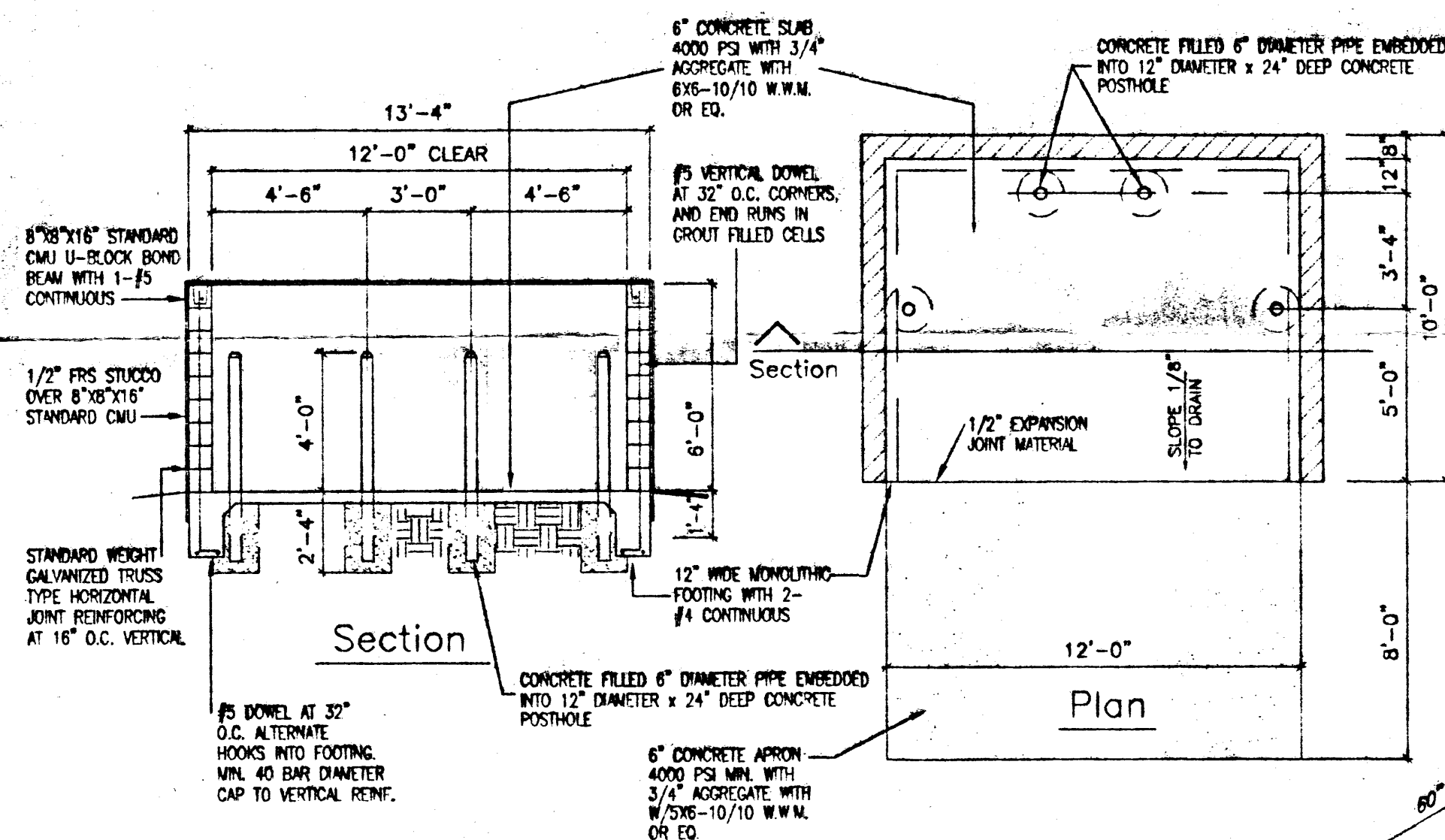


- NOTES:
1. SIGNS SHALL BE VERTICALLY MOUNTED ON A POST OR A WALL AT FRONT CENTER OF ACCESS ASLE, NO MORE THAN 5'-0" HORIZONTALLY FROM THE FRONT OF THE PARKING SPACE AND SET A MINIMUM OF 5'-0" ABOVE FINISH GRADE TO THE BOTTOM OF THE SIGN.
 2. REFER TO SITE PLAN FOR LOCATION OF RESERVED PARKING SPACES.
 3. COLORS - LEGEND AND BORDER - GREEN
WHITE SYMBOL ON BLUE BACKGROUND
BACKGROUND - WHITE

1 CONC. CURB DETAIL, TYPICAL
C1 3/4"=1'-0"

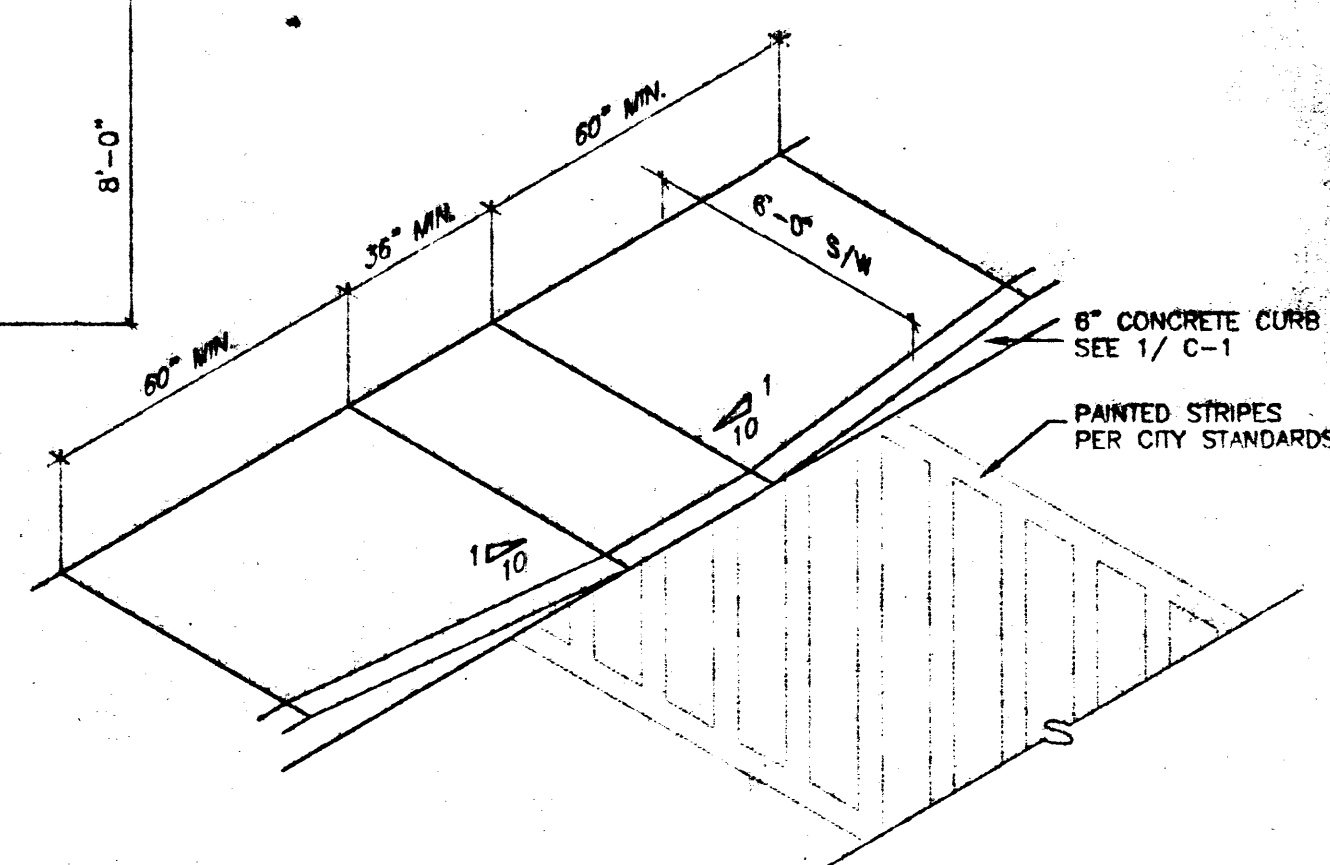
2
C1 ACCESSIBLE PARKING SIGN
N.T.S.



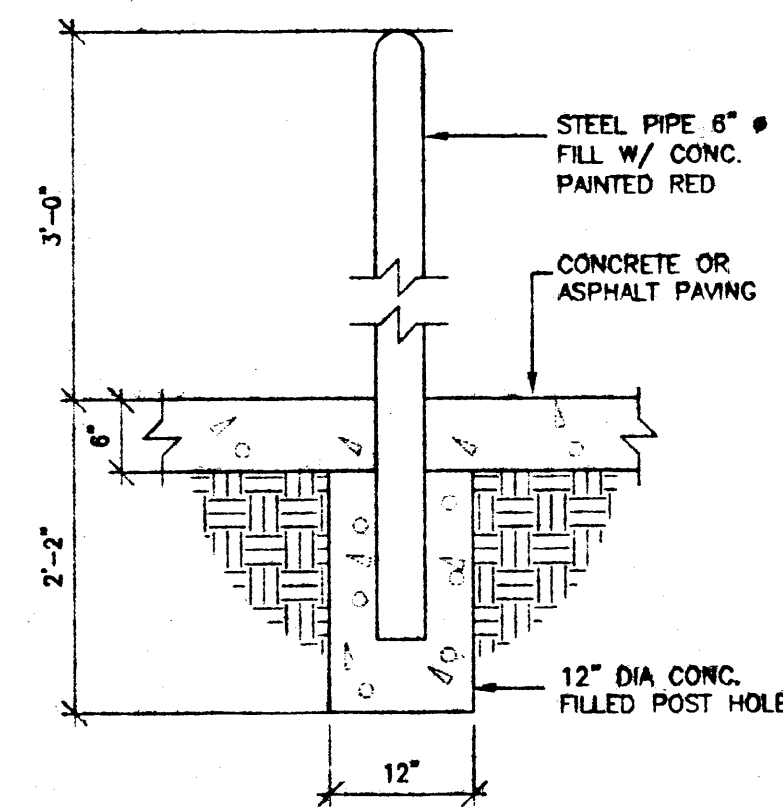
3
C1

TYPICAL SLAB AT DUMPSTER

NTS



4 CURB RAMP
C1 NTS



5 BOLLARD DETAIL
C1 $3/4" = 1'-0"$

UBC CODE DESIGN DATA

OCCUPANCY GROUP = B (RETAIL)
 TYPE OF CONSTRUCTION = WN
AREA OF BUILDING
 CAR WASH AREA = 1,184 S.F.
 C-STORE AREA = 4,600 S.F.
 TOTAL BUILDING AREA 1ST FLOOR = 5,664 S.F. (BLDG. FC
 FUEL CANOPY AREA = 5,600 S.F.

OCCUPANT LOAD
 RETAIL AREA = 1801 / 30 = 60 OCC.
 STORAGE AREA = 1300 / 300 = 4 OCC.
 OFFICE AREA = 93 / 100 = 1 OCC.
 ALL OTHERS = 1200 / 100 = 12 OCC.
 TOTAL = 75 OCC.

SEISMIC ZONE = Z3
 SOIL BEARING CAPACITY = 1,500 PSI
 CONCRETE STRENGTH = 3,000 PSI
 STRESS VALUES = LUMBER: Fb = 1970 M
 = STEEL: 50,000 PSI
 = SPEED = 75 MPH

WIND DESIGN LOAD
 EXPOSURE C
 ROOF DESIGN LOAD = 20 PSF LL, 15 PSF D
 FLOOR DESIGN LOAD = SLAB ON GRADE

ZONING DESIGN DATA

ZONING = C-2
LOT AREA = 43,014 S.F.
AREA OF BUILDING
CAR WASH AREA = 1,164 S.F.
C-STORE AREA = 4,500 S.F.
TOTAL BUILDING AREA = 5,664 S.F. (BLDG. FOOTPRINT)

NET LOT AREA = 43,014 - 5,664 = 37,350 S.F.
LANDSCAPING PROVIDED = 37,350 x 15% = 5,602 S.F.
LANDSCAPING REQUIRED = 7,811 S.F.
PARKING REQUIREMENTS
C-STORE REQUIRED PKGS. = 4,500 S.F./200 = 22 SPACES
PARKING PROVIDED = 14 SPACES (AT C-STORE)
= 18 SPACES (AT FLUE CANOPY)
= 1 SPACE (W/ (3) STACKING
AT CARWASH)
= 31 TOTAL SPACES
(2 H.C. SPACES)

BIKE SPACE REQUIRED = 1 PER 20 CAR SPACES
BIKE SPACE PROVIDED = 3 BIKE SPACES

GENERAL NOTES

1. PAVING SHALL BE MAINTAINED LEVEL AND SERVICEABLE. SHALL BE BLACKTOP OR EQUAL, 2" INCHES OF ASPHALTIC CONCRETE ON A PRIME COAT OVER A FOUR INCH COMPACTED SUBGRADE.
2. LIGHTING- LIGHTING SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOT LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
3. IRRIGATION: SEE LANDSCAPE PLAN
4. PREMISE ID ADDRESS SHALL BE LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY AND SHALL CONTRAST TO ITS BACKGROUND.

