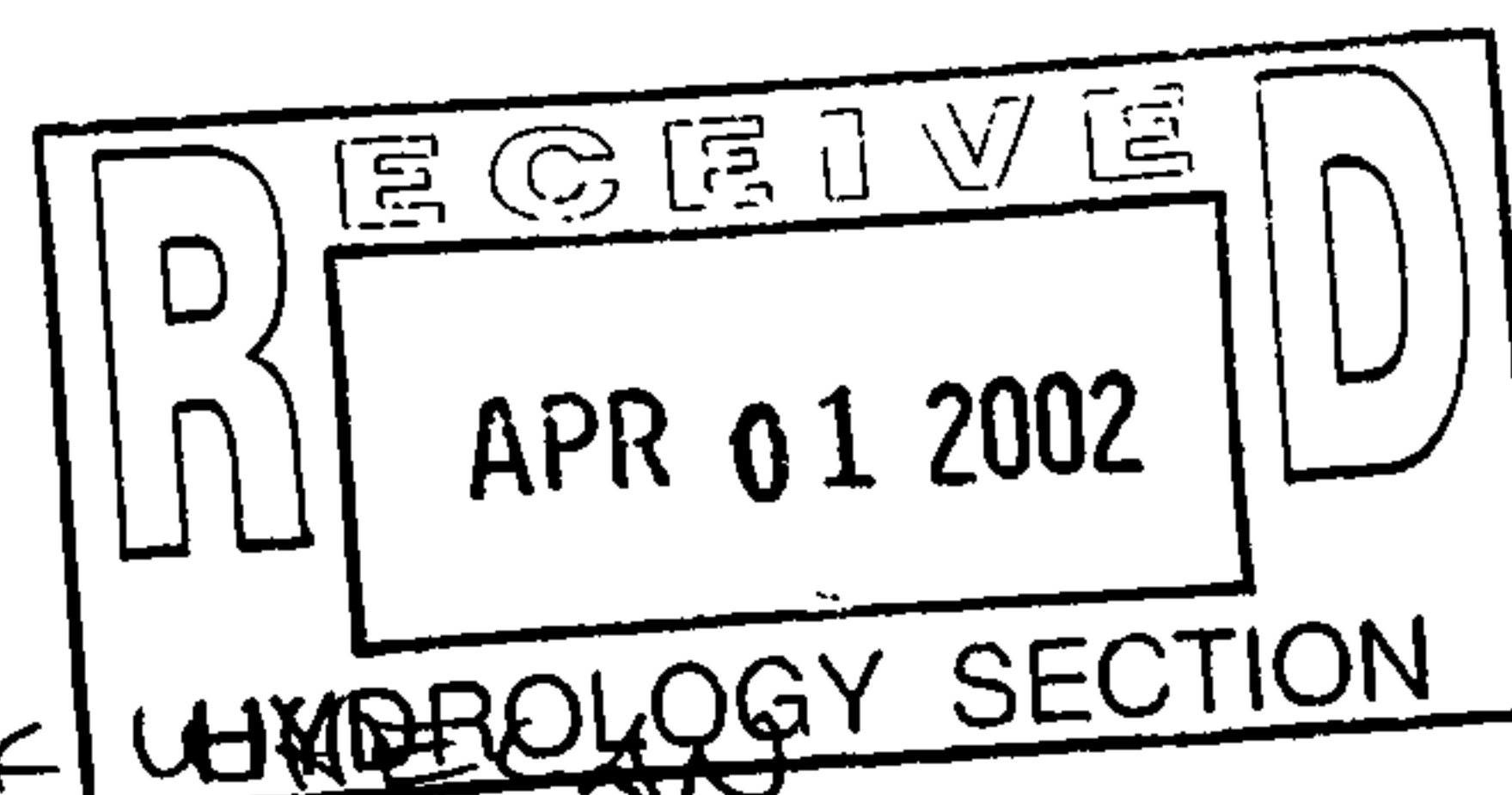
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
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- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 4/1/02 BY: PATRICK WHELAN



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

4/3/02 - Diss'd T.C.L. ; CH Arch - 4/3/02 ; - logged in
L.M.M.(X2)

