

CITY OF ALBUQUERQUE



October 28, 2014

Mr. Jeff Wooten
4700 Lincoln NE
Suite 111
Albuquerque, NM 87109

**Re: TLC Pet and Uptown Cat Hospital
Grading and Drainage Plan
Engineer's Stamp Date 10-14-14 (J20D027)**

Dear Mr. Wooten,

Based upon the information provided in your submittal received October 15, 2014, the above referenced plan is approved for Grading Permit but not Building Permit. Please address the following comments.

1. A S0-19 permit is required for this site because of the sidewalk culvert. The standard language is attached. Add this to the drawing. Also include a signature block for the City Inspector. Request S019 approval with the next submittal in addition to the Building Permit request.
2. The First Flush requirement is 0.34 inch multiplied by the impervious not 0.44 inch as shown on the plan. The 0.44 inch is reduced by 0.1 inch for the initial impervious abstraction in Table A-6 of Section 22 of the DPM. Not as much needs to be retained as stated on the plan.

PO Box 1293

Albuquerque

New Mexico 87103

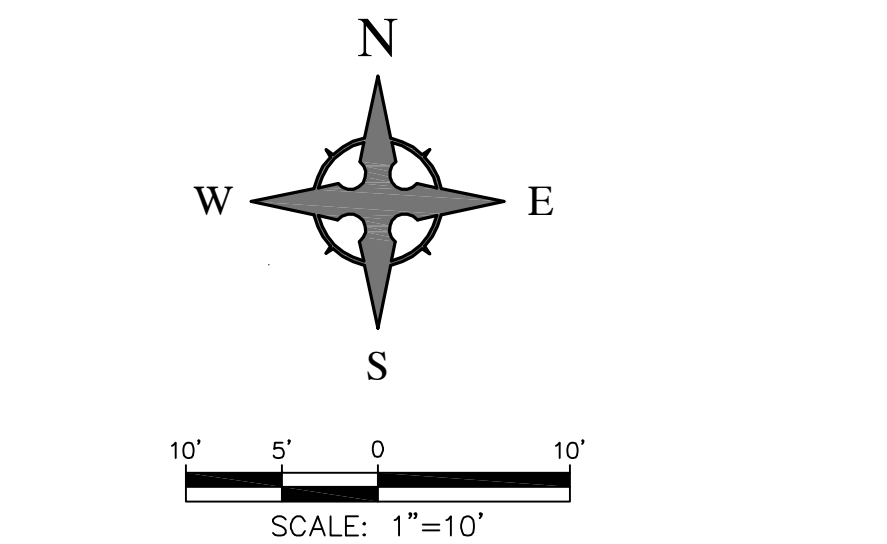
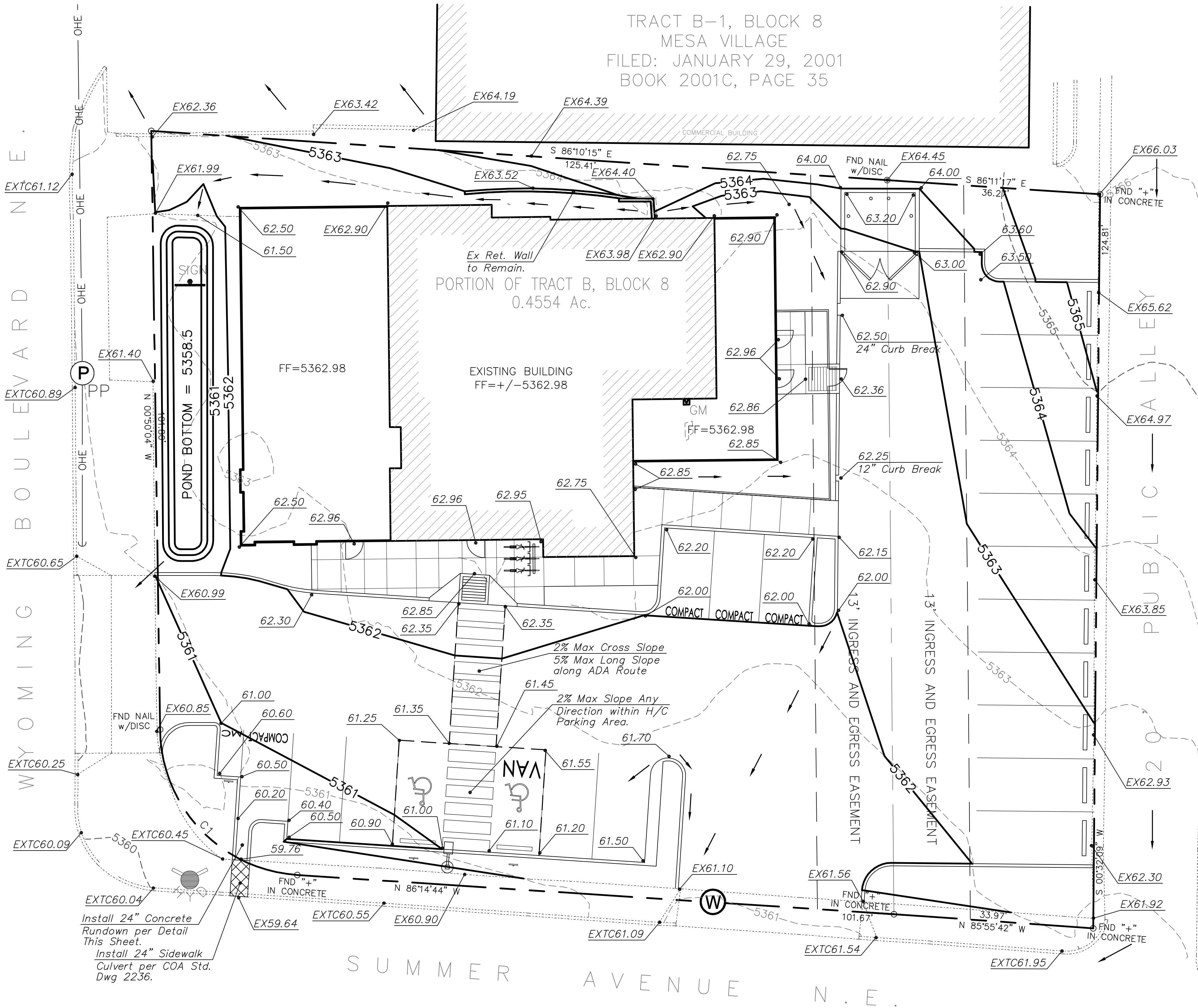
If you have any questions, you can contact me at 924-3994.