NOTE:

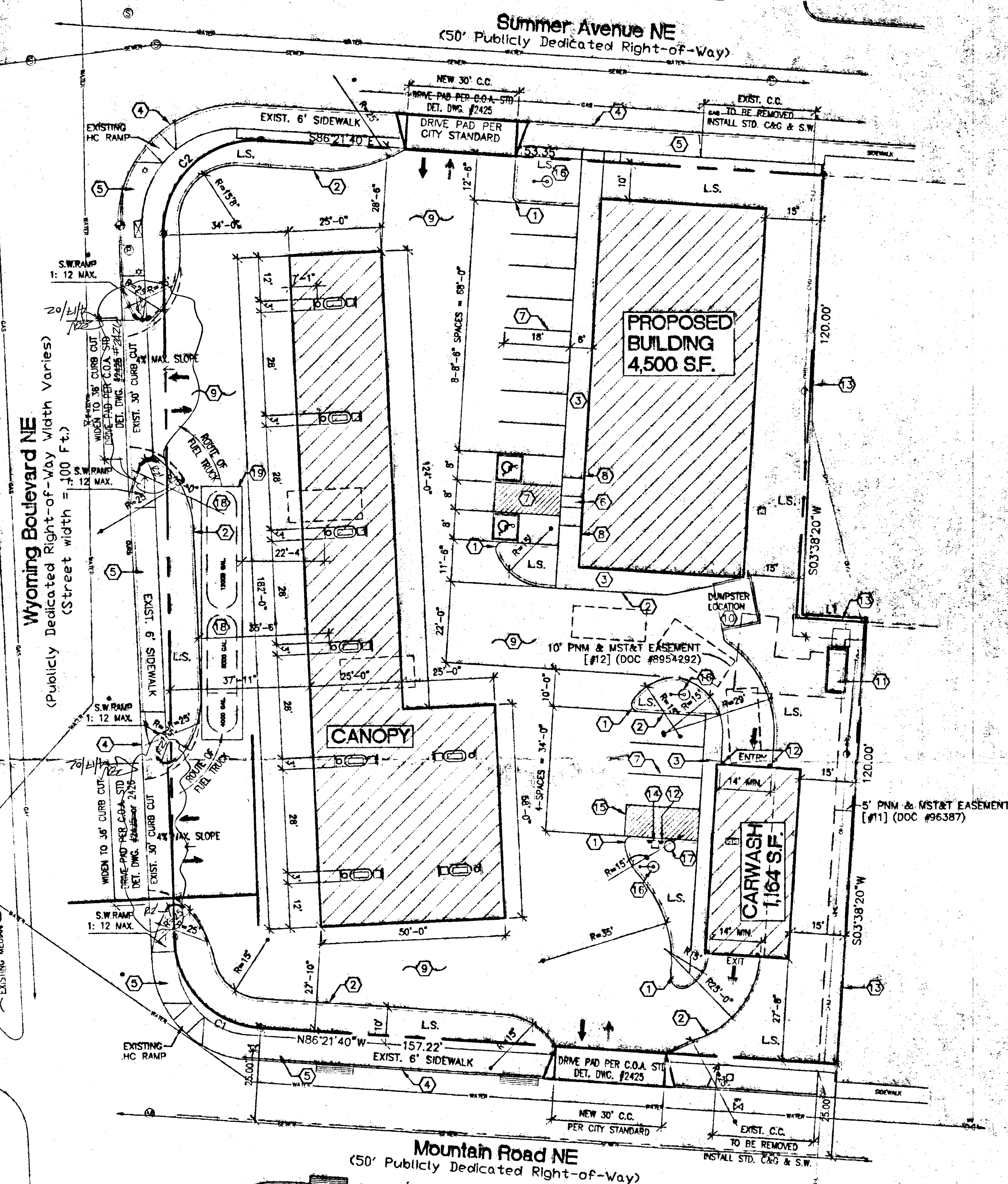
- CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.

- * INSPECTION OF CONSTRUCTION FOR C.O. BY TRANSPORTATION
WILL BE DONE FROM THIS SHEET.

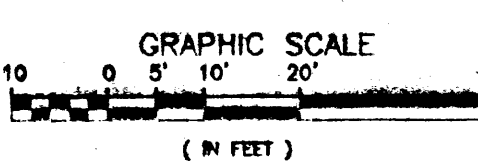
- PATCH AND REPAIR CURBS AND SIDEWALKS AS REQUIRED

CONTRACTOR'S NOTE:

- ANY AGREEMENT WITH THE OWNER, STATING THAT ANY PORTIONS OF PERMIT CONSTRUCTION, CHOSEN TO BE COMPLETED BY THE OWNER, OR HIS SELECTED REPRESENTATIVE, OTHER THAN THE CONTRACTOR, WILL MOST LIKELY RESULT IN DELAY. IN THIS CASE, CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.




SITE PLAN

$$1'' = 20'$$


LEGAL DESCRIPTION

LOT 1
BLOCK 7
MESA VILLAGE SUBDIVISION
ALBUQUERQUE, NM

**TRAFFIC CIRCULATION LAYOUT
APPROVED**

 Signed _____ Date 4/17/02

KEYED NOTES

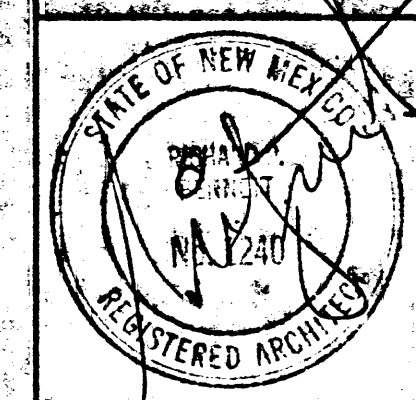
- 1. 2' RADIUS TYP.
- 2. 6" RAISED CONC. CURB. SEE DETAIL 1/C1
- 3. CONC. SIDEWALK. SEE DETAIL 1/C1
- 4. EXISTING CONC. CURB AND GUTTER
- 5. EXISTING 6" CONC. SIDEWALK
- 6. H.C. RAIP. SEE DETAIL 2/C1
- 7. PAINTED STRIPES PER CITY STANDARDS TYP.
- 8. H.C. SIGNAGE (2) TYP., SEE DETAIL 2/C1
- 9. ASPHALT PAVING. SEE DETAIL 1/C1. CAR PARKING AREAS 2' OVER 4' BASE. DRIVE AISLE: 3' OVER BASE
- 10. DUMPSSTER ENCLOSURE SEE DETAIL 3/C1
- 11. EXISTING TRANSFORMER LOCATION
- 12. BOLLARD SEE DETAIL 5/C1
- 13. EXISTING 6' HIGH CMU FENCE ON PROPERTY
- 14. WATER/AIR STATION
- 15. PAINTED STRIPE PARKING FOR WATER/AIR/VACUUM USE
- 16. SITE LIGHT SEE DETAIL 5/C-2
- 17. FUEL TANK (2) CARWASH
- 18. FUEL TANK (2) LORRIES. (TANKS TO BE FILLED AFTER BUSINESS HOURS. NOT DURING BUSINESS HOURS)
- 19. 6" CONC. SLAB (4200 P.S.) OVER FUEL TANKS W/4" BARS AT 12" O.C. MAX.

RECEIVED
APR 21 2002
RWD/DESIGN REVIEW

RECEIVED
JUN 06 2002
HYDROLOGY SECTION

KICKS 66 CONVENIENCE STORE
GAS STATION WITH CARWASH
1200 WYCLIFFE NE, ALBUQUERQUE, NM
PROJECT 2014

REVISION DATE
4-12-02



rick bennett
architect

1104 Park Avenue SW
Albuquerque, New Mexico
87102
(505) 242-1854

DATE
02-01-02

SHEET NUMBER

C-1

GRADING AND DRAINAGE PLAN

PROJECT DESCRIPTION:

Pursuant to the Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Drainage Report outlines the drainage management criteria for controlling developed runoff from the project site. The project consists of the development of the property into an Gas Station/Convenience Store/Car Wash. Paving, landscaping, utility, grading, and drainage improvements will be provided to support the project.

EXISTING CONDITIONS:

The project site is approximately 0.987 acres in size and located on the northeast corner of Wyoming Blvd. and Mountain Rd. The site is presently described as Lots 1-3, 20, 21, 22, Block 7, Mesa Village Subdivision. The site is bounded on the north by Summer Ave., on the west by Wyoming Blvd., on the south by Mountain Rd. and on the east by residential development. The property is presently developed and is an infill site. On-site topography slopes from north to south at approximately 1 percent. No offsite flows enter the property.

As shown by FIRM panel 35001C0358D, the project site is located within zone "x", designating areas determined to be outside a 500-year floodplain.

PROPOSED CONDITIONS:

As shown by the Plan, the project consists of the development of the property into a Gas Station/Convenience Store/Car Wash. Paving, landscaping, and drainage improvements will be constructed as necessary to support the project. The Plan shows the elevations required to properly grade and construct the recommended improvements. The direction of the drainage flows are given by flow arrows.

The site will drain overland to Wyoming and Mountain, respecting historical patterns. The existing street improvements will convey all runoff to an existing series of dropinlets located on Mountain just east of Wyoming. The inlets drain to an existing 36-inch storm drain that flows to the I-40 Channel west of the Wyoming/I-40 interchange.

CALCULATIONS:

The calculations contained herein define the 100-year/6-hour design storm falling within the project area under existing and developed conditions. They hydrology is per "Chapter 22, Development Process Manual, Vol. 2", 1997 revision.

PROJECT DATA:

LEGAL DESCRIPTION:

Lots 1, 2, 3, 20, 21, and 22 of Block 7, MESA VILLAGE, a Subdivision in Albuquerque, Bernalillo County, New Mexico, as shown and designated on the Map of said Blocks, filed in the office of the County Clerk of Bernalillo County, New Mexico on March 17, 1951 in Map Book B1, Page 158.

ADDRESS:

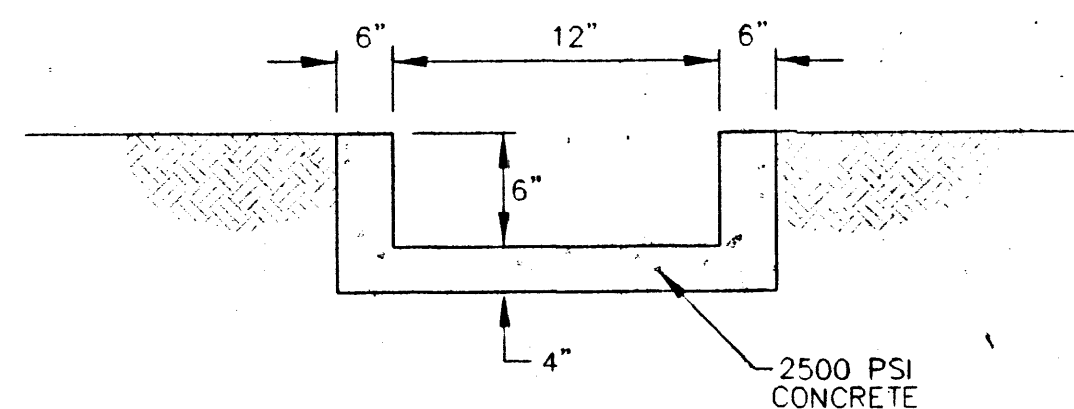
1200 WYOMING BOULEVARD NE

BENCHMARK:

ACS BENCHMARK 10-J19, THE PUBLISHED ELEVATION OF WHICH IS 5360.53 AND IS LOCATED IN THE NORTHWEST QUADRANT OF THE INTERSECTION OF WYOMING BLVD NE AND CONSTITUTION AVE NE

SURVEY:

