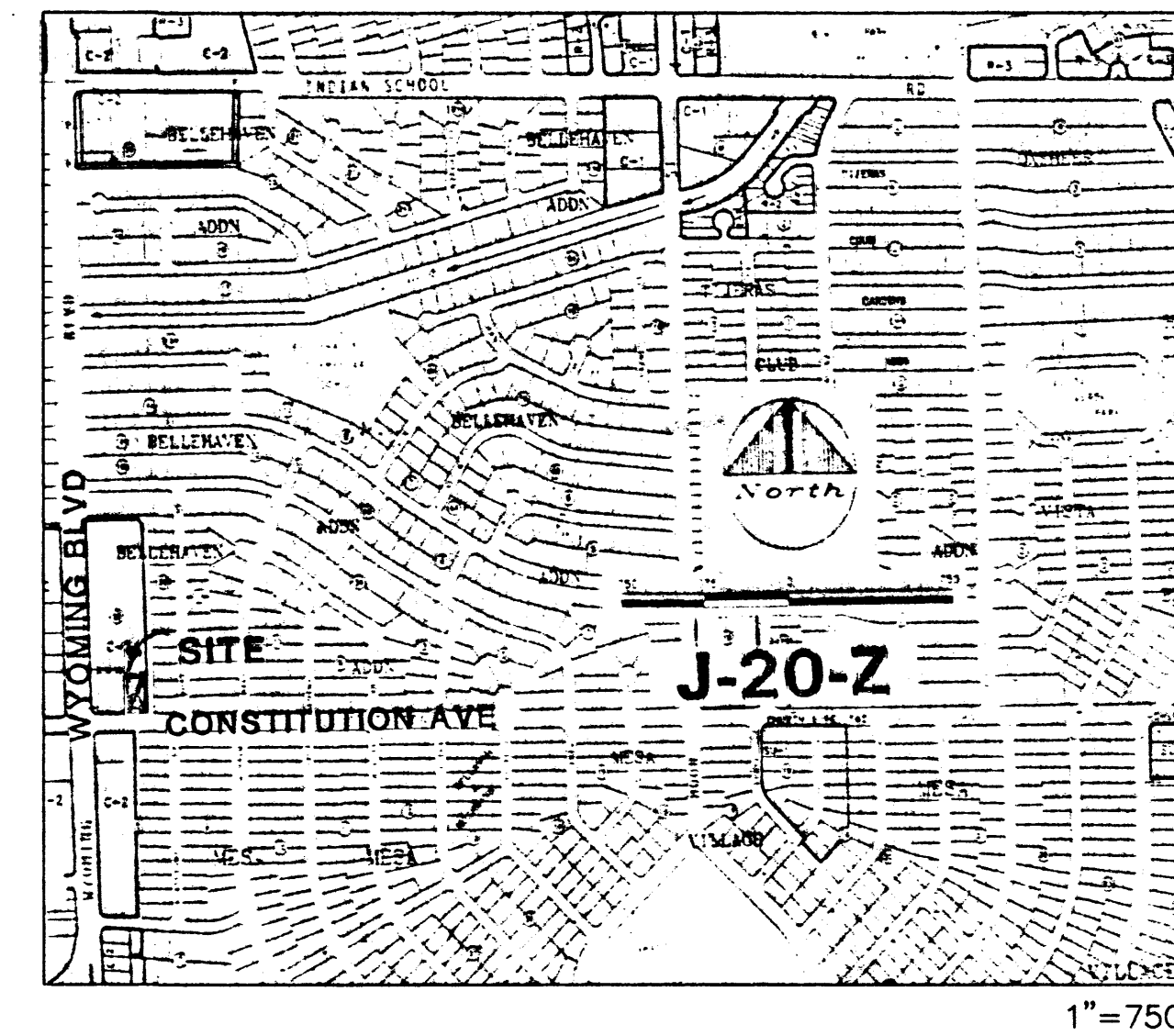




VICINITY MAP

1"=750'

LEGEND

- POWER POLE
- ANCHOR
- EXST. DRAINAGE SWALE
- EXST. CONTOUR
- EXST. TOP OF CURB/FLOWLINE ELEVATION
- EXST. SPOT ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED TOP OF PAVEMENT ELEVATION
- FLOW ARROW
- R.D.
- ROOF DRAIN