C. H. T. 11.12.01
U. 11.12.01

TRAFFIC CIRCULATION LAYOUT SITE PLAN CHECKLIST

REVISED DRAFT 9/18/01

The City Zoning Code requires the design of access and circulation for parking areas and drive through facilities to be satisfactory to the Traffic Engineer. The design of these parking areas is a melding of a number of objectives of a development including safety, efficiency, aesthetics, etc. From a vehicular transportation point of view, one of the most critical areas of concern is the location and manner of access from the adjacent street. The interface of the development adjacent to these areas also plays a major role in how safely and efficiently they operate. These guidelines for the layout of the parking areas represent engineering design standards that will result in good operational and safety characteristics. However, with the many variables in design and unique characteristics that can be encountered, the designer may need to investigate other means of satisfying desirable operational and safety characteristics. Prior to embarking on a design for these unusual conditions, the designer should contact the Traffic Engineer to reach agreement on the modifications to these guidelines. Traffic Circulation Layout (TCL) Site Plans are required for commercial and institutional buildings, multi-family residential buildings and commercial additions of 500 square feet or more.

NOTE: The following checklist is intended to be used as a guide for preparing your Traffic Circulation Layout Plan to meet any or all of the traffic requirements. It is only a guide. Some items may not be applicable to your particular project; some items may require more detail.

I. General Information:

1. ☒ Completed Drainage/TCL Information Sheet-(DPM Volume 1, Chapter 17)
Planning History-Relationship to approved site plans, masterplans, and/or sector plans site

2. ☒ Description:

1. ☒ Vicinity map (zone atlas map) showing location of the development in relation to well-known landmarks, municipal boundaries and zone atlas map index number

2. ☒ Address and legal description or copy of current plat

3. ☒ All requests for variances from policies, ordinances or resolutions which are necessary to implement this plan must be specifically identified

4. ☒ Type of development (restaurants, banks, convenience markets, service station, super markets, auto car wash, etc.)

5. ☒ Size of development

6. ☒ Parking spaces required by Zoning Code or prior EPC approved Site Development Plan

7. ☒ Executive Summary-Provide a brief yet comprehensive discussion of the following:

a. ☒ General project location

b. ☒ Development concept for the site

c. ☒ Traffic circulation concept for the site

d. ☒ Impact on the adjacent sites

e. ☒ Reference any applicable Traffic Impact Studies (TIS) or previously approved plans