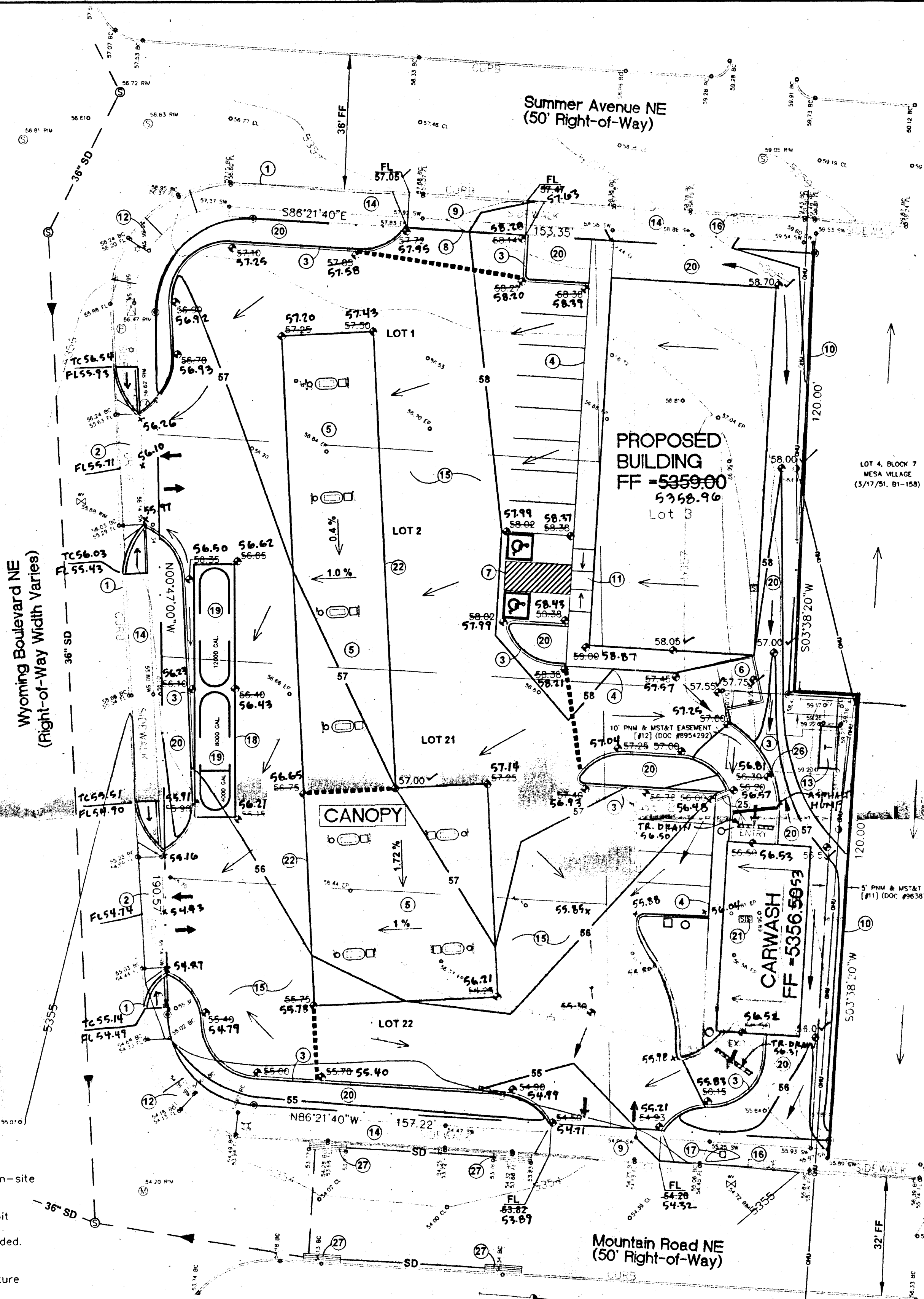
THOMAS W. PATRICK
NEW MEXICO PROFESSIONAL SURVEYOR
NO. 12651



CHANNEL SECTION A
NTS

DRAINAGE PLAN NOTES

- BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
- Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
- This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
- BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown herein does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
- All proposed spot elevations are top of pavement unless noted otherwise.
- See sheet C-1 for detailed site dimensions.



ENGINEER'S CERTIFICATION

I, the undersigned, being a Professional Engineer in the State of New Mexico, do hereby certify that the as-built information shown hereon is based on actual field measurements and visual inspections performed by Joaquin Arguillas Jr., NMPLS 7472. I further certify that the as-built condition of the site as of May 31, 2002 is in substantial compliance with the approved Grading and Drainage Plan prepared by Brasher & Lorenz, Inc., dated 2-05-2002, with the following exception:

- The landscaping improvements have not been completed.

This certification is limited to on-site grading and drainage improvements and does not extend to the structural integrity of the materials used nor the workmanship of the contractor. Any future modifications to the site improvements shall render this certification null and void.

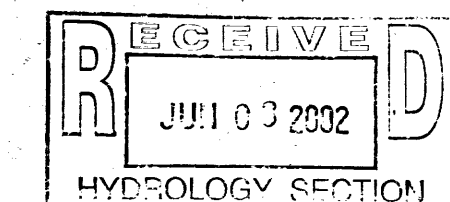
[Signature]
Dennis A. Lorenz, NMCE 6647 Date 5-31-02

KEYED NOTES

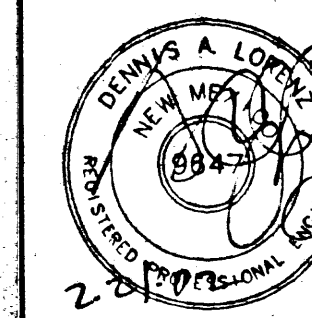
- EXISTING STANDARD CURB AND GUTTER TO REMAIN
- EXISTING DRIVEWAY TO REMAIN. NEW CONC DRIVE
- CONSTRUCT 6" HEADER CURB PER COA STD DWG 2415
- CONSTRUCT TURN DOWN SIDEWALK
- CONSTRUCT CONCRETE PAD & PUMP ISLANDS
- PROPOSED DUMPSTER LOCATION SEE SITE PLAN
- PROPOSED STRIPING SEE SITE PLAN
- REMOVE EXIST. TREES AS NEC TO CONSTRUCT DRIVEPAD
- REMOVE & DISPOSE EXIST. SIDEWALK AND CURB. CONST. DRIVEPAD PER COA STD DWG 2425
- EXISTING CMU WALL TO REMAIN
- CONSTRUCT HANDICAP RAMP SEE SITE PLAN
- EXISTING ACCESSIBLE RAMP
- EXISTING TELEPHONE EQUIPMENT
- EXISTING 6" SIDEWALK
- REMOVE & DISP EXIST ASPHALT PAVEMENT. CONST. NEW PAVEMENT PER GEOTECHNICAL REPORT
- REMOVE & DISPOSE EXIST. DRIVEPAD. REPLACE WITH STD. C & G AND 6" SIDEWALK PER COA STD DWGS 2415 & 2430
- RE-GRADE EX WATER METER & BOX PER COA STD DWG 2361
- 6" CONC SLAB OVER FUEL TANKS SEE SHT C-1
- UNDERGROUND FUEL TANKS
- PROPOSED LANDSCAPING
- EXISTING CLEAN OUTS TO BE REMOVED
- CANOPY OVER PUMP ISLANDS
- WATER/ AIR STATION
- VACUUM
- CONSTRUCT 12" WIDE CHANNEL THRU CURBS SEE SECTION (A)
- PROVIDE 12" DRAINAGE BLOCKOUT IN CURB
- EXISTING DROP INLET

LEGEND

ITEM	EXISTING	PROPOSED
MOUNTABLE CURB	---	---
STD CURB & GUTTER	---	---
DROP INLET	---	---
OVERHEAD ELEC.	OHU	---
UNDERGROUND ELEC.	---	---
GAS, TEL, TV	---	---
FLOWLINE ELEV.	FL 0.14	FL 0.14
TOP OF CURB ELEV.	99.31	99.31
SPOT ELEV. (AS-BLT)	16.7	16.53
SEWER SERVICE	---	---
POWER POLE (GUYED)	PP	---
CENTERLINE	---	---
BLOCK WALL	---	---
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
STREET LIGHT	---	---
FLOW SWALE	---	---
RIDGE LINE	---	---
DIRECTION OF FLOW	---	---



CONVENIENCE STORE & GAS STATION w/ CARWASH FOR LOUIS HERRERA GRADING & DRAINAGE PLAN



BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 220
Albuquerque, New Mexico 87110
Ph: 505-898-6089 Fax: 505-898-6188

DRAWN BY: R.M. DATE: FEBRUARY, 2002
CHECKED BY: D.A.L.
FILE: 02504-BLOCK.DWG SHEET 1 OF 1

GRADING AND DRAINAGE PLAN

PROJECT DESCRIPTION:

Pursuant to the Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Drainage Report outlines the drainage management criteria for controlling developed runoff from the project site. The project consists of the development of the property into an Gas Station/Convenience Store/Car Wash. Paving, landscaping, utility, grading, and drainage improvements will be provided to support the project.

EXISTING CONDITIONS:

The project site is approximately 0.987 acres in size and located on the northeast corner of Wyoming Blvd. and Mountain Rd. The site is presently described as Lots 1-3, 20, 21, 22, Block 7, Mesa Village Subdivision. The site is bounded on the north by Summer Ave., on the west by Wyoming Blvd., on the south by Mountain Rd. and on the east by residential development. The property is presently developed and is an infill site. On-site topography slopes from north to south at approximately 1 percent.

As shown by FIRM panel 35001C0358D, the project site is located within zone "x", designating areas determined to be outside a 500-year floodplain.

PROPOSED CONDITIONS:

As shown by the Plan, the project consists of the development of the property into a Gas Station/Convenience Store/Car Wash. Paving, landscaping, and drainage improvements will be constructed as necessary to support the project. The Plan shows the elevations required to properly grade and construct the recommended improvements. The direction of the drainage flows are given by flow arrows.

The site will drain overland to Wyoming and Mountain, respecting historical patterns. The existing street improvements will convey all runoff to an existing series of dropinlets located on Mountain just east of Wyoming. The inlets drain to an existing 36-inch storm drain that flows to the I-40 Channel west of the Wyoming/I-40 interchange.

CALCULATIONS:

The calculations contained herein define the 100-year/6-hour design storm falling within the project area under existing and developed conditions. They hydrology is per "Chapter 22, Development Process Manual, Vol. 2", 1997 revision.

PROJECT DATA:

LEGAL DESCRIPTION:

Lots 1, 2, 3, 20, 21, and 22 of Block 7, Mesa Village, a Subdivision in Albuquerque, Bernalillo County, New Mexico, as shown and designated on the Map of said Blocks, filed in the office of the County Clerk of Bernalillo County, New Mexico on March 17, 1951 in Map Book B1, Page 158.

ADDRESS:

1200 WYOMING BOULEVARD NE

BENCHMARK:

ACS BENCHMARK 10-J19, THE PUBLISHED ELEVATION OF WHICH IS 5360.53 AND IS LOCATED IN THE NORTHWEST QUADRANT OF THE INTERSECTION OF WYOMING BLVD NE AND CONSTITUTION AVE NE

SURVEY:

THOMAS W. PATRICK
NEW MEXICO PROFESSIONAL SURVEYOR
NO. 12651

CHANNEL SECTION A

NTS

DRAINAGE PLAN NOTES

- BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
- Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
- This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
- BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
- All proposed spot elevations are top of pavement unless noted otherwise.
- See sheet C-1 for detailed site dimensions.

PROJECT HYDROLOGY									
Mesa Village Subdivision									
ZONE:	3								
P ₆₀ HOUR	2.60								
P ₁₀ DAY	4.90								
UNDEVELOPED (ALLOWED):									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	
SITE	0.987	0.00	0.05	0.10	0.84	2.18	4.69	0.179	
DEVELOPED (PROPOSED):									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	
SITE	0.405	0.00	0.02	0.04	0.34	2.18	1.90	0.179	

UNDEVELOPED AREA (AC) MUST = DEVELOPED AREA (AC) PROPOSED

IF NO OFFSITE FLOW, PLEASE STATE AS SUCH ON PLAN.