www.cabq.gov

Sincerely,

Amy L. D. Niese, P.E.
Senior Engineer, Hydrology
Planning Department

C: e-mail



CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

LEGEND

- FLOW ARROW
- 27.8 PROPOSED TOP OF GRADE/PVMT ELEVATIONS
- FL27.8 PROPOSED FLOW LINE/GUTTER ELEVATIONS
- TC27.8 PROPOSED TOP OF CURB ELEVATIONS
- 515 EXISTING CONTOUR
- 515 PROPOSED CONTOUR
- EXISTING STORM DRAIN
- FLOW LINE
- RIDGE LINE

DRAINAGE MANAGEMENT PLAN

INTRODUCTION

The purpose of this submittal is to provide a final drainage management plan for the proposed building expansion of TLC Animal Hospital located at 1300 Wyoming Blvd NE in Albuquerque, NM. The project consists of demolition of the existing parking lot, construction of two building additions, and a new parking lot with associated landscaped areas. The existing curb cuts along Wyoming and Summer will remain. The site contains approximately 0.4554 acres.

EXISTING HYDROLOGIC CONDITIONS

The site is currently developed and 90.3% impervious per the Impervious Area calculations this sheet. Surrounding streets and infrastructure are in place. The site slopes from east to west in a sheet flow condition and drains to both Summer Av. and Wyoming Blvd. Per the basin calculations table this sheet, the site currently discharges 2.22 cfs (3,730 CF) during the 100-Yr, 6-Hr Storm. Analysis for these and all drainage calculations were performed using the COA DPM Section 22.2, released June 1997.

PROPOSED HYDROLOGIC CONDITIONS

The site will continue to drain to Summer Ave and Wyoming Blvd in a sheet flow condition. There is an increase in landscaped area on the site which decreases the total impervious area to 84.3%. Per the basin calculations table this sheet, the proposed site will discharge 2.17 cfs (3,624 CF) during the 100-Yr, 6-Hr Storm, which is a reduction of 0.05 cfs (106 CF).

FIRST FLUSH CALCULATIONS

The first flush volume impervious area is 16,720 SF (Impervious Area) * 0.44" / 12 = 613 cubic feet. The pond provided contains +/- 732.5 cubic feet which is sufficient to contain the first flush. The pond will discharge onto the sidewalk at the north end of the existing curb cut.