f. ☒ Variance required to accommodate unusual site constraints

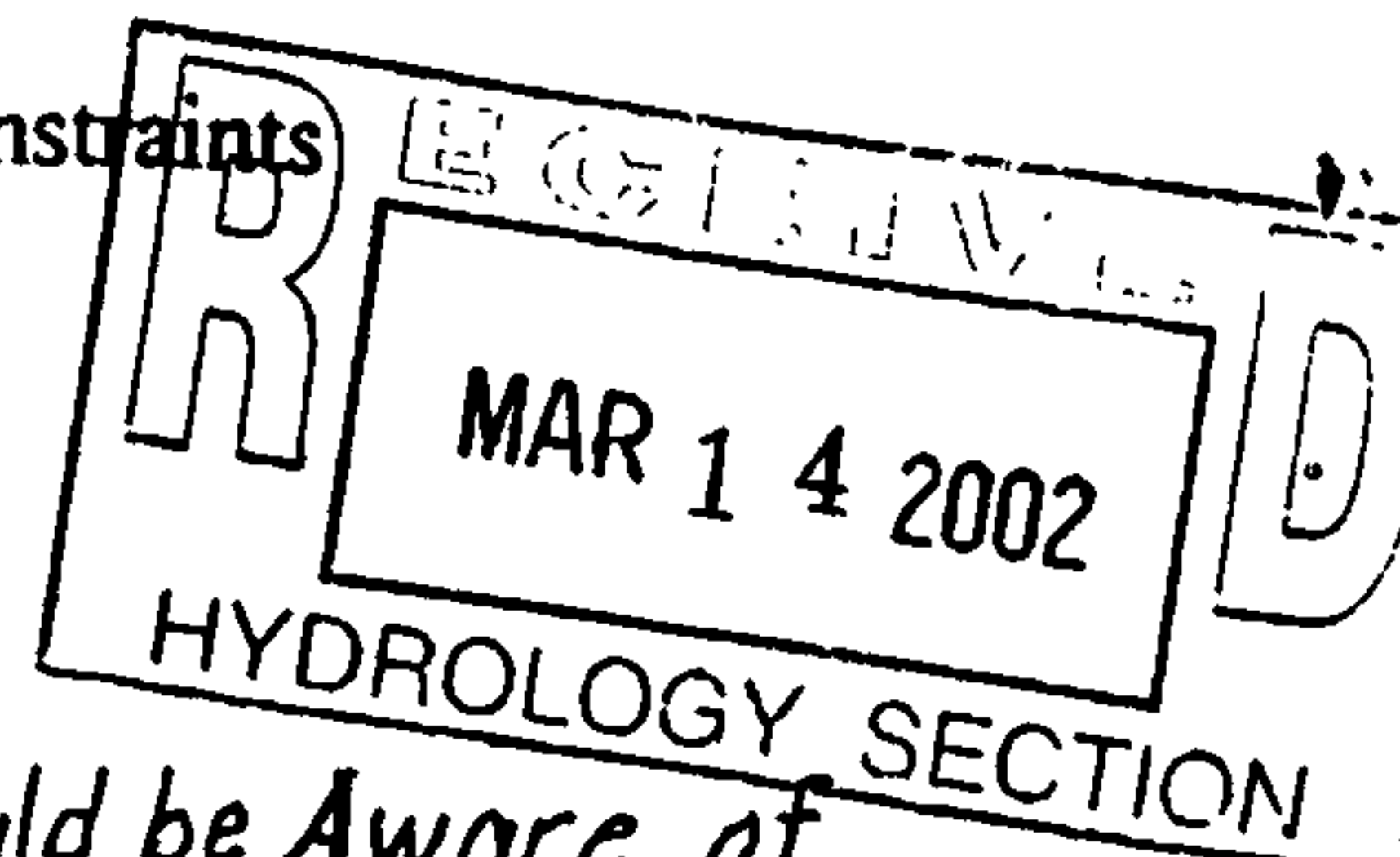
✓ Item is acceptable

② Item Needs Completion

3. N/A

4. Item in the Subsection Needs Completion or Designer Should be Aware of This Item.

2/14/02 1200 Wunmia NE - Herrera Serv. Sta. -



1500/10022

II. Plan Drawings:



Professional Architect's/Engineer's stamp with signature and date

Drafting standards: (Reference City Standards, DPM Volume 2, Chapter 27)

✓ 4.

North Arrow

✓ 5.

Scales-recommended engineer scales:

a. 1" = 20' for sites less than 5 acres

b. 1" = 50' for sites 5 acres or more

✓ 6.

Legend-see DPM manual, Volume 2, Tables 27.3a-27.3d for recommended standard symbols

✓ 7.

Plan drawings size: 24" x 36"

✓ 8.

Notes defining property line, rights-of-way, signs, street lights, fire hydrants, medians, water meter boxes, pavement limits and types, sidewalks, landscape areas, project limits, and all other areas whose definition would increase clarity



Existing Conditions:

✓ 1.

On-site

✓ a.

Identification of all existing buildings, doors, structures, sidewalks, curbs, driveways, walls, etc., and anything that influences parking and circulation of the site

✓ b.

Indication of all access existing easements and rights-of-way on or adjacent to the site with dimensions and purpose shown



Off-site

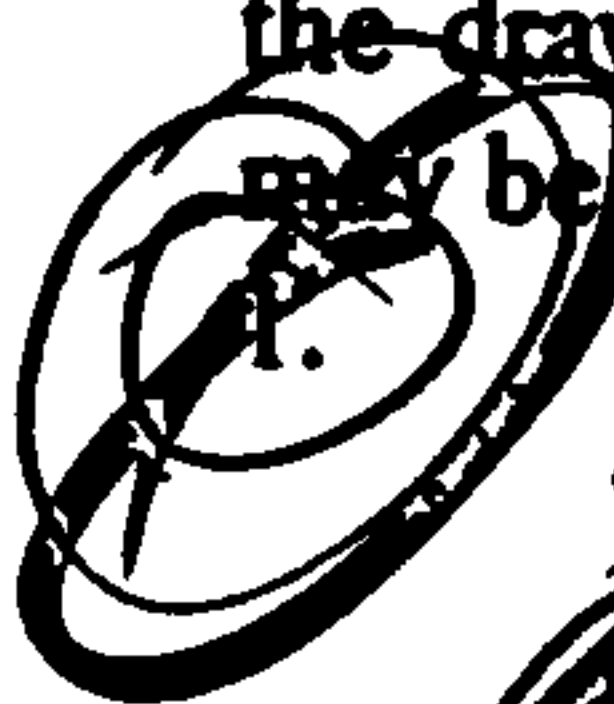
✓ c.