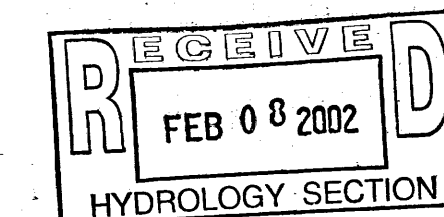
WHAT IS THIS OK PLAN TO DO THIS SECTION VISIBLE

KEYED NOTES

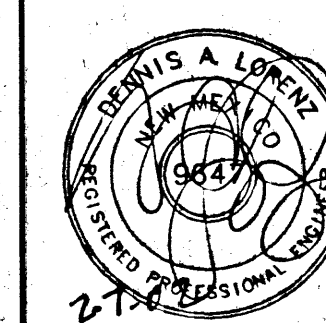
- EXISTING STANDARD CURB AND GUTTER TO REMAIN
- EXISTING DRIVEWAY TO REMAIN
- CONSTRUCT 6" HEADER CURB PER COA STD DWG 2415
- CONSTRUCT TURN DOWN SIDEWALK
- CONSTRUCT CONCRETE PAD @ PUMP ISLANDS
- PROPOSED DUMPSTER LOCATION SEE SITE PLAN
- PROPOSED STRIPING SEE SITE PLAN
- REMOVE EXIST. TREES AS NEC TO CONSTRUCT DRIVEPAD
- REMOVE & DISPOSE EXIST. SIDEWALK AND CURB CONST. DRIVEPAD PER COA STD DWG 2425
- EXISTING CMU WALL TO REMAIN
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- REMOVE & DISPOSE EXIST. DRIVEPAD REPLACE WITH STD C & G AND 6" SIDEWALK PER COA STD DWGS 2415 & 2430
- RE-GRADE EX WATER METER & BOX PER COA STD DWG 2361
- 6" CONC SLAB OVER FUEL TANKS SEE SHT C-1
- UNDERGROUND FUEL TANKS
- PROPOSED LANDSCAPING
- EXISTING CLEAN OUTS TO BE REMOVED
- CANOPY OVER PUMP ISLANDS
- WATER/ AIR STATION
- VACUUM
- CONSTRUCT 12" WIDE CHANNEL THRU CURBS SEE SECTION A
- PROVIDE 12" DRAINAGE BLOCKOUT IN CURB
- EXISTING DROP INLET

LEGEND

ITEM	EXISTING	PROPOSED
MOUNTABLE CURB	---	---
STD CURB & GUTTER	---	---
DROP INLET	---	---
OVERHEAD ELEC.	OHU	---
UNDERGROUND ELEC.	UGT	---
GAS, TEL, TV	---	---
FLOWLINE ELEV.	FL 0.14	FL 0.14
TOP OF CURB ELEV.	99.3	99.31
SPOT ELEV.	16.7	16.7
SEWER SERVICE	---	---
POWER POLE (GUIED)	PP	---
CENTERLINE	---	---
BLOCK WALL	---	---
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
STREET LIGHT	---	☆
FLOW SWALE	---	---
RIDGE LINE	---	---
DIRECTION OF FLOW	---	---

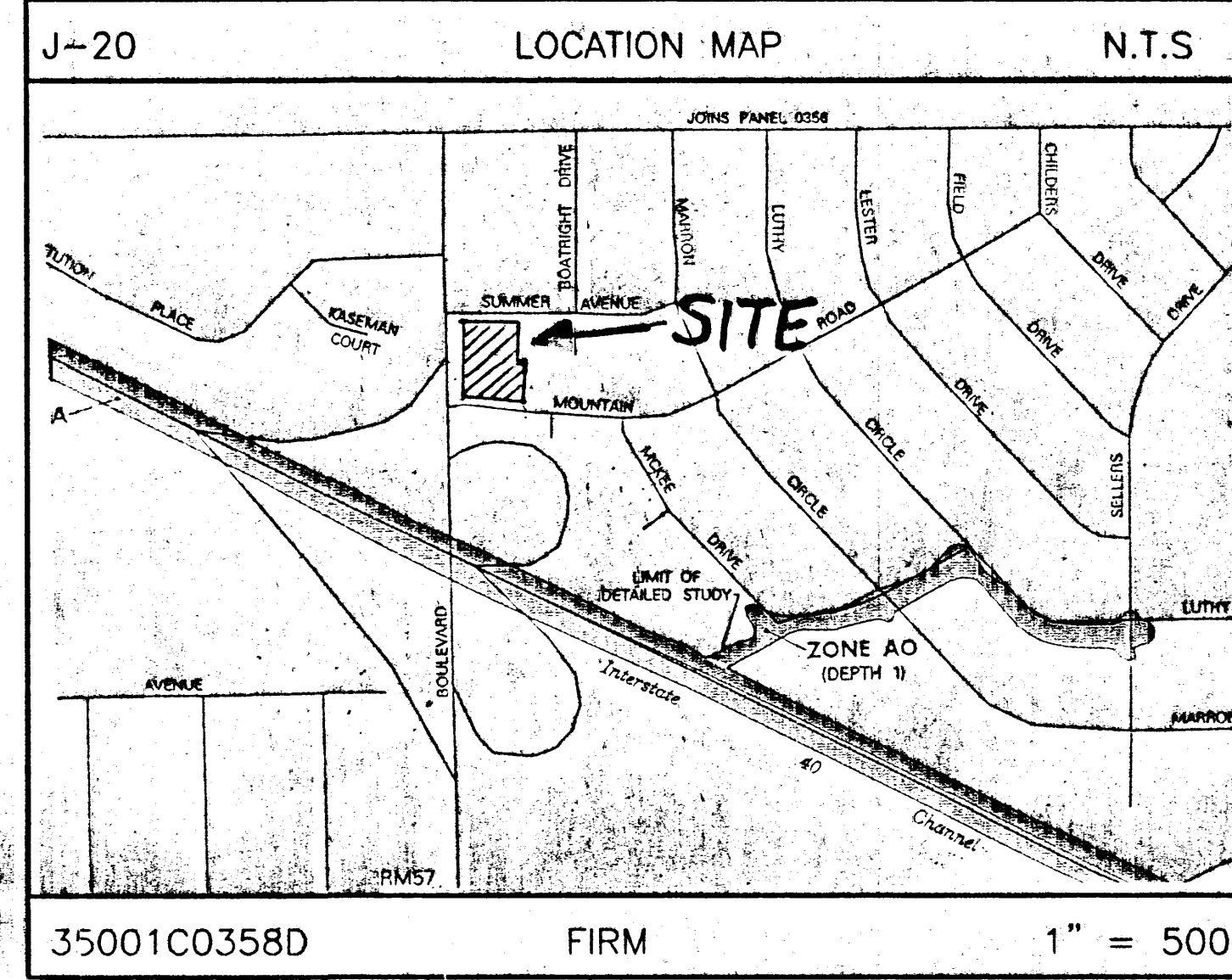
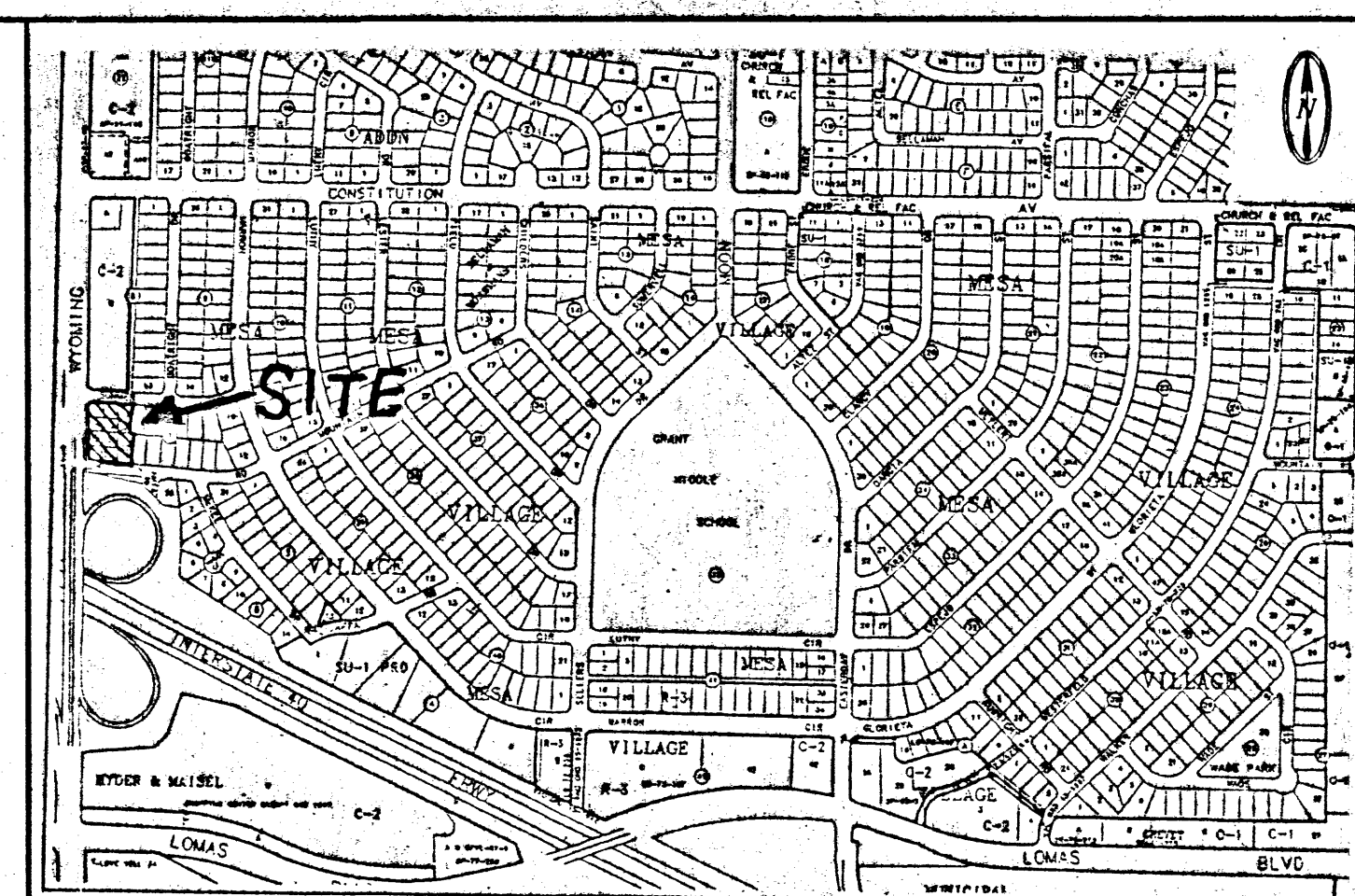


CONVENIENCE STORE & GAS STATION w/ CARWASH FOR LOUIS HERRERA GRADING & DRAINAGE PLAN



BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 220
Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-6188

DRAWN BY: R.M. DATE: FEBRUARY, 2002
CHECKED BY: D.A.L.
FILE: 02504-BLOCK.DWG SHEET 1 OF 1



GRADING AND DRAINAGE PLAN

PROJECT DESCRIPTION:

Pursuant to the Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Drainage Report outlines the drainage management criteria for controlling developed runoff from the project site. The project consists of the development of the property into an Arby's Restaurant and a Kicks 66. Paving, landscaping, utility, grading, and drainage improvements will be provided to support the project.

EXISTING CONDITIONS:

The project site is approximately 0.987 acres in size and located on the northeast corner of Wyoming Blvd. and Mountain Rd. The site is presently described as Lots 1-3, 20, 21, 22, Block 7, Mesa Village Subdivision. The site is bounded on the north by Summer Ave., on the west by Wyoming Blvd., on the south by Mountain Rd. and on the east by residential development. The property is presently developed and is an infill site. On-site topography slopes from north to south at approximately 1 percent.

As shown by FIRM panel 35001C0358D, the project site is located within zone "x", designating areas determined to be outside a 500-year floodplain.

PROPOSED CONDITIONS:

As shown by the Plan, the project consists of the development of the property into a commercial Arby's Restaurant and Kicks 66. Paving, landscaping, and drainage improvements will be constructed as necessary to support the project. The Plan shows the elevations required to properly grade and construct the recommended improvements. The direction of the drainage flows are given by flow arrows.

The plan delineates the general runoff flow direction towards the south. The plan also delineates two separate Basins A & B all of which convey runoff via asphalt swales to a common low point which is the southeast driveway of the site. The site is relatively flat with slopes ranging from 0.5% to 1.2% as shown on the plan.

Once the runoff exits the site at the southeast driveway will enter existing storm drains on the northside of Mountain Road. From there runoff collects in an existing storm drain system that discharges directly into the I-40 concrete channel.

CALCULATIONS:

The calculations contained herein define the 100-year/6-hour design storm falling within the project area under existing and developed conditions. They hydrology is per "Chapter 22, Development Process Manual, Vol. 2", 1997 revision.