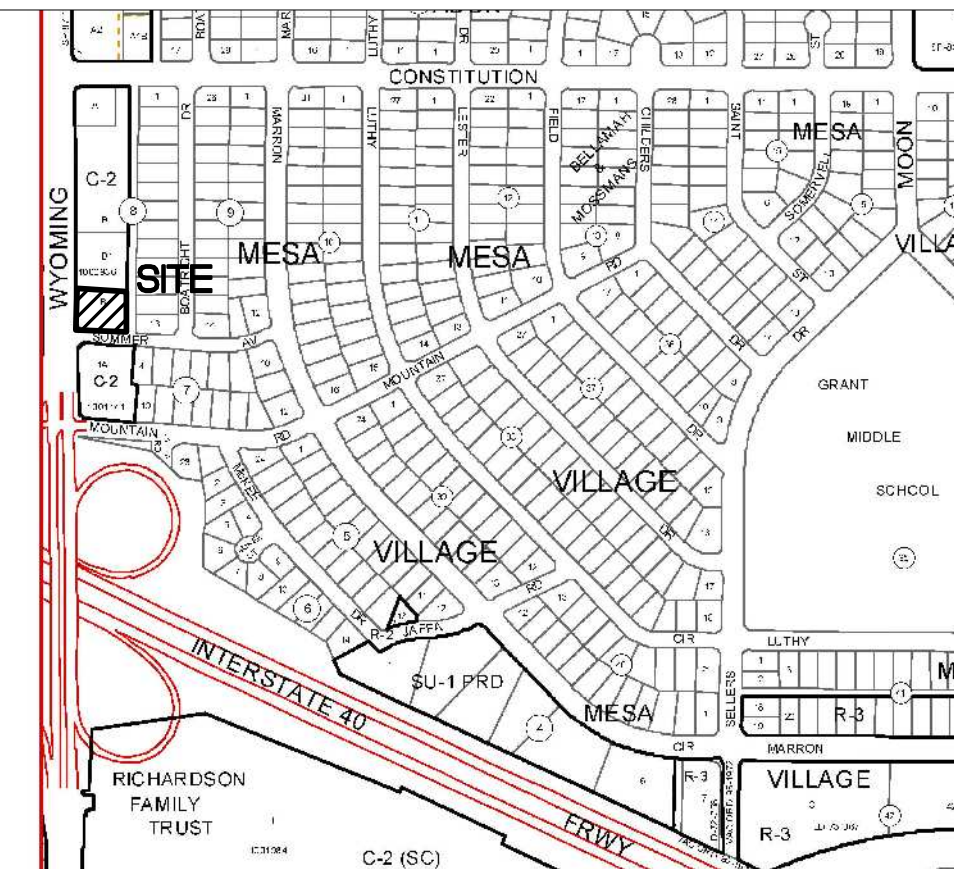
CONCLUSION

This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and meets city requirements. With this submittal, we are requesting approval of this plan for Grading Permit and Building Permit.