Identification of the right-of-way, median, curbs, cuts, streets, etc. (both sides of street)

NEW

D.

Proposed Conditions: Proposed conditions should generally be superimposed on the drawings showing existing on-site and off-site conditions. Separate sheets may be used for on-site and off-site areas depending upon circumstances.



On-site

✓ 1.

Indication of all proposed access easements and rights-of-way on or adjacent to the site with dimensions and purpose shown

✓ b.

Slopes

✓ (1)

Parking areas 1% min to 8% max

✓ (2)

Parking areas adjacent to major circulation aisles or adjacent to major entrances 1% min to 6% max, 4% on Major

✓ (3)

Handicap parking 1% min to 2% max

✓ (4)

Handicap ramps with slope of 12:1 must be provided where the sidewalk area where curbs intersect the pedestrian access to the building

✓ (5)

✓ (6)

✓ (7)

✓ (8)

✓ (9)

✓ (10)

✓ (11)

✓ (12)

✓ (13)

✓ (14)

✓ (15)

✓ (16)

✓ (17)

✓ (18)

✓ (19)

✓ (20)

✓ (21)

✓ (22)

✓ (23)

✓ (24)

✓ (25)

✓ (26)

✓ (27)

Clearly delineate project phasing. A key map is recommended.

Parking stall sizes: (Reference City Standards, DPM, Figure 23.7.1)

Provide on future projects.

sidewalks
per D.P.M.

e.

Circulation:

(1) General layout dimensions: Figure 23.7.1 provides the layout relationships between parking stalls and aisle widths for both large and small car parking areas

(2) Treatment of access points-Discuss how the curb cuts and/or drivepads comply with Chapter 23, Section 6

(3) Internal aisle connection:

~~(a)~~ Parking lots with parking spaces, spaces greater than or equal to 100 must have landscaped islands at the ends of each row of parking

Landscaped island radius for passenger car is 15 feet (see DPM Figure 23.7.2)

Landscaped island radius for delivery trucks, fire trucks, etc. is 25 feet or larger (see DPM figure 23.7.2)

~~(4)~~ Maximum aisle lengths: Aisle lengths required: 300-400 feet without internal circulation between aisles

(5) Sidewalk connections:

~~(a)~~ Provide a 4' sidewalk from the public sidewalk to the buildings within the development

(b) Provide a min 5' wide sidewalk when the stall will overhang the sidewalk

(b) Clear pedestrian route accessible should be provided when the parking space may overhang the sidewalk

(6) Curbing: Provide a min 6" or max 8" high concrete barrier curb between landscaping and parking areas and/or drive aisles

(7) Fire and emergency access: Provision for access by fire and emergency vehicles needs to be in accordance with the Albuquerque Fire Plan Checking Division

(8) Service Areas:

(1) Circulation:

(2) Design vehicle route needs to be shown

~~(3)~~ No truck ramps, refuse/compactors or similar facilities permitted within circulation aisle