PROJECT DATA:

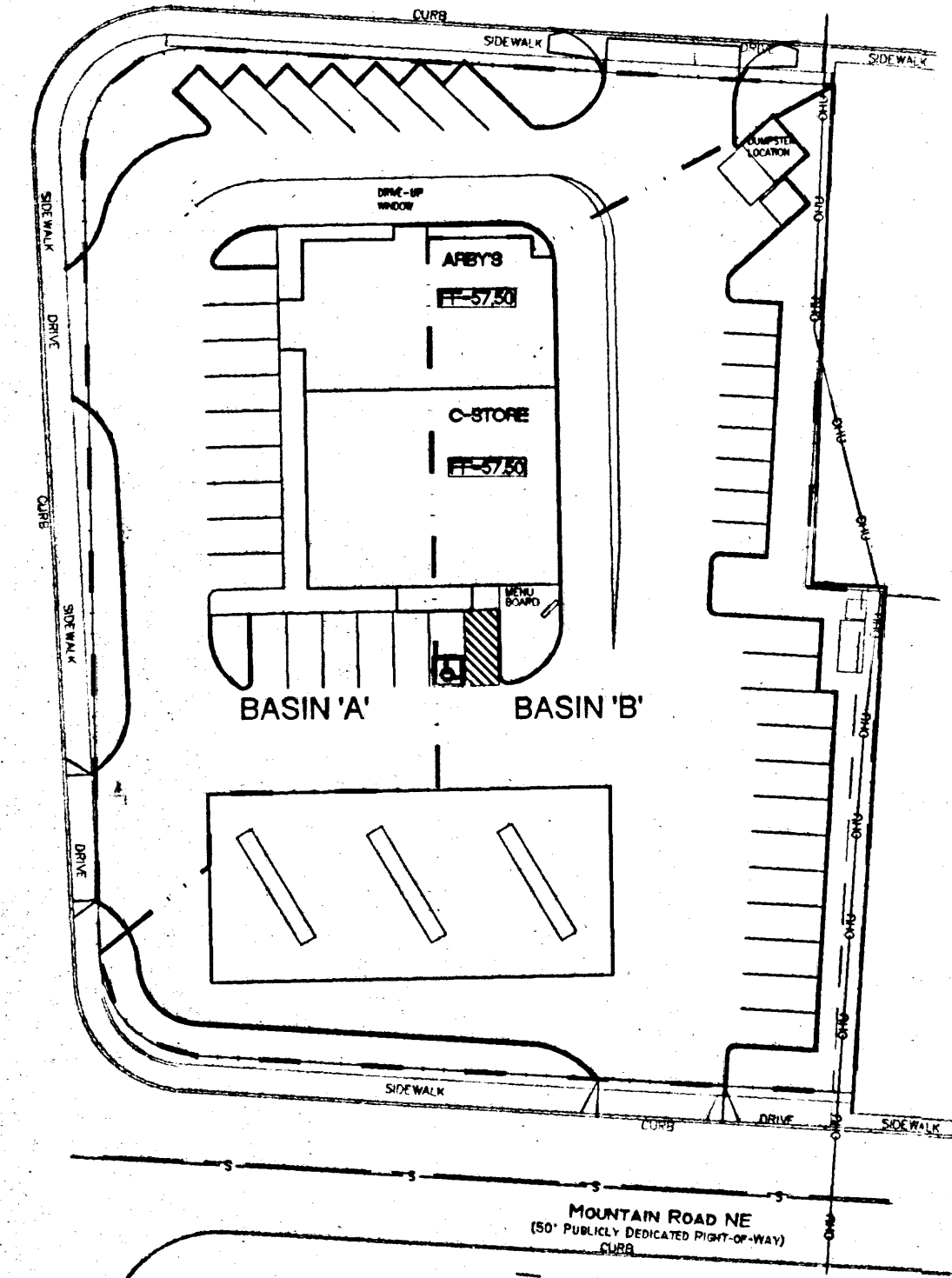
LEGAL DESCRIPTION:

Lots 1, 2, 3, 20, 21, and 22 of Block 7, of Mossman Subdivision of Blocks 7 and 9 of MESA VILLAGE, a Subdivision in Albuquerque, Bernalillo County, New Mexico, as shown and designated on the Map of said Blocks, filed in the office of the County Clerk of Bernalillo County, New Mexico on March 17, 1951 in Map Book B1, Page 158.

ADDRESS:
1200 WYOMING BOULEVARD NE

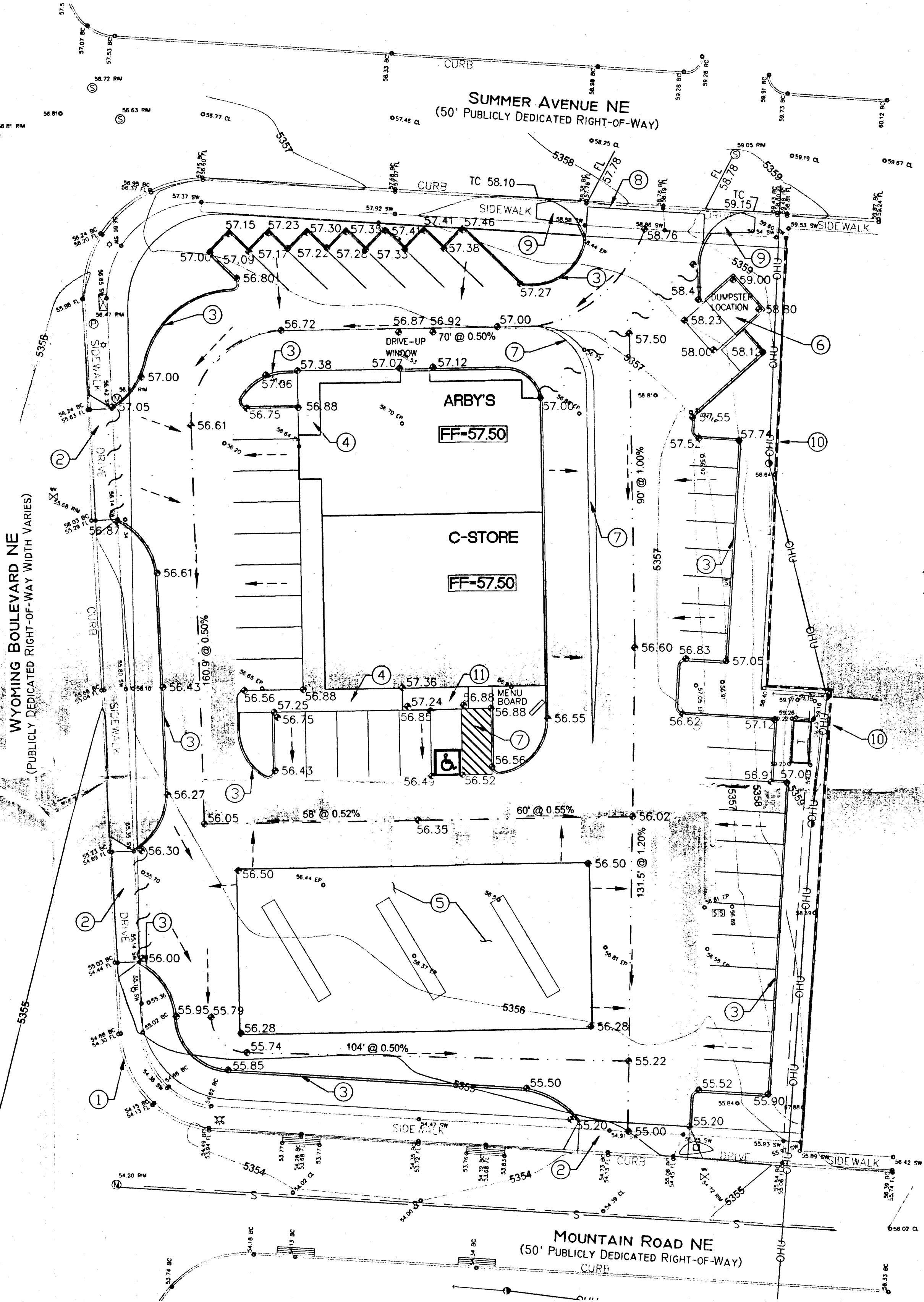
BENCHMARK:
ACS BENCHMARK 10-119, THE PUBLISHED ELEVATION OF WHICH IS 5360.53 AND IS LOCATED IN THE NORTHWEST QUADRANT OF THE INTERSECTION OF WYOMING BLVD NE AND CONSTITUTION AVE NE

SURVEY:
THOMAS W. PATRICK
NEW MEXICO PROFESSIONAL SURVEYOR
NO. 12651



BASIN PLAN

SCALE: 1"=40'



GRADING PLAN

SCALE: 1"=20'

PROJECT HYDROLOGY								
Mesa Village Subdivision								
ZONE:	3							
P ₅ HOUR	2.60							
P ₁₀ DAY	4.90							
UNDEVELOPED (ALLOWED):								
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)
SITE	0.987	0.00	0.05	0.10	0.84	2.18	4.69	0.179
DEVELOPED (PROPOSED):								
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)
A	0.405	0.00	0.02	0.04	0.34	2.18	1.90	0.074
B	0.582	0.00	0.03	0.06	0.49	2.17	2.74	0.105

KEYED NOTES

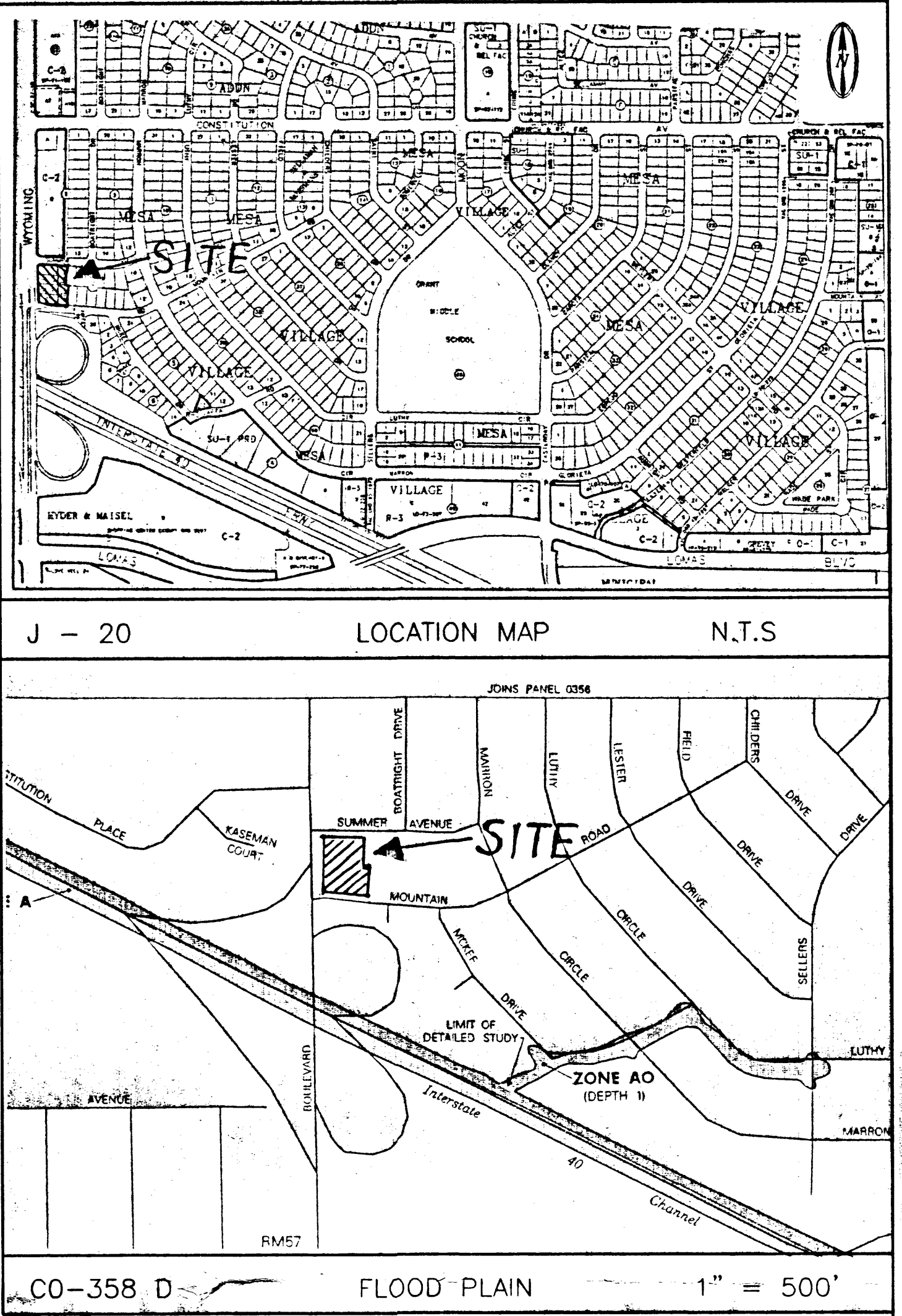
- EXISTING STANDARD CURB AND GUTTER TO REMAIN
- EXISTING DRIVEWAY TO REMAIN
- CONSTRUCT 6" HEADER CURB PER COA STD DWG 2415
- CONSTRUCT TURN DOWN SIDEWALK
- CONSTRUCT CONCRETE PAD
- PROPOSED DUMPSTER LOCATION SEE SITE PLAN
- PROPOSED STRIPING AREAS SEE SITE PLAN
- CONSTRUCT CONCRETE VALLEY GUTTER PER COA STD DWG 2420
- CONSTRUCT HANDICAP RAMP CASE III PER COA STD DWG 2441
- EXISTING CMU WALL TO REMAIN
- CONSTRUCT HANDICAP RAMP SEE SITE PLAN

DRAINAGE PLAN NOTES

- BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
- Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
- This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
- BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.