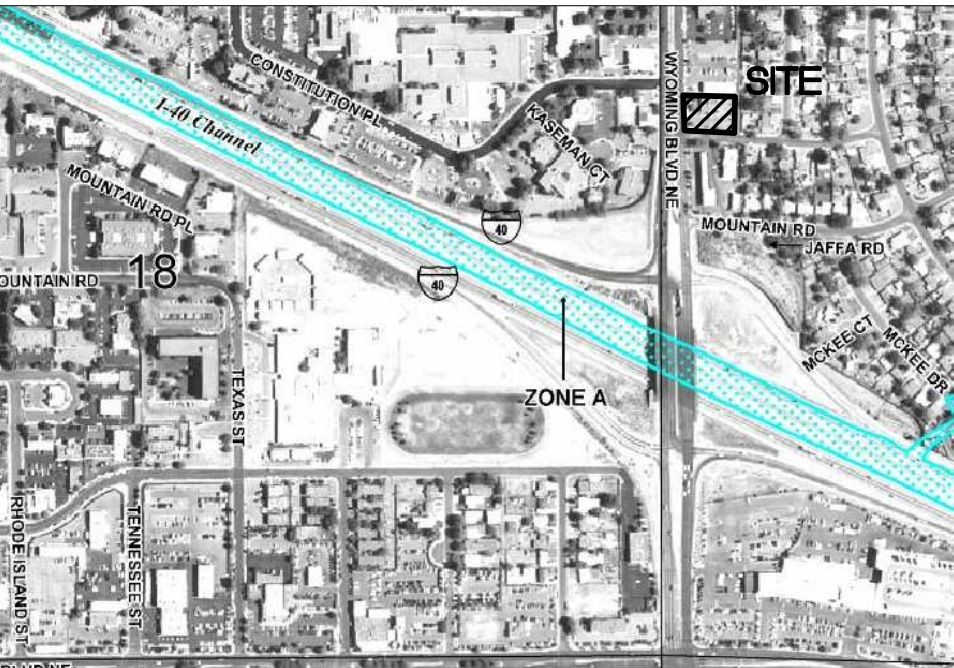
POND VOLUME CALCULATIONS

CONTOUR ELEVATION	AREA (SF)	VOLUME (CF)
5359.00	248 SF	306.5
5360.00	365 SF	426.0 CF
5361.00	487 SF	732.5 CF
TOTAL		

NOTE: THE ABOVE POND VOLUMES SHALL BE VERIFIED AS PART OF THE DRAINAGE CERTIFICATION AND WILL BE REQUIRED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.



VICINITY MAP - Zone Atlas J-20-Z



FIRM MAP 35001C0358H

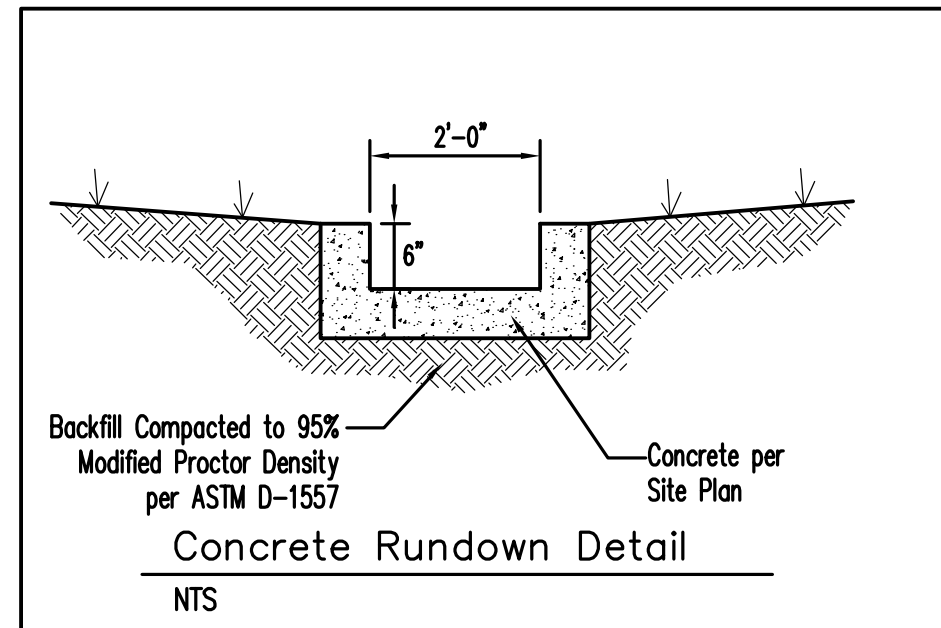
Per FIRM Map 35001C0358H, dated Aug 16, 2012, the site is not located in the Floodplain.

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 UPDATE NO. 8.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NM ONE CALL FOR LOCATION OF EXISTING UTILITIES. (NM ONE CALL = '811')
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONDUITS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.



IMPERVIOUS AREA CALCULATIONS

EXISTING SITE CONDITIONS

PERVIOUS AREA: 1,921 SF
IMPERVIOUS AREA: 17,916 SF
TOTAL SITE AREA: 19,837 SF
% IMPERVIOUS = 9.68%

PROPOSED SITE CONDITIONS

PERVIOUS AREA: 3,117 SF
IMPERVIOUS AREA: 16,720 SF
TOTAL SITE AREA: 19,837 SF
% IMPERVIOUS = 15.71%

Existing TLC Animal Hospital Drainage Calculations

This table is based on the COA DPM Section 22.2, Zone: 3										
BASIN	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	WT E (inches)	V(100) 360 (CF)
Existing Site	19837	0.46	0.0%	0.0%	9.7%	90.3%	4.87	2.22	2.26	3730
TOTAL	19837	0.46						2.22		3730

Proposed TLC Animal Hospital Drainage Calculations

Ultimate Development Conditions Basin Data Table										
This table is based on the COA DPM Section 22.2, Zone: 3										
BASIN	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	WT E (inches)	V(100) 360 (CF)
Proposed Site	19837	0.46	0.0%	0.0%	15.7%	84.3%	4.77	2.17	2.19	3624
TOTAL	19837	0.46						2.17		3624

project title

TLC Pet and Uptown Cat Hospitals
1300 Wyoming Boulevard, NE,
Albuquerque, New Mexico 87112

sheet title

Grading / Drainage Plan

revision

by

date

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