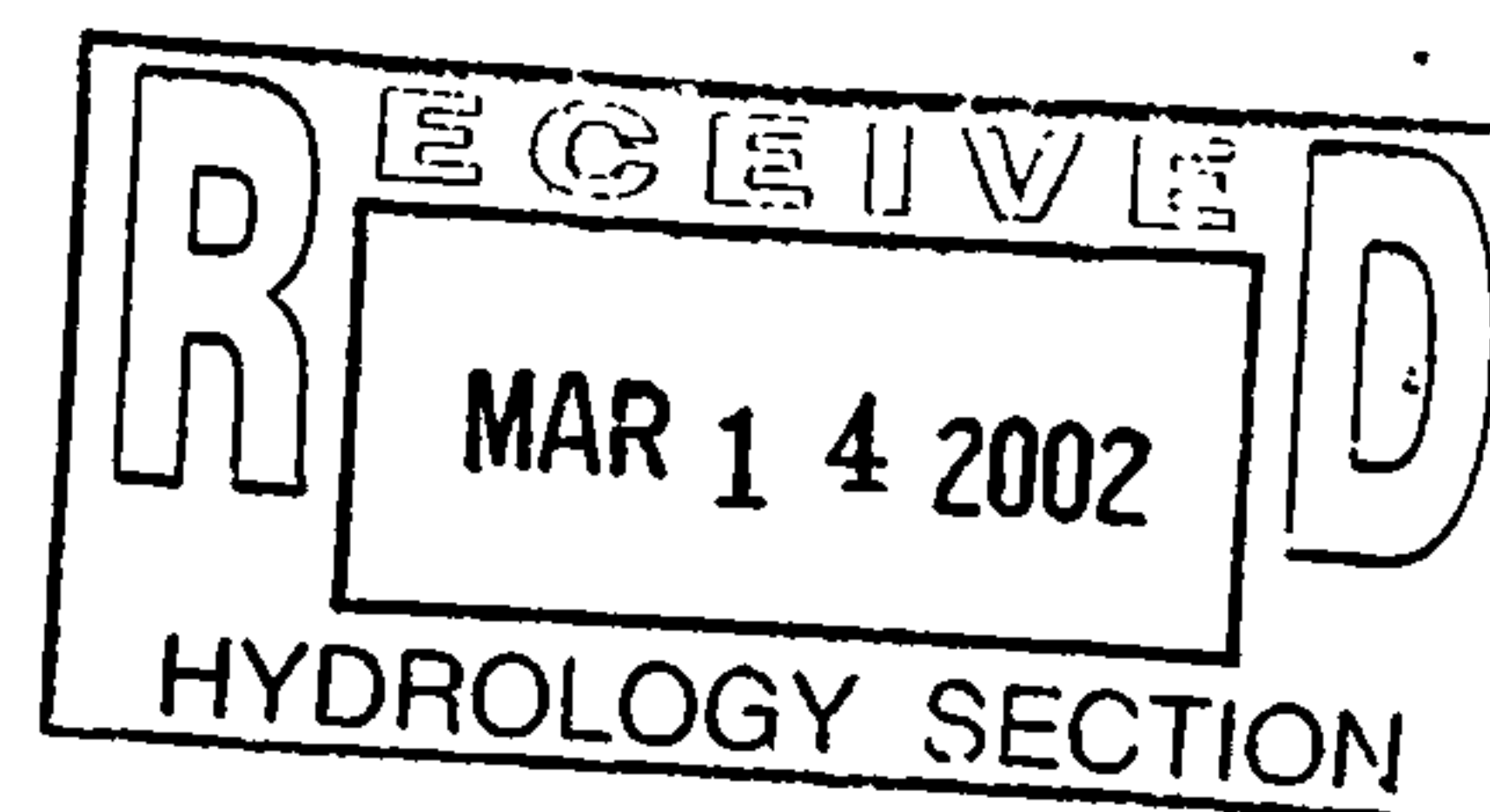
No backing into or from public street allowed


Service vehicle and/or refuse vehicle maneuvering must be contained on-site

Aisle width required:

1) Two-way traffic is 30'

2) One-way traffic is 20'



- (9) Layout of large parking area: (400 spaces or more)
- (a) Main aisles should provide good pedestrian and vehicle visibility and access
- 1) Parking spaces shall not back into the main aisle
 - 2) Provide good pedestrian/vehicle visibility at main aisle
 - 3) Twenty-eight foot (28') is the maximum width for main aisle adjacent to building frontages
- (b) Ring roads or partial ring roads are required for shopping centers larger than 250,000 square feet of building area
- 1) Widths shall be determined based on traffic volumes
 - 2) Centers of 500,000 square feet may require turning lanes or additional lanes to accommodate projected traffic volumes
- (10)  Signing, Striping: Adequate signing and striping needs to be incorporated into the design of the parking area which will help to convey to the motorist the proper use of the facility



Access point lanes and queuing: (See Table 23.7.1)

Drive through facilities-Discuss compliance with Chapter 23, Section 7

1. Off-site

- a. Rights-of-way and easements to accommodate existing or proposed public street infrastructures shall be provided when necessary to support this development
- b. Handicap ramps are required at street corners if site abuts the ~~corners~~
CORNERS