LEGEND

ITEM	EXISTING	PROPOSED
MOUNTABLE CURB	---	---
STD CURB & GUTTER	---	---
DROP INLET	---	---
OVERHEAD ELEC.	OHU	OHU
UNDERGROUND ELEC.	UGT	UGT
GAS, TEL, TV	---	---
FLOWLINE ELEV.	FL 0.14	FL 0.14
TOP OF CURB ELEV.	99.3	99.31
SPOT ELEV.	16.7	16.7
SEWER SERVICE	---	---
POWER POLE (GUYYED)	PP	PP
CENTERLINE	---	---
RETAINING WALL	---	---
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
STREET LIGHT	---	---
FLOW ARROW	---	---
BASIN BOUNDARY	---	---
CMU WALL	---	---
WATER BLOCK	---	---



FLOOD PLAN

1"=500'

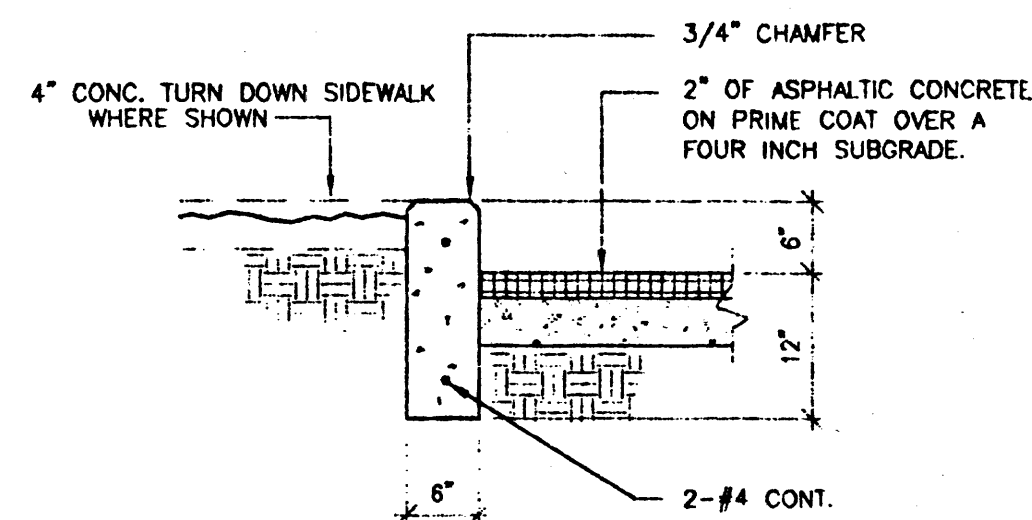
KICKS 66 - ARBYS
GRADING & DRAINAGE PLAN



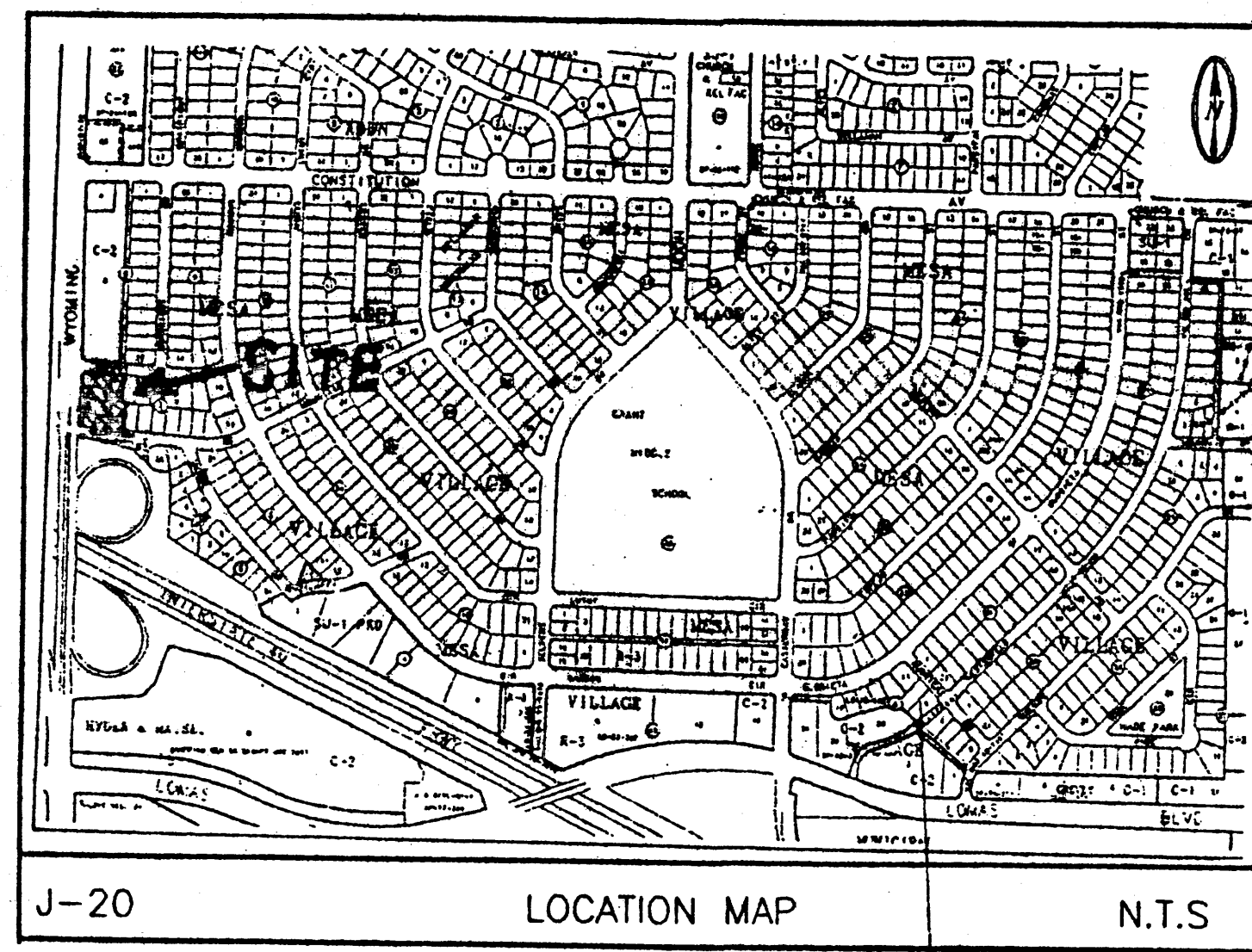
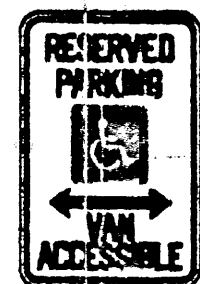
BRASHER & LORENZ
CONSULTING ENGINEERS

2201 San Pedro NE Building 1 Suite 220
Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-6188

DRAWN BY: LAN
CHECKED BY: DAL
FILE: 546C02.DWG
DATE: MARCH, 2001
SHEET 2 OF 2

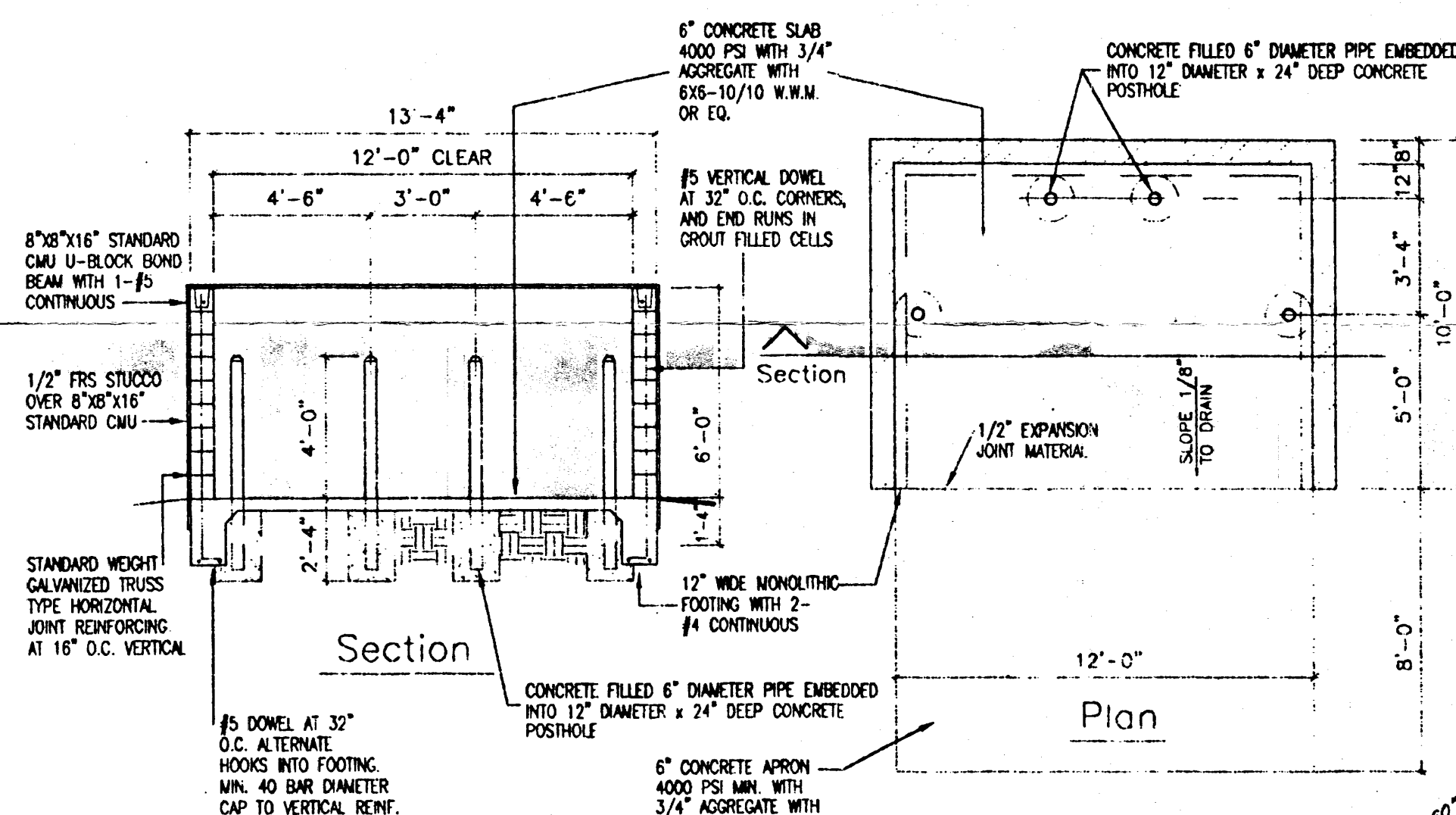


- NOTES:
1. SIGN SHALL BE VERTICALLY MOUNTED ON A POST OR A WALL AT FRONT CENTER OF ACCESS AISLE, NO MORE THAN 5'-0" HORIZONTALLY FROM THE FRONT OF THE PARKING SPACE AND SET A MINIMUM OF 5'-0" ABOVE FINISH GRADE TO THE BOTTOM OF THE SIGN.
 2. REFER TO SITE PLAN FOR LOCATION OF RESERVED PARKING SPACES.
 3. COLORS - LEGEND AND BORDER - GREEN
WHITE SYMBOL ON BLUE BACKGROUND
BACKGROUND - WHITE