GENERAL NOTES

- SITE AREA:** 0.3124 ACRES
13,606 SQ.FT.
- LEGAL DESCRIPTION:** LOT A-1-B, BLOCK 22 OF THE BELLEHAVEN ADDITION (J-20)
8509 CONSTITUTION AVE. NE.
- BENCHMARK:** ACS "5-J19" LOCATED AT THE SOUTHWEST QUADRANT OF
CONSTITUTION AVE. AND WYOMING BLVD. NE.
ELEV: 5360.37
- FLOOD HAZARD STATEMENT:** AS SHOWN ON PANEL 30 OF THE FEMA FLOOD
INSURANCE RATE MAP, THIS SITE IS NOT WITHIN A DESIGNATED FLOOD
HAZARD AREA.
- OFF-SITE FLOWS:** NO OFF-SITE STORM WATERS PRESENTLY ENTER ONTO THE SITE.

HYDROLOGY

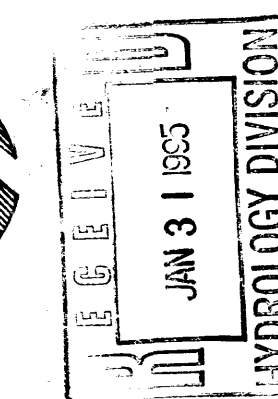
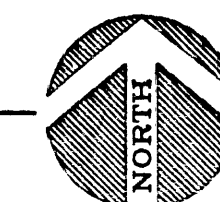
- EXISTING CONDITIONS:** THE SITE IS A REMODEL OF A CONVENIENCE STORE AND NOW
SERVES AS AN AUTO REFRIGERATION SHOP. SITE EXISTS OF ALL ASPHALT
PAVING, CONCRETE SURFACES AND ROOF WITH THE EXCEPTION OF A MINOR
FRONT LANDSCAPED AREA. STORM WATERS EXIT THE SITE VIA SHEET FLOW
TO THE PUBLIC ALLEY ALONG THE EASTERLY PROPERTY LINE OR TO THE
NORTHERLY (24') OR WESTERLY (15') ACCESS EASEMENTS.
- PROPOSED CONDITIONS:** THE SITE ADDITIONS CONSIST OF TWO EXPANSIONS. THE
15'x17' ADDITION (255 SQ. FT.) AT THE SOUTHWEST CORNER OF THE EXISTING
STRUCTURE IS UNDER THE EXISTING ROOF OVERHANG. THEREFORE, THE
DRAINAGE RUNOFF PATTERN IS NOT ALTERED. THE EASTERLY 15'x68'
ADDITION (1,020 SQ.FT.) IS AN ATTACHMENT TO THE EXISTING STRUCTURE
AND HAS A ROOF DISCHARGE OF STORM WATERS TO THE EAST WHERE
THEY ENTER ONTO THE PUBLIC ALLEY, SIMILAR TO THE PREVIOUS FLOWS
DISCHARGING FROM THE ASPHALT PAVING. ONCE AGAIN, THE RUNOFF
CHARACTERISTICS ARE NOT CHANGED.
- PROPOSED & EXISTING HYDROLOGY:**
PRECIPITATION ZONE: 3 (TABLE A-1)
LAND USE (COMMERCIAL) 10% @ B, 90% @ D
 $Q_{100} = (10\%)(0.31)(2.60) + (90\%)(0.31)(5.02) = 0.08 + 1.40 = 1.48 \text{ CFS}$
 $V_{100} = WT. E \times (A_B + A_D)$
 $= WT. E = (0.92)(0.031) + (2.36)(0.28) = 2.2$
 0.31
 $V = (2.2 \text{ IN})(0.31 \text{ AC})(43560 \text{ S.F./AC})(1/12) = 2,476 \text{ CU.FT.}$

CONSTRUCTION NOTES

- REMOVE CONC. TRASH ENCLOSURE PAD. REPLACE W/
ASPHALT PAVING (MATCH EXST. THICKNESS).
- ASPHALTIC OVERLAY (IF NECESSARY) TO PROVIDE FOR
POSITIVE DRAINAGE SLOPE AWAY FROM BUILDING.

Grading & Drainage Plan

1"=10'-0"



An Addition to
Plains Auto Refrigeration
8509 Constitution Avenue NE
Albuquerque, New Mexico

Project Title

Drawn *ANW* Checked *FCA*
By By
Proj. 9444.00 Date 01/20/95
No.

Revisions Architect Engineer

C1

Sheet Title Sheet of