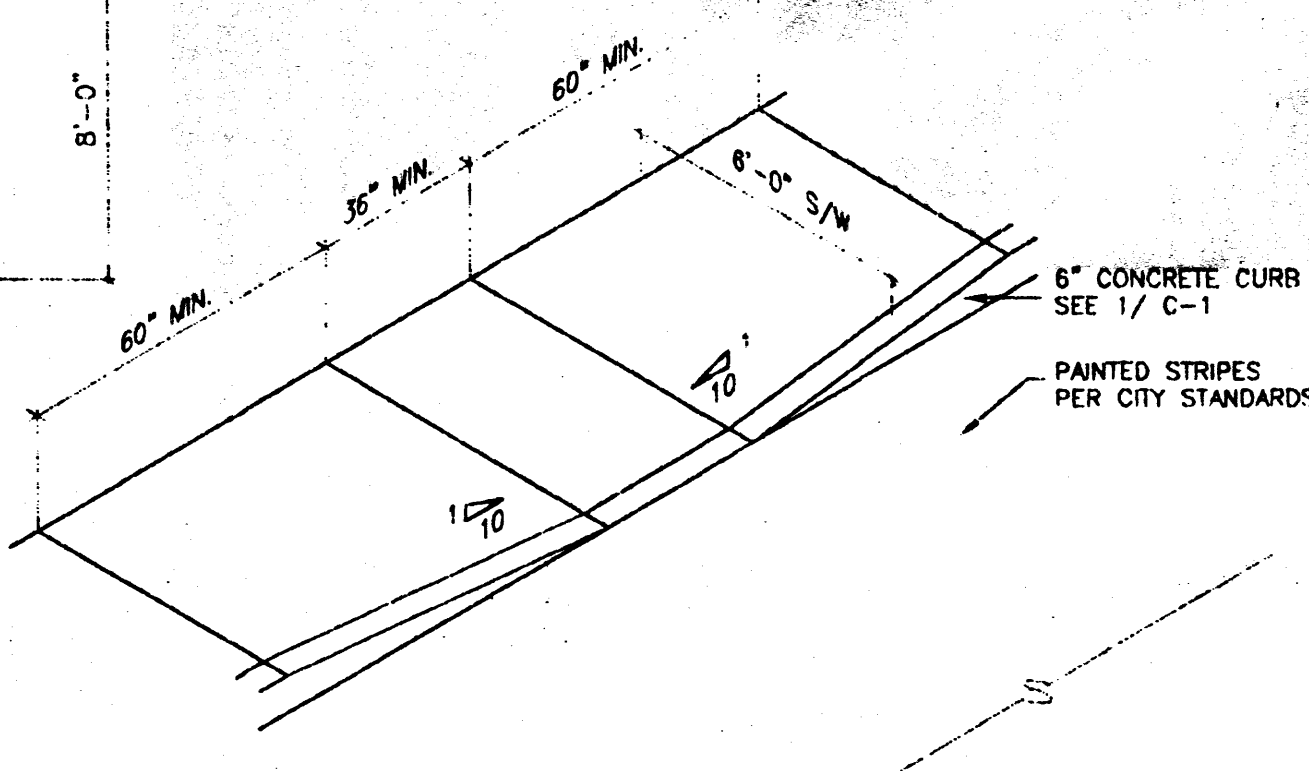


1 CONC. CURB DETAIL TYPICAL
C1 3/4"=1'-0"

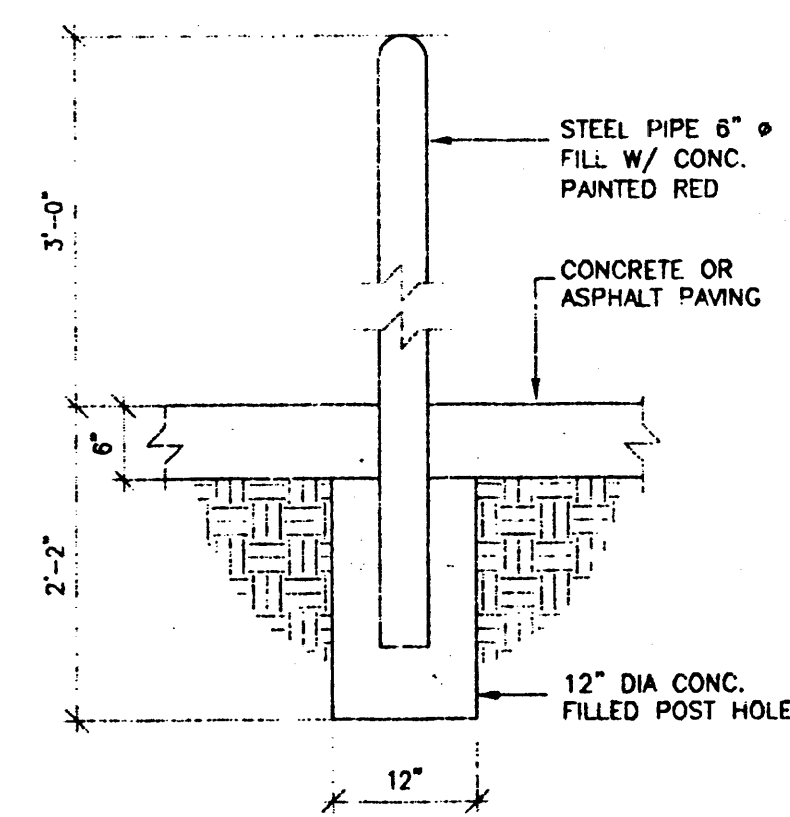
2 ACCESSIBLE PARKING SIGN
C1 N.T.S.



3 TYPICAL SLAB AT DUMPSTER
C1 N.T.S.



4 CURB RAMP
C1 N.T.S.



5 BOLLARD DETAIL
C1 3/4"=1'-0"

DESIGN CRITERIA

UBC CODE DESIGN DATA

OCCUPANCY GROUP	= B (RETAIL)
TYPE OF CONSTRUCTION	= VN
AREA OF BUILDING	= 1,164 S.F.
CAR WASH AREA	= 4,500 S.F.
C-STORE AREA	= 5,664 S.F. (BLDG. FOOTPRINT)
TOTAL BUILDING AREA 1ST FLOOR	= 5,660 S.F.
FUEL CANOPY AREA	= 5,600 S.F.
OCCUPANT LOAD	= 1801 / 30 = 60 OCC.
RETAIL AREA	= 1300 / 300 = 4 OCC.
STORAGE AREA	= 93 / 100 = 1 OCC.
OFFICE AREA	= 1200 / 100 = 12 OCC.
ALL OTHERS	= 75 OCC.
TOTAL	= 75 OCC.
SEISMIC ZONE	= 2B
SOIL BEARING CAPACITY	= 1,500 PSI
CONCRETE STRENGTH	= 3,000 PSI
STRESS VALUES	= LUMBER: F _b = 970 MIN. STEEL: 50,000 PSI SPEED = 75 MPH
WIND DESIGN LOAD	= 20 PSF LL, 15 PSF DL
EXPOSURE C	= SLAB ON GRADE
ROOF DESIGN LOAD	
FLOOR DESIGN LOAD	

ZONING DESIGN DATA

ZONING	= C-2
LOT AREA	= 43,014 S.F.
AREA OF BUILDING	= 1,164 S.F.
CAR WASH AREA	= 4,500 S.F.
C-STORE AREA	= 5,664 S.F. (BLDG. FOOTPRINT)
TOTAL BUILDING AREA	= 5,660 S.F.
NET LOT AREA	= 43,014 - 5,664 = 37,350 S.F.
LANDSCAPING REQUIRED	= 37,350 x 15% = 5,602 S.F.
LANDSCAPING PROVIDED	= 7,611 S.F.
PARKING REQUIREMENTS	= 4,500 S.F. / 200 = 22 SPACES
C-STORE REQUIRED PKG.	= 16 SPACES (AT FUEL CANOPY)
PARKING PROVIDED	= 1 SPACE (W/ (3) STACKING AT CARWASH)
	= 31 TOTAL SPACES (2 H.C. SPACES)
BIKE SPACE REQUIRED	= 1 PER 20 CAR SPACES
BIKE SPACE PROVIDED	= 3 BIKE SPACES

GENERAL NOTES

1. PAVING SHALL BE MAINTAINED LEVEL AND SERVICEABLE, SHALL BE BLACKTOP OR EQUAL, 2" INCHES OF ASPHALTIC CONCRETE ON A PRIME COAT OVER A FOUR INCH COMPACTED SUBGRADE.
2. LIGHTING: LIGHTING SHALL NOT HAVE AN OFFSET LUMINANCE GREATER THAN 1000 FOOT LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
3. IRRIGATION: SEE LANDSCAPE PLAN.
4. PREMISE ID ADDRESS SHALL BE LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY AND SHALL CONTRAST TO ITS BACKGROUND.

NOTE:

*CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.

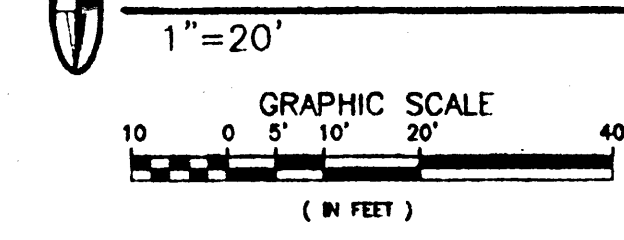
*INSPECTION OF CONSTRUCTION FOR C.O. BY TRANSPORTATION WILL BE DONE FROM THIS SHEET.

*PATCH AND REPAIR CURBS AND SIDEWALKS AS REQUIRED

CONTRACTOR'S NOTE:

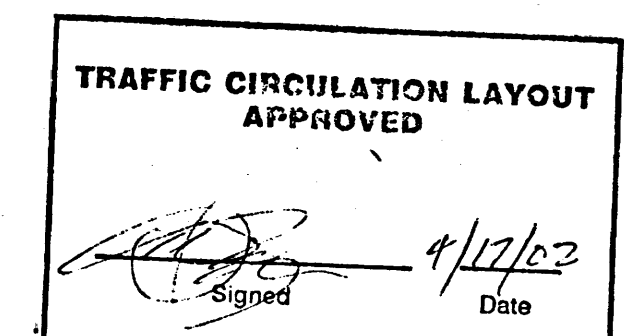
*ANY AGREEMENT WITH THE OWNER, STATING THAT ANY PORTIONS OF PERMIT CONSTRUCTION, CHOSEN TO BE COMPLETED BY THE OWNER, OR HIS SELECTED REPRESENTATIVE, OTHER THAN THE CONTRACTOR, WILL MOST LIKELY RESULT IN DELAY. IN THIS CASE, CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.

SITE PLAN



LEGAL DESCRIPTION

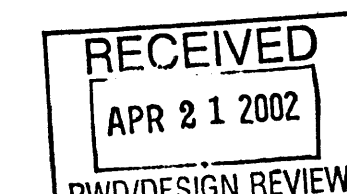
LOT 7
BLOCK 7
MESA VILLAGE SUBDIVISION
ALBUQUERQUE, NM



TRAFFIC CIRCULATION LAYOUT
APPROVED
Date 4/12/02

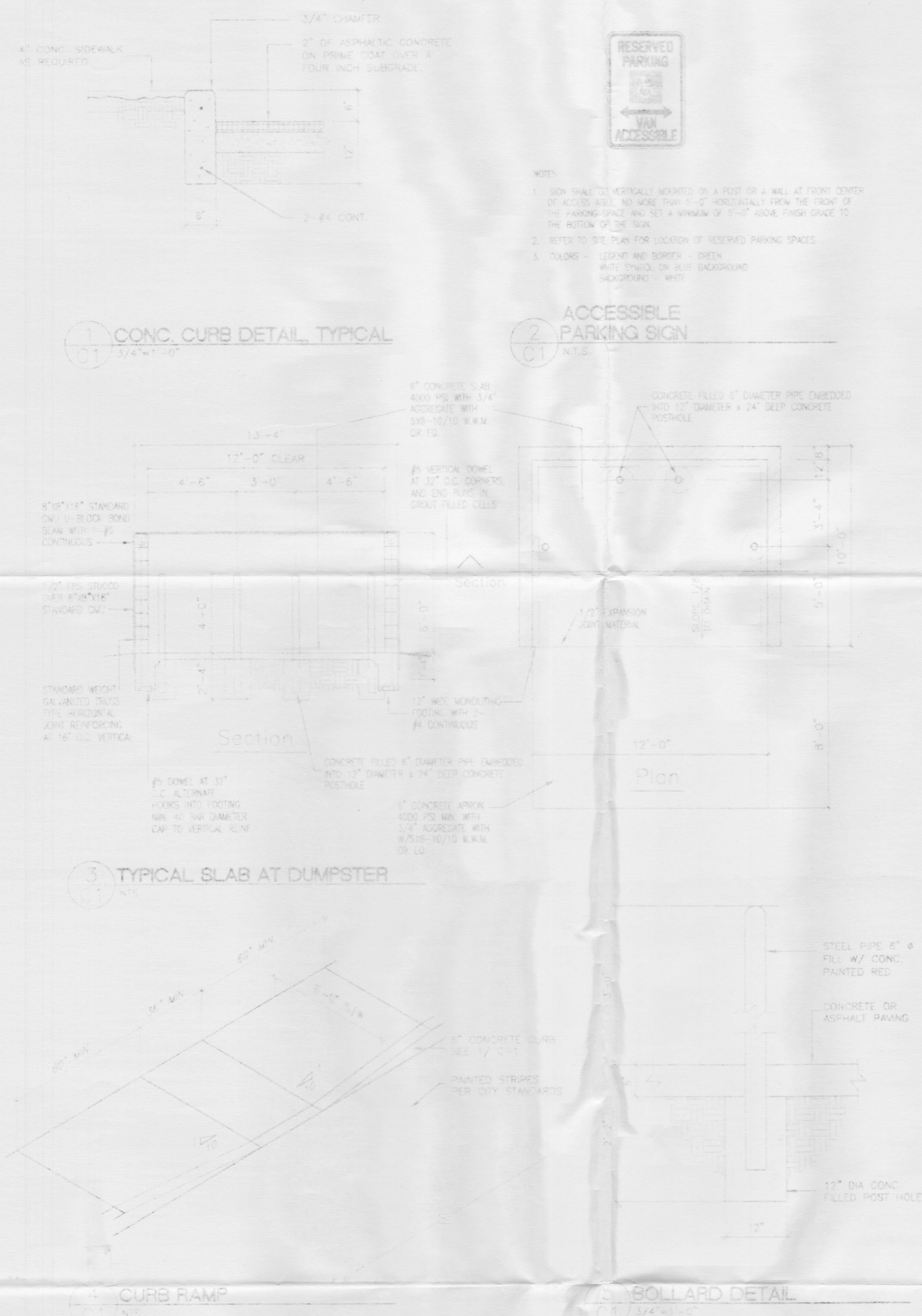
KEYED NOTES

1. 2" RADIUS TYP.
2. 6" RAISED CONC. CURB, SEE DETAIL 1/C1
3. CONC. SIDEWALK, SEE DETAIL 1/C1
4. EXISTING CONC. CURB AND GUTTER
5. EXISTING 6" CONC. SIDEWALK
6. H.C. RAMP, SEE DETAIL 4/C1
7. PAINTED STRIPES PER CITY STANDARDS TYP.
8. H.C. SIGNAGE (2) TYP., SEE DETAIL 2/C1
9. ASPHALT PAVING, SEE DETAIL 1/C1. CAR PARKING: AREAS 2' OVER 4' BASE. DRIVE AISLE: 3' OVER BASE.
10. DUMPSTER ENCLOSURE SEE DETAIL 3/C1
11. EXISTING TRANSFORMER LOCATION
12. BOLLARD SEE DETAIL 5/C1
13. EXISTING 6" HIGH CMU FENCE ON PROPERTY LINE
14. WATER/AIR STATION
15. PAINTED STRIPE PARKING FOR WATER/AIR/VACUUM USE
16. SITE LIGHT SEE DETAIL 5/C-2
17. VACUUM FOR CARWASH
18. FUEL TANK (2) LOCATIONS (TANKS TO BE FILLED AFTER BUSINESS HOURS - NOT DURING BUSINESS HOURS)
19. 6" CONC. SLAB (4000 PSI) OVER FUEL TANKS W/ #4 BARS AT 12" O.C. MAX.



KICKS 66 CONVENIENCE STORE
GAS STATION WITH CARWASH
1200 WYCKING NE, ALBUQUERQUE, NM
PROJECT #044

REVISION DATE	4-12-02
STATE OF NEW MEXICO	REGISTERED ARCHITECT
DATE	02-01-02
SHEET NUMBER	C-1



DESIGN CRITERIA

UBC CODE DESIGN DATA

OCCUPANCY GROUP	= R (RETAIL)
TYPE OF CONSTRUCTION	= IV
AREA OF BUILDING	= 1,164 S.F.
CAR WASH AREA	= 4,500 S.F.
TOTAL BUILDING AREA 1ST FLOOR	= 5,664 S.F. (BLDG. FOOTPRINT)
FUEL CANOPY AREA	= 5,600 S.F.
OCCUPANT LOAD	= 180 / 30 = 60 OCC.
STORAGE AREA	= 1300 / 200 = 4 OCC.
OFFICE AREA	= 25 / 100 = 1 OCC.
NAL. CHANGES	= 1200 / 100 = 12 OCC.
TOTAL	= 75 OCC.
SEISMIC ZONE	= 2B
SOIL BEARING CAPACITY	= 1,500 PSI
CONCRETE STRENGTH	= 3,000 PSI
STRESS VALUES	= LUMBER TB = 970 MIN.
	= STEEL 50,000 PSI
WIND DESIGN LOAD	= SPEED = 75 MPH
EXPOSURE C	
ROOF DESIGN LOAD	= 20 PSF LL, 15 PSF DL
FLOOR DESIGN LOAD	= SLAB ON GRADE

ZONING DESIGN DATA

ZONING	= C-2
LOT AREA	= 43,014 S.F.
AREA OF BUILDING	= 1,164 S.F.
CAR WASH AREA	= 4,500 S.F.
TOTAL BUILDING AREA	= 5,664 S.F. (BLDG. FOOTPRINT)
NET LOT AREA	= 43,014 - 5,664 = 37,350 S.F.
LANDSCAPING REQUIRED	= 37,350 x 15% = 5,602 S.F.
LANDSCAPING PROVIDED	= 7,611 S.F.
PARKING REQUIREMENTS	
C-STORY REQUIRED PARK.	= 4,500 S.F. / 200 = 22 SPACES
PARKING PROVIDED	
	= 14 SPACES (AT C-STORY)
	= 16 SPACES (AT FUEL CANOPY)
	= 1 SPACE (W/ (3) STACKING AT CARWASH)
	= 31 TOTAL SPACES (2 P.C. SPACES)
BIKE SPACE REQUIRED	= 1 PER 20 CAR SPACES
BIKE SPACE PROVIDED	= 3 BIKE SPACES

GENERAL NOTES

- PAVING SHALL BE MAINTAINED LEVEL AND SERVICEABLE. SHALL BE BLACKTOP OR EQUAL 2" INCHES OF ASPHALT CONCRETE ON A PRIME COAT OVER A FOUR INCH COMPACTED SUBGRADE.
- LIGHTING: LIGHTING SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOT LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
- IRRIGATION: SEE LANDSCAPE PLAN.
- PREMISE ID ADDRESS SHALL BE LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY AND SHALL CONTRAST TO ITS BACKGROUND.

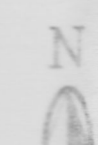
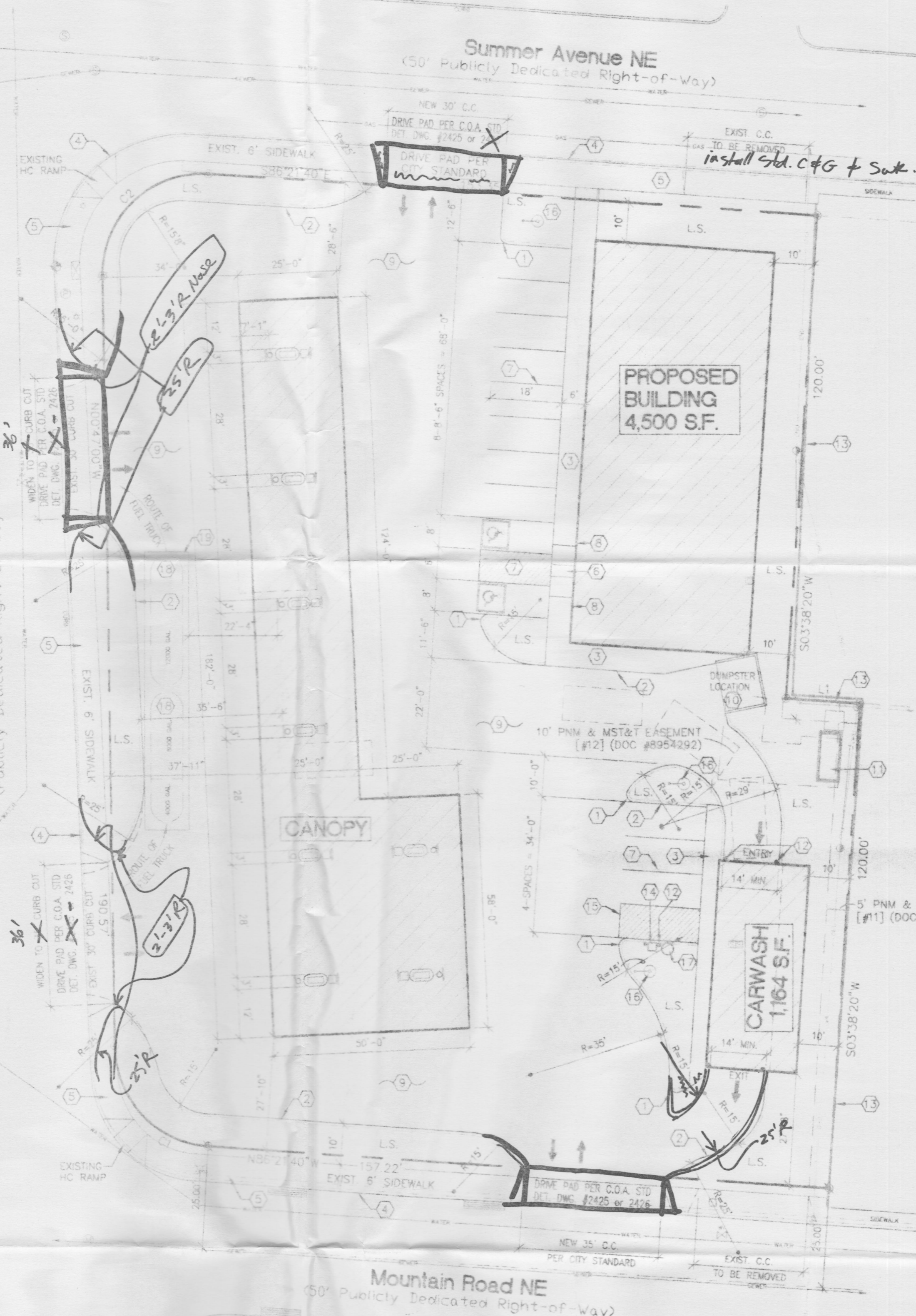
NOTE

- *CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.
- *INSPECTION OF CONSTRUCTION FOR C.O. BY TRANSPORTATION WILL BE DONE FROM THIS SHEET.
- *PATCH AND REPAIR CURBS AND SIDEWALKS AS REQUIRED.

CONTRACTORS NOTE

- *ANY AGREEMENT WITH THE OWNER STATING THAT ANY PORTIONS OF PERMIT CONSTRUCTION CHOSEN TO BE COMPLETED BY THE OWNER, OR HIS SELECTED REPRESENTATIVE, OTHER THAN THAT CONTRACTOR, WILL MOST LIKELY RESULT IN DELAY. IN THIS CASE, CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.

Wyoming Boulevard NE
(Publicly Dedicated Right-of-Way Varies)



SITE PLAN
1"=20'



LEGAL DESCRIPTION

LOT 1
BLOCK
MESA VILLAGE SUBDIVISION
ALBUQUERQUE, NM

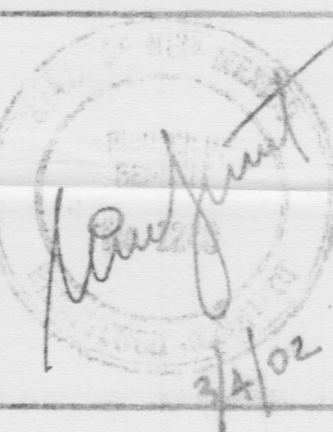
KEYED NOTES

- 2" RADIUS TYP.
- 6" RADIUS CONC. CURB. SEE DETAIL 1/C1
- CONC. SIDEWALK. SEE DETAIL 1/C1
- EXISTING CONC. CURB AND GUTTER
- EXISTING 6" CONC. SIDEWALK
- H.C. RAMP. SEE DETAIL 4/C1
- PAINTED STRIPES PER CITY STANDARDS TYP.
- H.C. SIGNAGE (2) TYP. SEE DETAIL 2/C1
- ASPHALT PAVING. SEE DETAIL 1/C1. CAR PARKING AREAS 2" OVER 4" BASE. DRIVE AISLE: 3" OVER BASE
- DUMPSTER ENCLOSURE SEE DETAIL 3/C1
- EXISTING TRANSFORMER LOCATION
- BOLLARD SEE DETAIL 5/C1
- EXISTING 6" HIGH CMU FENCE ON PROPERTY LINE
- WATER/AIR STATION
- PAINTED STRIPES PARKING FOR WATER/AIR/VACUUM USE
- SITE LIGHT. SEE DETAIL 5/C-2
- VACUUM FOR CARWASH
- FUEL TANK (2) LOCATIONS (TANKS TO BE FILLED AFTER BUSINESS HOURS - NOT DURING BUSINESS HOURS)
- 6" CONC. SLAB (4000 PSI) OVER FUEL TANKS W/ #4 BARS AT 12" O.C. MAX.

is sidewalk const. in addition to curbing in front of Bldg. if so show curb line on callout type of sidewalk and trail, turn down type?

**KICKS 66 CONVENIENCE STORE
GAS STATION WITH CARWASH**
1200 WYOMING NE, ALBUQUERQUE, NM
PROJECT #041

REVISION DATE



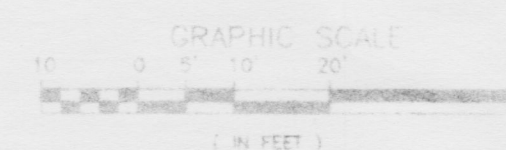
Nick Barnett
architect
1004 Park Avenue SW
Albuquerque, New Mexico
87102
(505) 242-1894

DATE
02-01-02

SHEET NUMBER
C-1

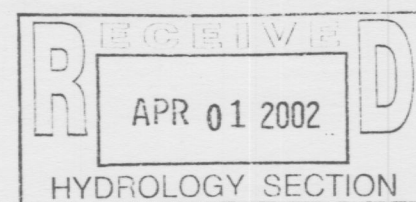


SITE PLAN



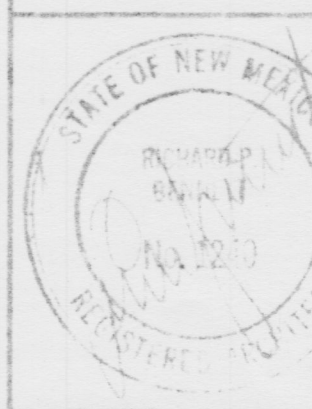
KEYED NOTES

4/3/02



KICKS 66 CONVENIENCE STORE
GAS STATION WITH CARWASH
1200 WYOMING NE, ALBUQUERQUE, NM
505.261.4014

REVISION DATE
3-29-02



rick bennett
architects

1104 Oak Avenue 3N
Albuquerque, New Mexico
87102
(505) 242-8594

DATE 02-01-02

CASE NUMBER

C-